

**MUNICIPAL PLANNING COMMISSION AGENDA
SUMMER VILLAGE OF SUNBREAKER COVE
SUMMER VILLAGES ADMINISTRATION OFFICE
DECEMBER 6, 2021 @ 9:00 A.M.**

- A. CALL TO ORDER**
- B. ADOPTION OF AGENDA**
- C. DEVELOPMENT ITEMS**
 - 1) 1321 Birch Road
- D. ADJOURNMENT**

**Summer Village of Sunbreaker Cove – Municipal Planning Commission
December 6, 2021**

Agenda Item

1321 Birch Road (Lot 14, Block 9, Plan 413NY)

Development Permit Application

Background:

An application was submitted on behalf the registered owners for a garage with guest house located on the property of 1321 Birch Road (Lot 14, Block 9, Plan 413NY) in the Summer Village of Sunbreaker Cove. This property is located in the R1 District (Residential). The proposed garage with guest house meets the setback and height requirements. The proposed lot coverage would be 31.2% and under the maximum 50%. There will be no trees removed as the proposed building location does not have any trees and all existing will remain. The Land Use Bylaw states that accessory building's combined footprints shall be no larger than 8% of the parcels total area, with the proposed development the footprint would be at 7%.

Discussion:

This application is before MPC for the following reasons:

- Guest House is listed a discretionary use, therefore the decision must come from the Municipal Planning Commission.

Recommendation:

When reviewing statutory documents, there is a hierarchy to language used. In the case of a Land Use Bylaw,

- a. "shall" and "must" means mandatory compliance;
- b. "should" means compliance in principle, but is subject to the discretion of the Development Authority where compliance is impracticable or undesirable because of relevant planning principles or circumstances unique to a specific application; and
- c. "may" means discretionary compliance or a choice in applying regulation. The regulation can be applied, enforced or implemented if the Development Authority chooses to do so, depending on site specific circumstances.

After reviewing the application and all relevant planning documents, it is the recommendation of administration to deny the application. The definition of guest house is clear that there shall be no kitchen or cooking facilities in the guest house. *"Guest house" means an accessory building containing sleeping facilities for temporary usage only and may have a bathroom but shall not have a kitchen or other cooking facilities. A guest house provides overflow accommodation for a detached dwelling located on the same parcel, is not available for rent by a third party, and does not include recreational*

vehicles and sea cans. This stipulation in the Land Use Bylaw was previously discussed with the applicant.

Adjacent landowners have been notified of the proposed development and no response has been received.

Conditions:

If approved, Administration would recommend the following conditions:

- An accessory building erected or placed on a parcel shall not be used as a dwelling unit.
- Electrical power from the property line to any buildings situated on this parcel to be constructed underground.
- The exterior of an accessory building must be finished to match or compliment the exterior finish of the main building.
- In situations where a detached dwelling is being rented out and there is a guest house on the parcel, the guest house shall not be rented out to a separate party than those renting the detached dwelling.
- Height of the accessory building shall not exceed 7.62m (25ft.).
- Guest house means an accessory building containing sleeping facilities for temporary usage only and may have a bathroom but shall not have a kitchen or other cooking facilities.
- Completions Deposit of \$5,000.00.
- Zero trees to be removed.

Authorities:

For a discretionary use in any district:

- The Municipal Planning Commission may approve an application for a Development Permit:
 - With or without conditions;
 - Based on the merits of the proposed development, including it's relationship to any approved statutory plan, non-statutory plan, or approved policy, affecting the site;
 - Where the proposed development conforms in every respect to this Land Use Bylaw; or
- May refuse an application for a development permit based on the merits of the proposed development, even though it meets the requirements of the Land Use Bylaw; or
- Subject to provisions of section 2.4 (2), the Municipal Planning Commission shall refuse an application for a development permit if the proposed development does not conform in every respect to the Land Use Bylaw.

Decision:

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (Section 642 of the MGA), or
2. Deny the application stating reasons why (Section 642(4) of the MGA).



LARKAUN HOMES

C-1

Bay 11, 7428 49 Ave
Red Deer, AB T4P 1M2
403-588-8861
larkaunhomes.com

October 7, 2021

To whom it may concern;

Please be advised we the 'builder', Larkaun Homes Ltd, have been contracted to build a residential home at a 1321 Birch Road, Sunbreaker Cove AB. We acknowledge and intend to maintain the look and function of the approved plan. The lot is designed for lake living with the addition of a second structure for family and visitors.

Please don't hesitate to contact our office with any questions or concerns.

Respectfully,

Cory Kaun
Larkaun Homes Ltd.
Founding Partner
O 403.588.8861
E cory@larkaunhomes.com

building value for life...

Plot Plan

SNELL & OSLUND SURVEYS (1979) LTD.
RED DEER , ALBERTA Ph: (403) 342-1255

LEGAL DESCRIPTION:

LOT 14
BLOCK 9
PLAN 413 NY

CLIENT: LARKAUN HOMES

CIVIC ADDRESS:
1321 BIRCH ROAD

S.V. OF SUNBREAKER COVE

Date : NOV. 10, 2021

Scale = 1:300

Drawn By: F

Job No. : 38474 PP



LOT AREA = 1535.2 sq. m.
Garage with Guest Suite = 107.0 sq. m.
(Does Not Include Deck & Steps)
LOT COVERAGE = 7.0 %

EXISTING DRIVEWAY = 170.3 sq. m.
LOT COVERAGE = 11.1 %

LOG HOUSE = 201.4 sq. m.
(Includes Cantilever, All Decks)
(Does Not Include Steps & Landings To LOT R Reserve)
LOT COVERAGE = 13.1 %

LOT 28 ER
BLOCK 9
PLAN 892 2703

LOT R
BLOCK 4
PLAN 5969 MC

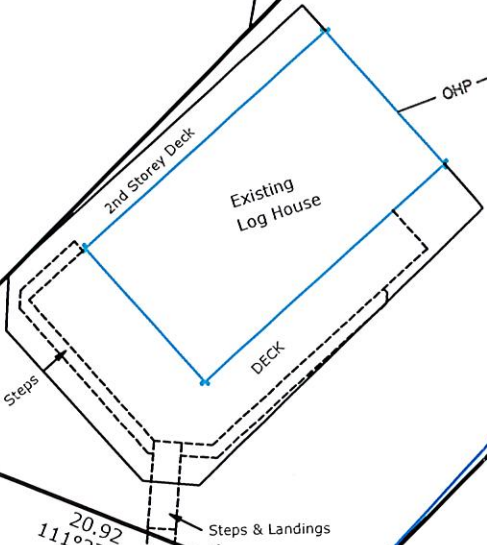
LOT 25
BLOCK 9
PLAN 892 2703

LOT 24
BLOCK 9
PLAN 892 2703

LOT 14
BLOCK 9
PLAN 413 NY

LOT 13
BLOCK 9
PLAN 413 NY

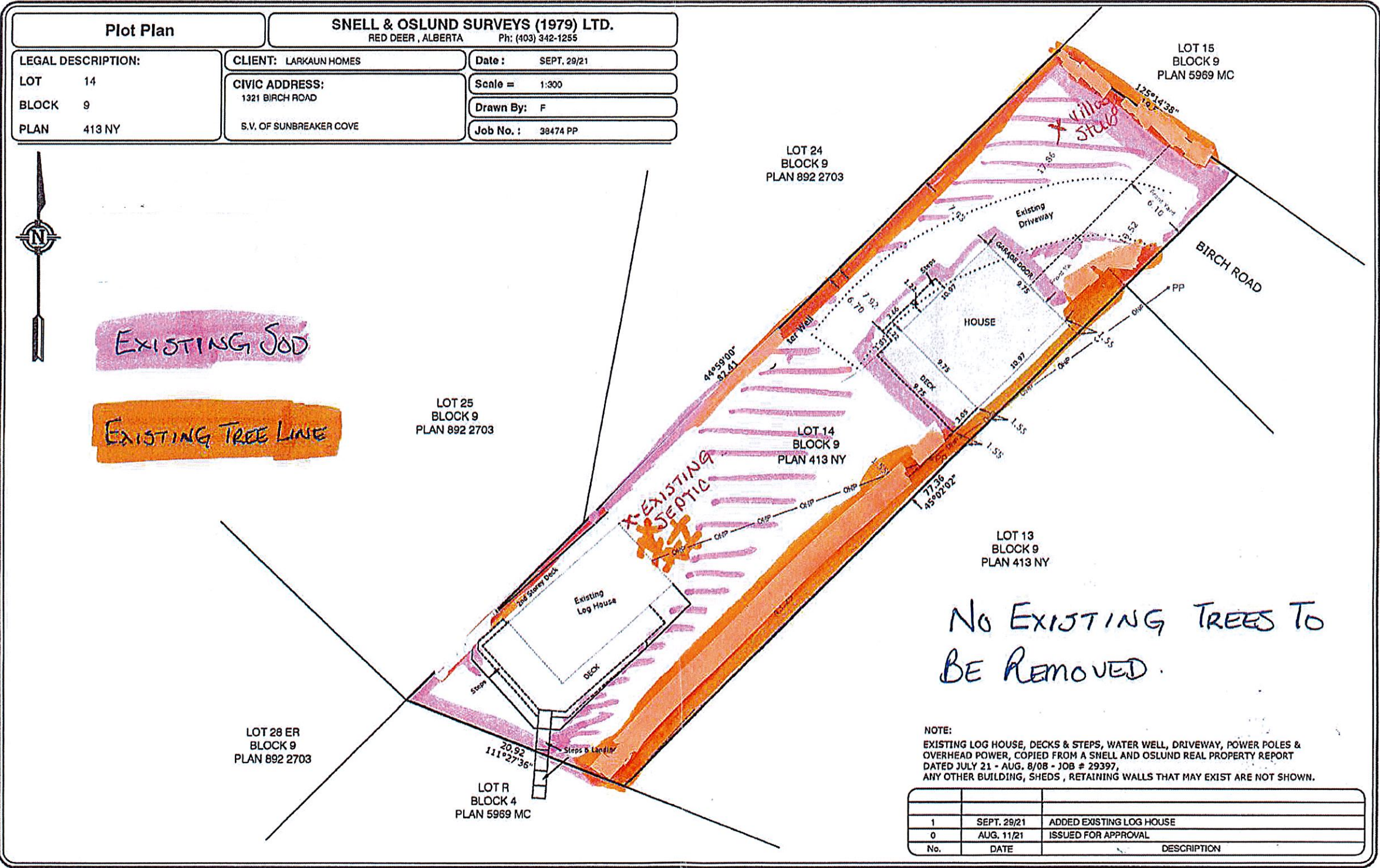
LOT 15
BLOCK 9
PLAN 5969 MC



NOTE:
EXISTING LOG HOUSE, DECKS & STEPS, WATER WELL, DRIVEWAY, POWER POLES & OVERHEAD POWER, COPIED FROM A SNELL AND OSLUND REAL PROPERTY REPORT DATED JULY 21 - AUG. 8/08 - JOB # 29397, ANY OTHER BUILDING, SHEDS , RETAINING WALLS THAT MAY EXIST ARE NOT SHOWN.

2	NOV. 10/21	REVISED AREAS AND NAME OF NEW BUILD
1	SEPT. 29/21	ADDED EXISTING LOG HOUSE
0	AUG. 11/21	ISSUED FOR APPROVAL
No.	DATE	DESCRIPTION

Landscape & Septic









Grade Plan	
LEGAL DESCRIPTION:	
LOT	14
BLOCK	9
PLAN	413 NY

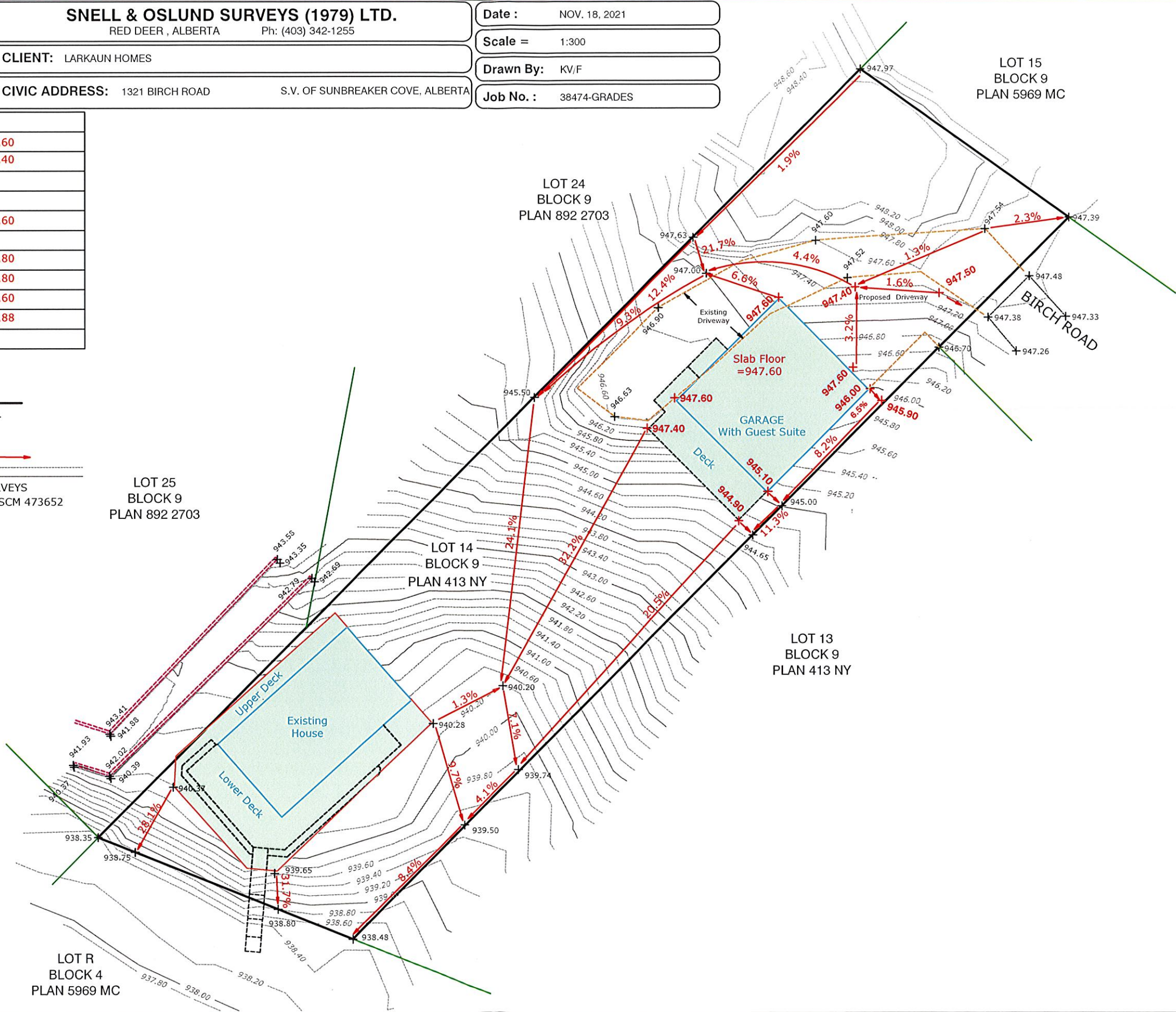
SNELL & OSLUND SURVEYS (1979) LTD.	
RED DEER , ALBERTA Ph: (403) 342-1255	
CLIENT: LARKAUN HOMES	
CIVIC ADDRESS: 1321 BIRCH ROAD S.V. OF SUNBREAKER COVE, ALBERTA	

Date :	NOV. 18, 2021
Scale =	1:300
Drawn By:	KV/F
Job No. :	38474-GRADES

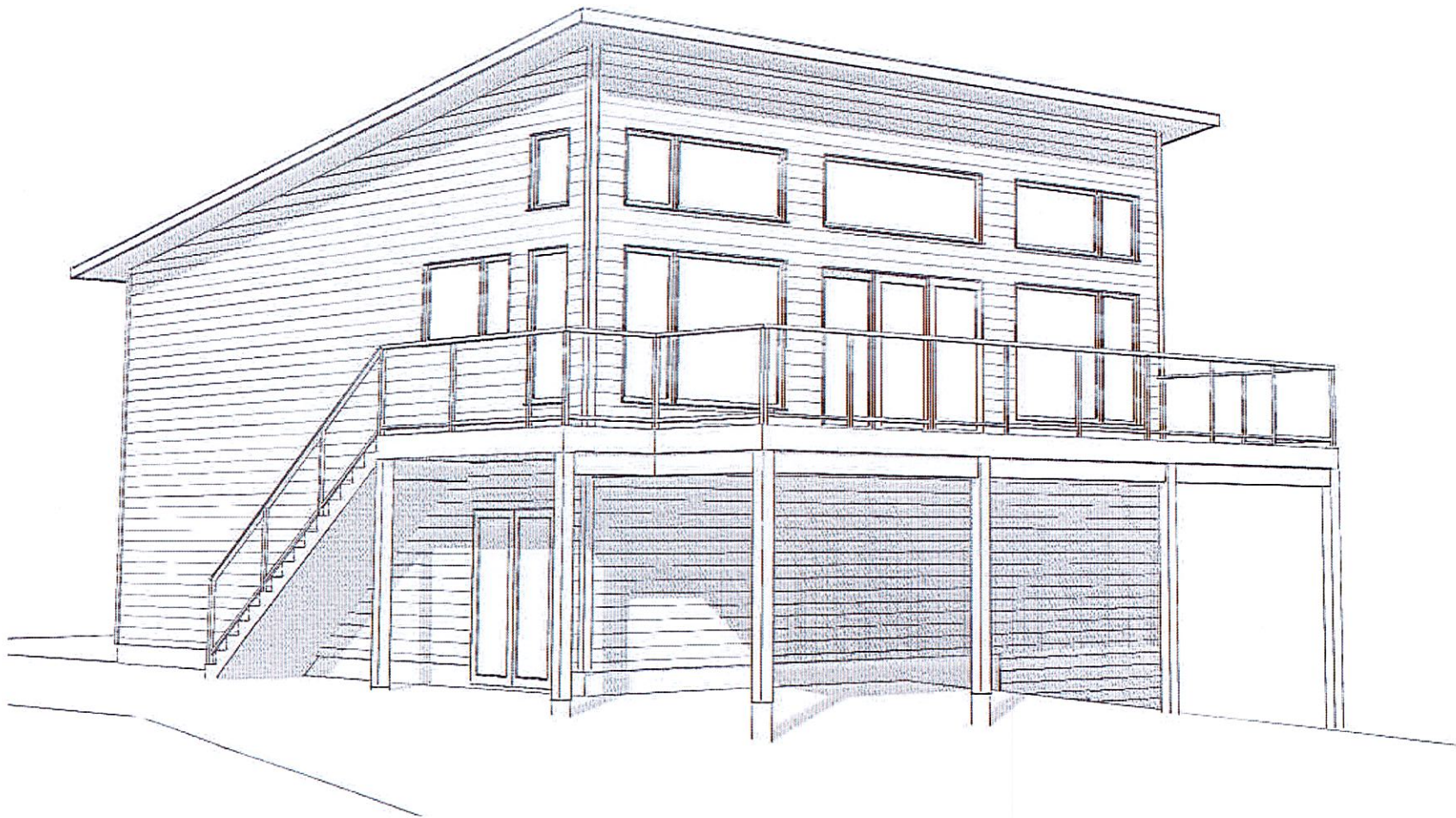
SUGGESTED FRONT GRADE	947.60
SUGGESTED REAR GRADE	947.40
LOWEST TOP OF FOOTING	-
GARAGE DOOR FINISHED BUCK	947.60
TOP OF SUB FLOOR	-
CALCULATED TOP OF CONCRETE - GARAGE	947.80
CALCULATED TOP OF CONCRETE - HOUSE	947.80
GARAGE SLAB	947.60
CALCULATED TOP FOOTING	943.88
CALCULATED BOTTOM FOOTING	-

LEGEND & NOTES

SUBJECT PROPERTY OUTLINED THUS 
EDGE OF ROAD SHOWN THUS 
EXISTING ELEVATIONS SHOWN THUS  877.24
PROPOSED ELEVATIONS SHOWN THUS  946.35 +
PROPOSED POSITIVE DRAINAGE SHOWN THUS 
CONTOUR LINES ARE SHOWN THUS 
BEARINGS ARE GRID AND DERIVED FROM GNSS SURVEYS
ELEVATIONS ARE GEODETIC AND REFERENCED TO ASCM 473652
BEING 939.449m
Distances are in Metres and decimals thereof
Date of field survey : OCT. 27, 2021



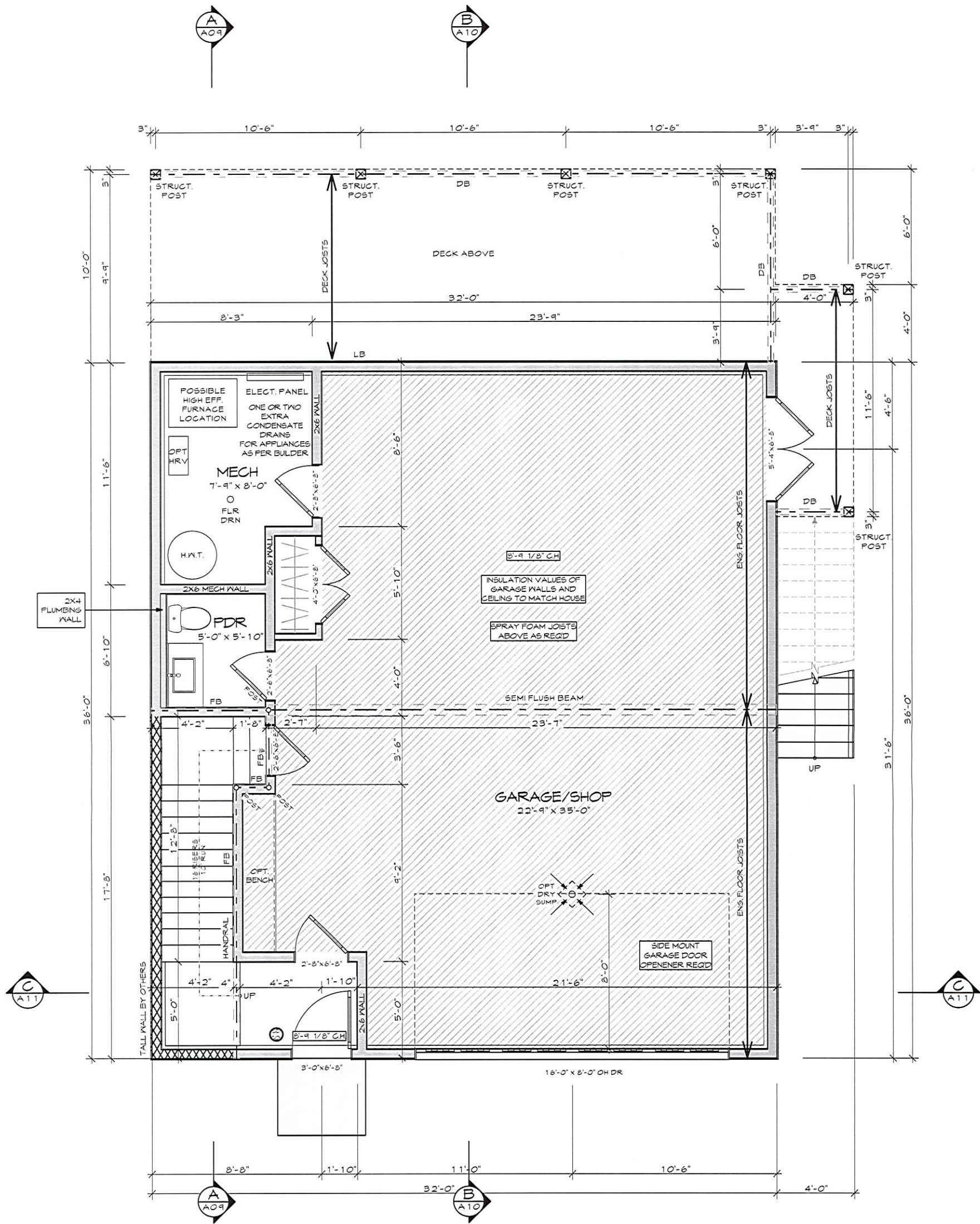
1321 BIRCH RD



LIST OF DRAWINGS

- A01 TITLE PAGE
- A02 FOUNDATION PLAN
- A03 MAIN FLOOR PLAN
- A04 UPPER FLOOR PLAN
- A05 ROOF PLAN
- A06 ELEVATIONS
- A07 ELEVATIONS
- A08 ELEVATIONS
- A09 BUILDING SECTIONS
- A10 BUILDING SECTIONS
- A11 BUILDING SECTIONS
- A12 CNST DTLS / NOTES / LEGENDS
- E01 MAIN FLOOR ELECTRICAL
- E02 UPPER FLOOR ELECTRICAL

ALL SPECIFICATIONS FOR THE NBC 2014 (AE), 4.3.6. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES	LEGAL ADDRESS:	CIVIC ADDRESS: 1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB	CLIMATE ZONE: 7A	BUILDING AREA: 107 SQ M	AIRTIGHTNESS 2.5
MAIN FLOOR : 105 SF UPPER FLOOR : 1152 SF TOTAL : 1257 SF DEV LOWER FLOOR : 0000 SF TOTAL LOWER FLOOR : 0000 SF TOTAL DEVELOPED : 0000 SF GARAGE SLAB : 826 SF	CLIENT CONTACT INFO:  LARKAUN HOMES building value for life...	DRAFTED BY:  KD RESIDENTIAL DESIGN KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 1321 BIRCH RD	PROJECT NUMBER: LH-2021-08	SCALE:
			SHEET TITLE: TITLE PAGE	DATE: 21-10-2021	SHEET: A01



MAIN FLOOR PLAN

ALL DOWNSPOUT LOCATIONS TO BE CONFIRMED WITH BUILDER PRIOR TO INSTALLATION

ALL ROUGH OPENINGS TO BE SUPPLIED BY OTHERS

ALL WINDOWS TO HAVE A MAX U-VALE OF 1.6 OR MIN. ENERGY RATING OF 25

ALL SPECIFICATIONS FOR THE NBC 2019 (AE). 9.3.6. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.

MAIN FLOOR : 105 SF
UPPER FLOOR : 1152 SF
TOTAL : 1257 SF

DEV LOWER FLOOR : 0000 SF
TOTAL LOWER FLOOR : 0000 SF
TOTAL DEVELOPED : 0000 SF

GARAGE SLAB : 826 SF

LEGAL ADDRESS:

CLIENT CONTACT INFO:

LARKAUN HOMES
building value for life...

CIVIC ADDRESS:
1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB

DRAFTED BY:

KAREN RICHINSKI
ARCHITECTURAL TECHNOLOGIST

CELL: 403.396.0354
EMAIL: KAREN@KD RD.CA
WEB: WWW.KD RD.CA

CLIMATE ZONE: 7A

BUILDING AREA: 107 SQ M

AIRTIGHTNESS: 25

PROJECT NAME: 1321 BIRCH RD

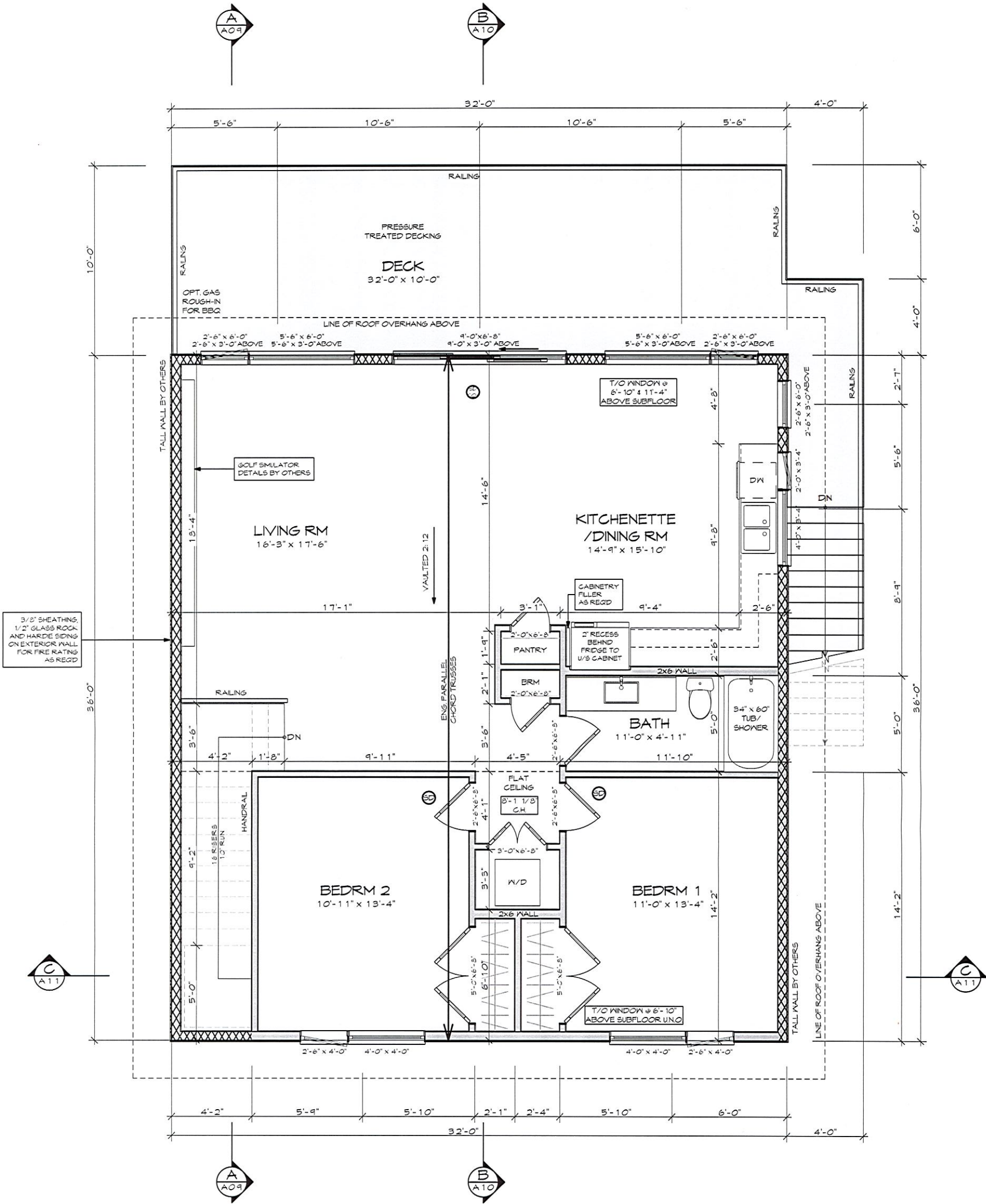
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SCALE: 3/16" = 1'-0"

SHEET TITLE: MAIN FLOOR PLAN

DATE: 21-10-2021

SHEET: A03



UPPER FLOOR PLAN

ALL DOWNSPOUT LOCATIONS TO BE CONFIRMED WITH BUILDER PRIOR TO INSTALLATION

ALL ROUGH OPENINGS TO BE SUPPLIED BY OTHERS

ALL WINDOWS TO HAVE A MAX U-VALE OF 1.6 OR MIN. ENERGY RATING OF 25

ALL SPECIFICATIONS FOR THE NBC 2019 (AE). 9.36. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.

LEGAL ADDRESS:

CIVIC ADDRESS:

1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB

CLIMATE ZONE:

7A

BUILDING AREA:

107 SQ M

AIRTIGHTNESS

25

MAIN FLOOR : 105 SF
UPPER FLOOR : 1152 SF
TOTAL : 1257 SF

DEV LOWER FLOOR : 0000 SF
TOTAL LOWER FLOOR : 0000 SF
TOTAL DEVELOPED : 0000 SF

GARAGE SLAB : 826 SF

CLIENT CONTACT INFO:



DRAFTED BY:



KAREN RICHINSKI
ARCHITECTURAL TECHNOLOGIST

CELL: 403.396.0354
EMAIL: KAREN@KDRO.CA
WEB: WWW.KDRO.CA

PROJECT NAME:

1321 BIRCH RD

PROJECT NUMBER:

LH-2021-08

SCALE:

3/16" = 1'-0"

SHEET TITLE:

UPPER FLOOR PLAN

DATE:

21-10-2021

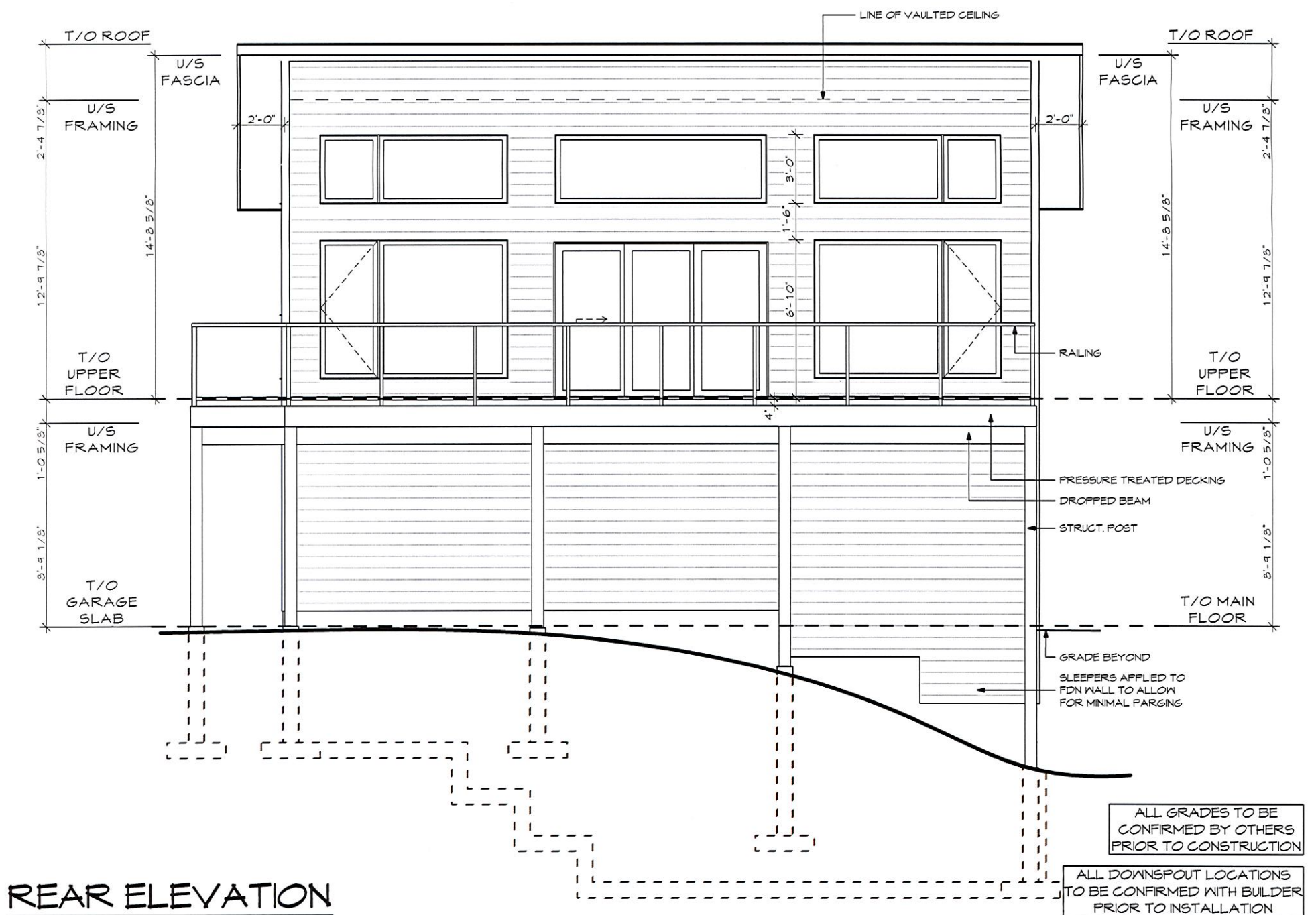
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A04

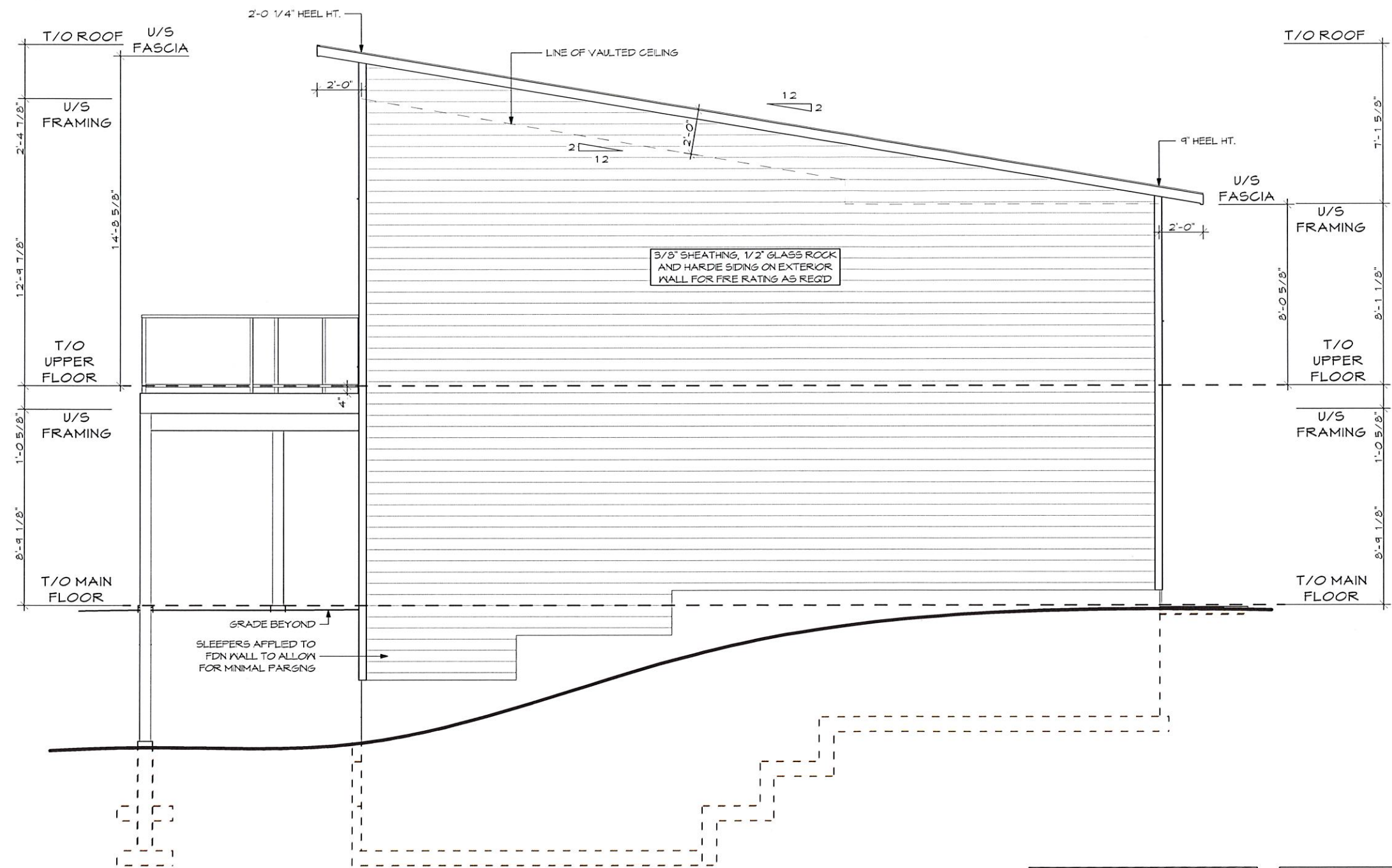
NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE PERMISSION OF KD RESIDENTIAL DESIGN INC.

11 x 17



ALL SPECIFICATIONS FOR THE NBC 2019 (A.E). 9.3.6. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.		LEGAL ADDRESS:		CIVIC ADDRESS: 1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB		CLIMATE ZONE: 7A		BUILDING AREA: 107 SQ M		AIR TIGHTNESS 2.5			
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						SHEET TITLE: ELEVATIONS		DATE: 21-10-2021		SHEET: A06			



LEFT SIDE ELEVATION

ALL DOWNSPOUT LOCATIONS TO BE CONFIRMED WITH BUILDER PRIOR TO INSTALLATION

ALL GRADES TO BE CONFIRMED BY OTHERS PRIOR TO CONSTRUCTION

UNVENTED SOFFIT REQUIRED ON EAVES CLOSER THAN 2.4 M TO PROPERTY LINE C/W ADDITIONAL ROOF VENTING AS REQ'D

THE FACE & SIDES OF WALLS AND UNDERSIDE OF CANTILEVERS WITHIN 2.4M FROM PROPERTY LINE TO HAVE NON-COMBUSTIBLE CLADDING TO ACHIEVE 45 MIN. FIRE RESISTANCE RATING.
-EITHER CEMENT BOARD CLADDING OR EXTERIOR DRYWALL BENEATH VINYL SIDING TO BE INSTALLED

NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

ALL SPECIFICATIONS FOR THE NBC 2019 (AE), 9.36, ENERGY CODE TO BE SUPPLIED BY OTHERS.
DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.


MAIN FLOOR : 105 SF
UPPER FLOOR : 115.2 SF
TOTAL : 125.7 SF

DEV LOWER FLOOR : 0000 SF
TOTAL LOWER FLOOR : 0000 SF
TOTAL DEVELOPED : 0000 SF

GARAGE SLAB : 826 SF


CLIMATE ZONE:	BUILDING AREA:	AIRTIGHTNESS
7A	107 SQ M	25

CLIENT CONTACT INFO:



LARKAUN HOMES
building value for life...

DRAFTED BY:



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LEGAL ADDRESS:

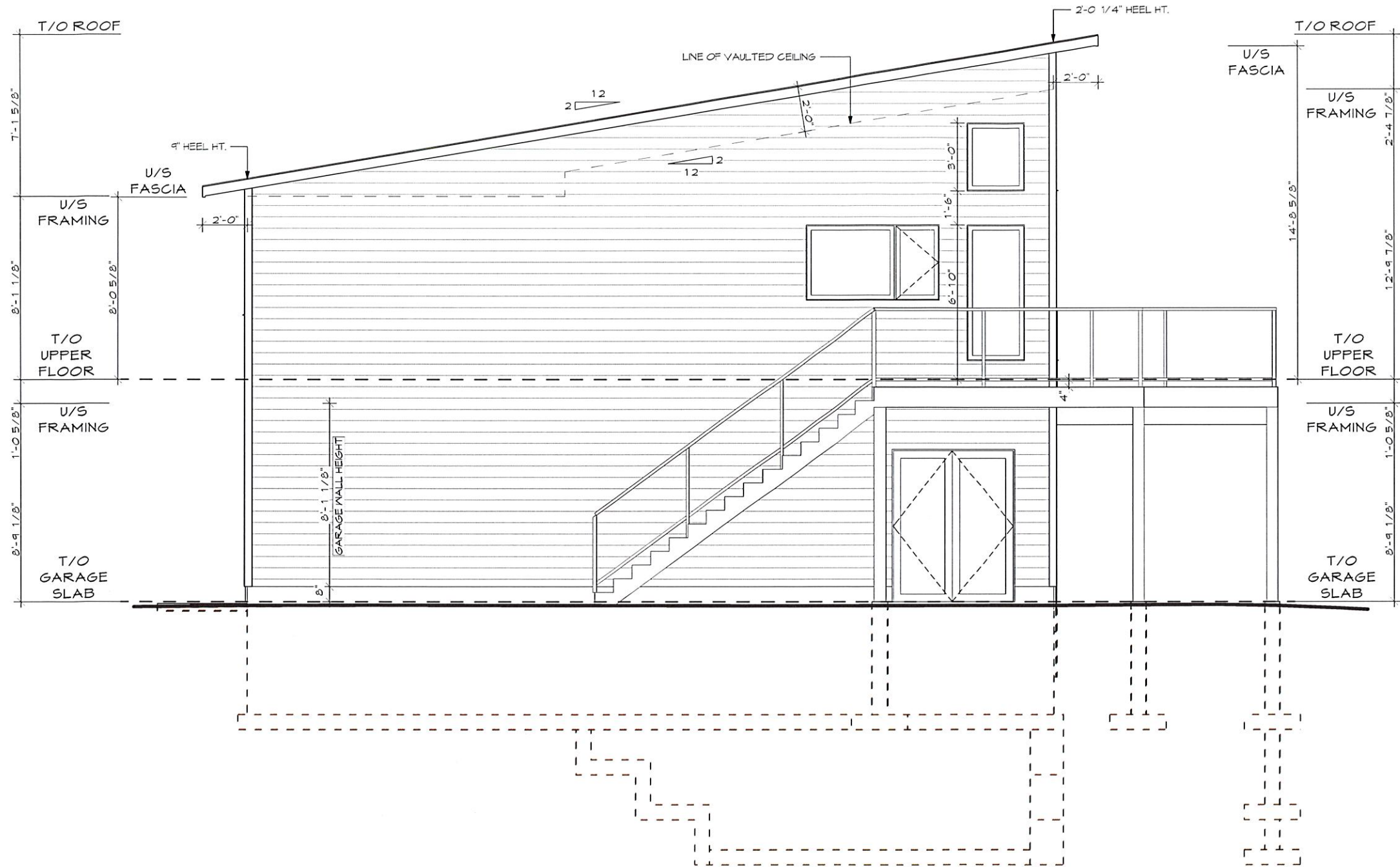
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1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB

PROJECT NAME:
1321 BIRCH RD

SHEET TITLE:
ELEVATIONS

PROJECT NUMBER: LH-2021-08	SCALE: 3/16" = 1'-0"
DATE: 21-10-2021	SHEET: A07

THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE PERMISSION OF KD RESIDENTIAL DESIGN INC.



RIGHT SIDE ELEVATION

ALL DOWNSPOUT LOCATIONS
TO BE CONFIRMED WITH BUILDER
PRIOR TO INSTALLATION

ALL GRADES TO BE
CONFIRMED BY OTHERS
PRIOR TO CONSTRUCTION

NOTE: FINAL BUILDING & SPEC MAY
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ALL SPECIFICATIONS FOR THE NBC 2019 (AE),
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TOTAL LOWER FLOOR : 0000 SF
TOTAL DEVELOPED : 0000 SF
GARAGE SLAB : 826 SF

CLIMATE ZONE:	BUILDING AREA:	AIRTIGHTNESS
7A	107 SQ M	25

CLIENT CONTACT INFO:



**LARKAUN
HOMES**
building value for life..

DRAFTED BY:



**KD RESIDENTIAL
DESIGN**

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WEB: WWW.KDRD.CA

LEGAL ADDRESS:

CIVIC ADDRESS:
1321 BIRCH RD, S.V. OF
BIRCHCLIFF, AB

PROJECT NAME:
1321 BIRCH RD

SHEET TITLE:
ELEVATIONS

PROJECT NUMBER: LH-2021-08	SCALE: 3/16" = 1'-0"
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DATE: 21-10-2021	SHEET: A08
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GARAGE SLAB : 826 SF

CLIMATE ZONE:
7A


BUILDING AREA:
107 SQ M

AIRTIGHTNESS
25

CLIENT CONTACT INFO:

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building value for life...

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LEGAL ADDRESS:

CIVIC ADDRESS:

1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB

PROJECT NAME:

1321 BIRCH RD

SHEET TITLE:

BUILDING SECTIONS

PROJECT NUMBER:

LH-2021-08

SCALE:

3/16" = 1'-0"

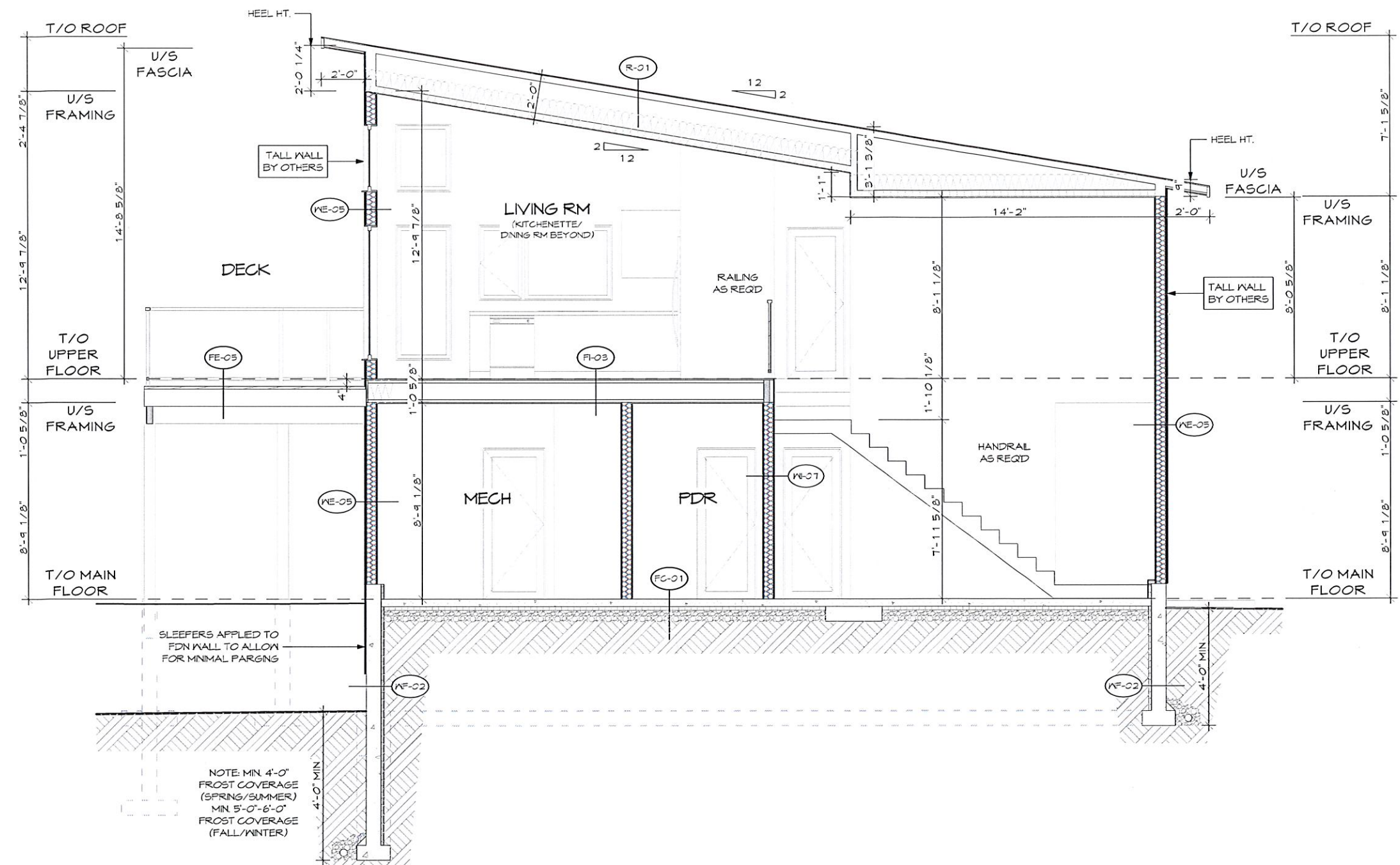
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21-10-2021

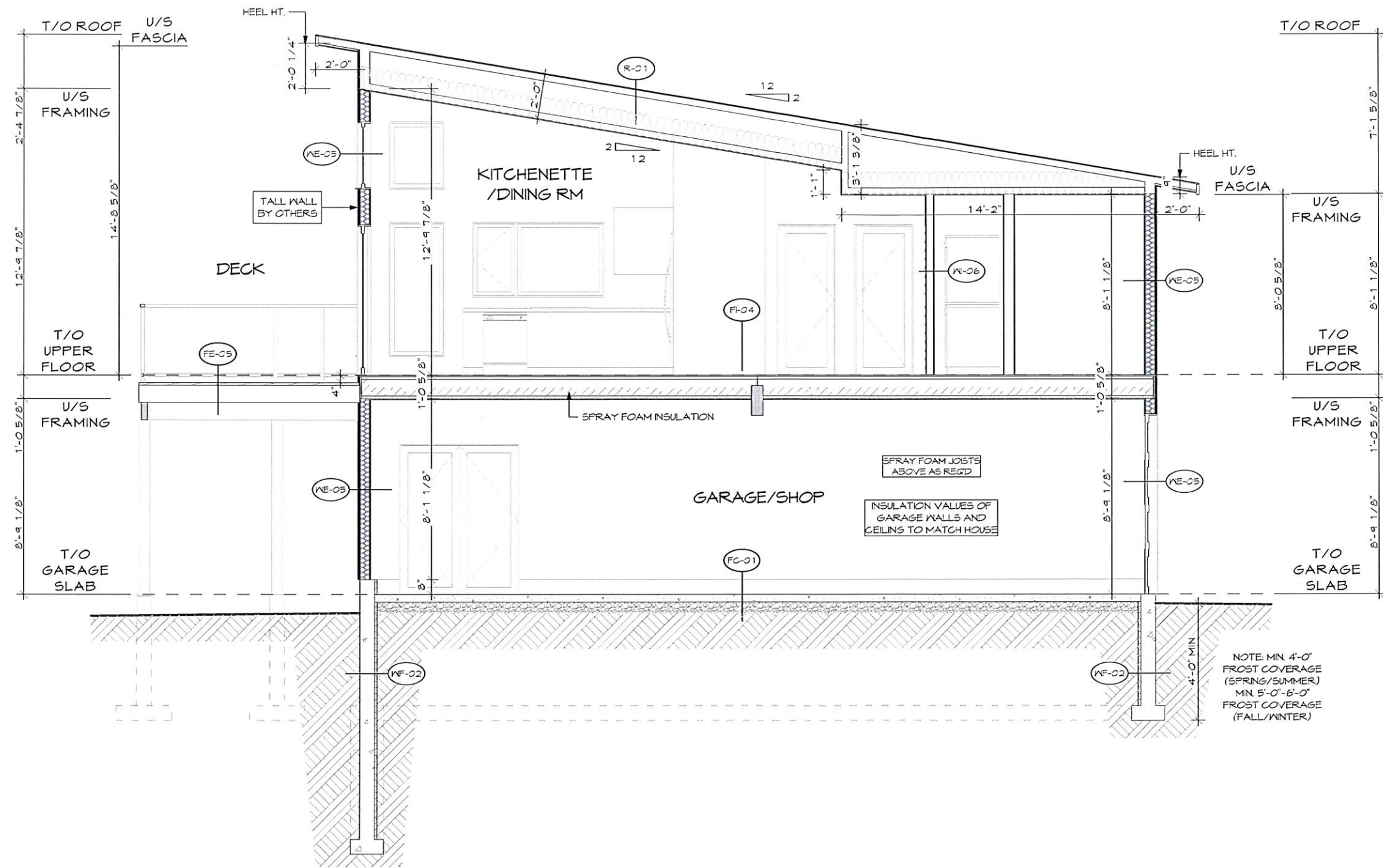
SHEET:

A09

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BUILDING SECTION A



BUILDING SECTION B


NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

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GARAGE SLAB : 826 SF


CLIMATE ZONE:	BUILDING AREA:	AIRTIGHTNESS
7A	107 SQ M	25

CLIENT CONTACT INFO:



LARKAUN HOMES
building value for life...

DRAFTED BY:



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LEGAL ADDRESS:

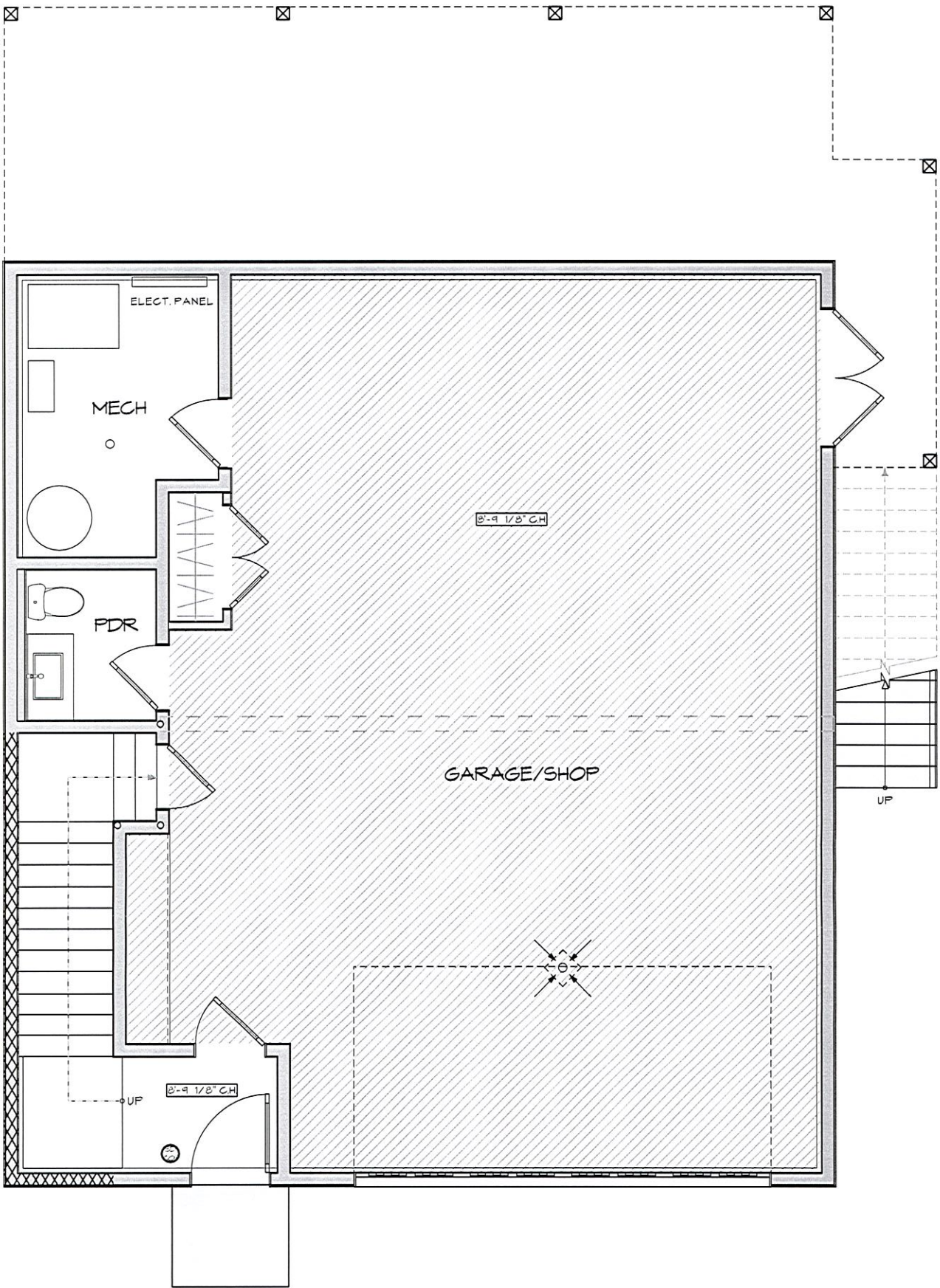
CIVIC ADDRESS:
1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB

PROJECT NAME:
1321 BIRCH RD

SHEET TITLE:
BUILDING SECTIONS

PROJECT NUMBER: LH-2021-08	SCALE: 3/16" = 1'-0"
DATE: 21-10-2021	SHEET: A 10

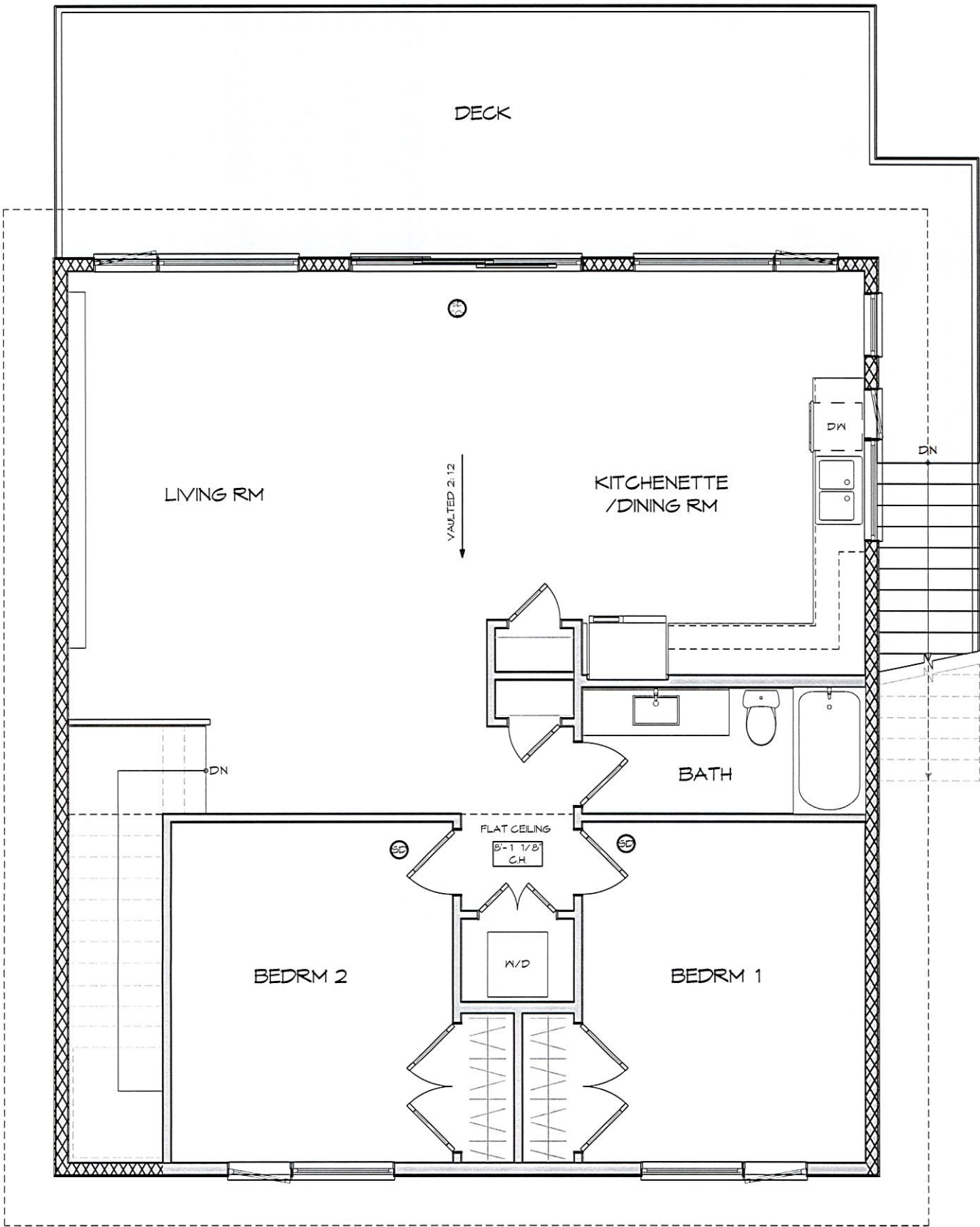
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ELECTRICAL LEGEND			
	CEILING MOUNTED FIXTURE		SPEAKER
	RECESSED POT LIGHT		TELEPHONE
	SMALL RECESSED POT LIGHT		CAT V WIRING
	WALL SCONCE		CABLE OUTLET
	CEILING FAN		USB RECEPTACLE
	UNDER CABINET LIGHT		THERMOSTAT
	WP SHOWER POT		CENTRAL VAC
	EXHAUST FAN		SWITCH
	110V OUTLET		3 WAY SWITCH
	220V OUTLET		4 WAY SWITCH
	GFI OUTLET		SMOKE DETECTOR
	EXTERIOR WATERPROOF OUTLET		SMOKE/CO ² DETECTOR
	DEDICATED OR KITCHEN OUTLET		HOSE BIB

MAIN FLOOR ELECTRICAL

ALL SPECIFICATIONS FOR THE NBC 2019 (A.E). 9.3.6. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	LEGAL ADDRESS:	CIVIC ADDRESS: 1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB	CLIMATE ZONE: 7A	BUILDING AREA: 107 SQ M	AIRTIGHTNESS 2.5
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			SHEET TITLE: MAIN FLOOR ELECTRICAL	DATE: 21-10-2021	SHEET: EO1



ELECTRICAL LEGEND			
	CEILING MOUNTED FIXTURE		SPEAKER
	RECESSED POT LIGHT		TELEPHONE
	SMALL RECESSED POT LIGHT		CAT V WIRING
	WALL SCONCE		CABLE OUTLET
	CEILING FAN		USB RECEPTACLE
	UNDER CABINET LIGHT		THERMOSTAT
	WP SHOWER POT		CENTRAL VAC
	EXHAUST FAN		SWITCH
	110V OUTLET		3 WAY SWITCH
	220V OUTLET		4 WAY SWITCH
	GFI OUTLET		SMOKE DETECTOR
	EXTERIOR WATERPROOF OUTLET		SMOKE/CO ² DETECTOR
	DEDICATED OR KITCHEN OUTLET		HOSE BIB

UPPER FLOOR ELECTRICAL

ALL SPECIFICATIONS FOR THE NBC 2019 (AE), 9.3.6. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	LEGAL ADDRESS:	CIVIC ADDRESS: 1321 BIRCH RD, S.V. OF BIRCHCLIFF, AB	CLIMATE ZONE: 7A	BUILDING AREA: 107 SQ M	AIRTIGHTNESS 2.5
MAIN FLOOR : 105 SF UPPER FLOOR : 1152 SF TOTAL : 1257 SF DEV LOWER FLOOR : 0000 SF TOTAL LOWER FLOOR : 0000 SF TOTAL DEVELOPED : 0000 SF GARAGE SLAB : 826 SF	CLIENT CONTACT INFO: 	DRAFTED BY: KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 1321 BIRCH RD	PROJECT NUMBER: LH-2021-08	SCALE: 3/16" = 1'-0"
			SHEET TITLE: UPPER FLOOR ELECTRICAL	DATE: 21-10-2021	SHEET: E02





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