

**MUNICIPAL PLANNING COMMISSION AGENDA
SUMMER VILLAGE OF SUNBREAKER COVE
ADMINISTRATION OFFICE
DECEMBER 19, 2022 @ 9:00 A.M.**

- A. CALL TO ORDER**
- B. ADOPTION OF AGENDA**
- C. DEVELOPMENT ITEMS**
 - 1) 717 Elk Street
- D. ADJOURNMENT**

Summer Village of Sunbreaker Cove – Municipal Planning Commission
December 19, 2022

Agenda Item

717 Elk Street (Lot 20&21, Block 6, Plan 1823MC)

Development Permit Application

Background:

The registered owner of 717 Elk Street (Lot 20&21, Block 6, Plan 1823MC), in the village of Sunbreaker Cove is requesting setback variances for a dwelling addition (sunroom). This property is located in the R1 District (Residential District). The proposed addition is to be located at the rear of the dwelling where there is an existing exterior door. The proposed lot coverage would be 37.7% and under the maximum 50% and the addition is below the maximum height. There will be no landscaping changes or trees removed.

Discussion:

This application is before MPC for the following reasons:

- The rear yard setback to the dwelling addition of 1.70m does not meet the minimum 7.50m, therefore requires a variance of 5.80m.
- The side yard setback to the dwelling addition of 2.88m does not meet the minimum 3m, therefore requires a variance of 0.12m.

Recommendation:

The MPC may approve an application even though the proposed development does not comply or is a non-conforming building if it would not unduly interfere with the amenities of the neighborhood, or materially interfere with or affect the use, enjoyment, or value of neighboring parcels of land. After reviewing the application, it is the recommendation of administration to approve the application with the requested variances. It is the opinion of administration that the variances will not unduly interfere with the amenities of the neighborhood or neighboring parcels of land as the development is abutting the Community Reserve. Adjacent landowners have been notified of the proposed variance request and no response has been received.

Conditions:

If approved, Administration would recommend the following conditions:

- Zero trees to be removed.
- Completions deposit of \$500.00

- The height of the dwelling addition shall not exceed 10m (32.81ft.) in building height measured from grade.
- Copies of all applicable Building, Electrical, and Plumbing & Gas permits shall be provided to the administration office to be kept on file.

Authorities:

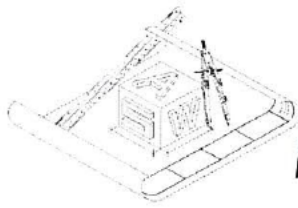
The MPC may:

- Grant a variance to reduce the requirements of any use of the LUB and that use will be deemed to comply with LUB.
- Approve application even though the proposed development does not comply or is a nonconforming building if:
 - o It would not unduly interfere with the amenities of the neighborhood, or
 - o Materially interfere with or affect the use, enjoyment, or value of neighboring parcels of land, And
 - o It conforms with the use prescribed for that land or building in the bylaw.
- Consider a Variance only where warranted by the merits or the proposed development and in response to irregular lot lines, parcel shapes or site characteristics which create difficulties in siting structures within the required setback or in meeting the usual bylaw requirements, except there shall be no variance for Parcel Coverage or Building Height.

Decision:

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (*Section 642 of the MGA*), or
2. Deny the application stating reasons why (*Section 642(4) of the MGA*).

**Winsor CADing inc.**

Letter of Intent

2022-11-10

Summer Villages on Sylvan Lake
#2 Erickson Drive
Sylvan Lake, AB, T4S 1P5

To whom it may concern,

Regarding,

Address: 717 Elk Street, Sunbreaker Cove
Lot: **20&21** Block: **6** Plan: **1823 MC**

It is the intent for the Sunroom to enclose a swim spa to protect it from the elements and to provide some privacy. The Sunroom enclosure will provide a longer more comfortable use of the swim spa during those day of the year where the weather is not ideal. Being that the rear door is at this location it is convenient to locate the Sunroom at this location as well. Due to the large green space behind the property, it is our hope that a relaxation to the rear yard setback would be granted.

Blessings,



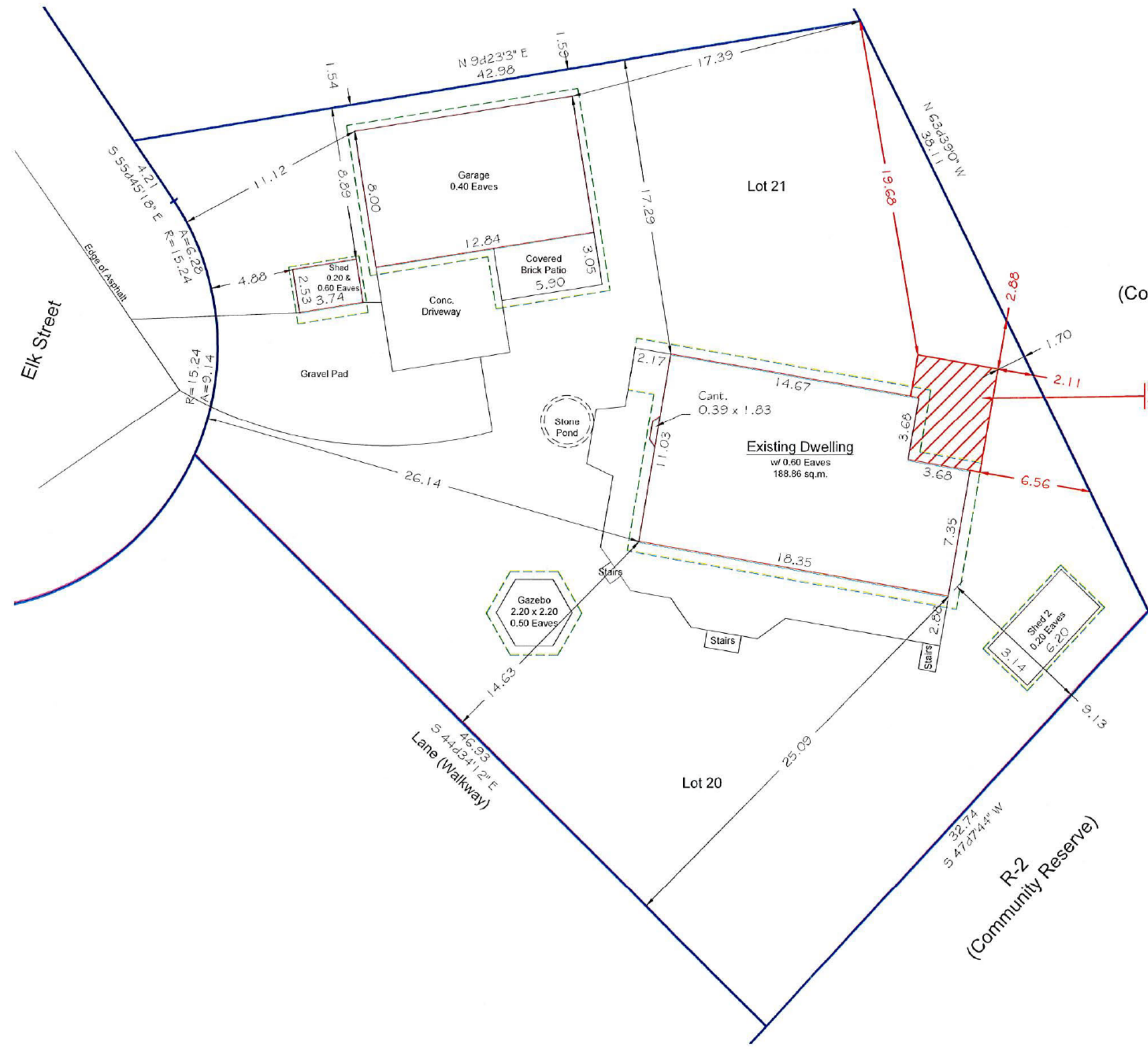


Conc. Driveway + Gravel Pad 141 sq.m

LOT COVERAGE	
Total Lot Area	2007.74 sq. m.
Existing Dwelling	188.86 sq. m.
Existing Cantilevers	0.71 sq. m.
Proposed Addition	27.32 sq. m.
Existing Gazebo	12.57 sq. m.
Existing Shed 2	18.84 sq. m.
Existing Garage	102.72 sq. m.
Existing Shed	9.46 sq. m.
Existing Covered Patio	18.00 sq. m.
Total Proposed Coverage	378.48 sq. m.
Lot Coverage	18.85% 37.70%

R-2
(Community Reserve)

Proposed Sunroom Addition
w/ 0.00m Eaves at Main Floor Level (27.32 sq.m.)



1 Site Plan
SCALE: 1:250

General Notes:
- All construction shall conform to current Provincial Building Code, National Building Code and Local by Laws.
- This drawing is based on actual 'as-built' measurements & R.P.R. Information by 'Strategic' Dated 2012-08-09 FileNo. SR-221-12.
- In the event of a discrepancy in a measurement between plan & 'as-built' should occur, the 'as-built' shall take precedence over plan.
- Winsor CAD Inc. Does not assume any liability for any omissions or errors on this plan. The building contractor is to verify all dimensions and specifications prior to beginning construction.

Winsor CAD Inc.
"Drafting Services"

Autic
(507) 777-2689
Autic@WinsorCAD.ca

Residential Addition
Sunroom

Lot 20 & 21, Block 6, Plan 1823 MC
717 Elk ST Summer Village, Sunbreaker Cove
Sylvan Lake, AB, Canada

1 of 3

2022-11-03

METRIC - Meters

11" x 17" (Ledger)



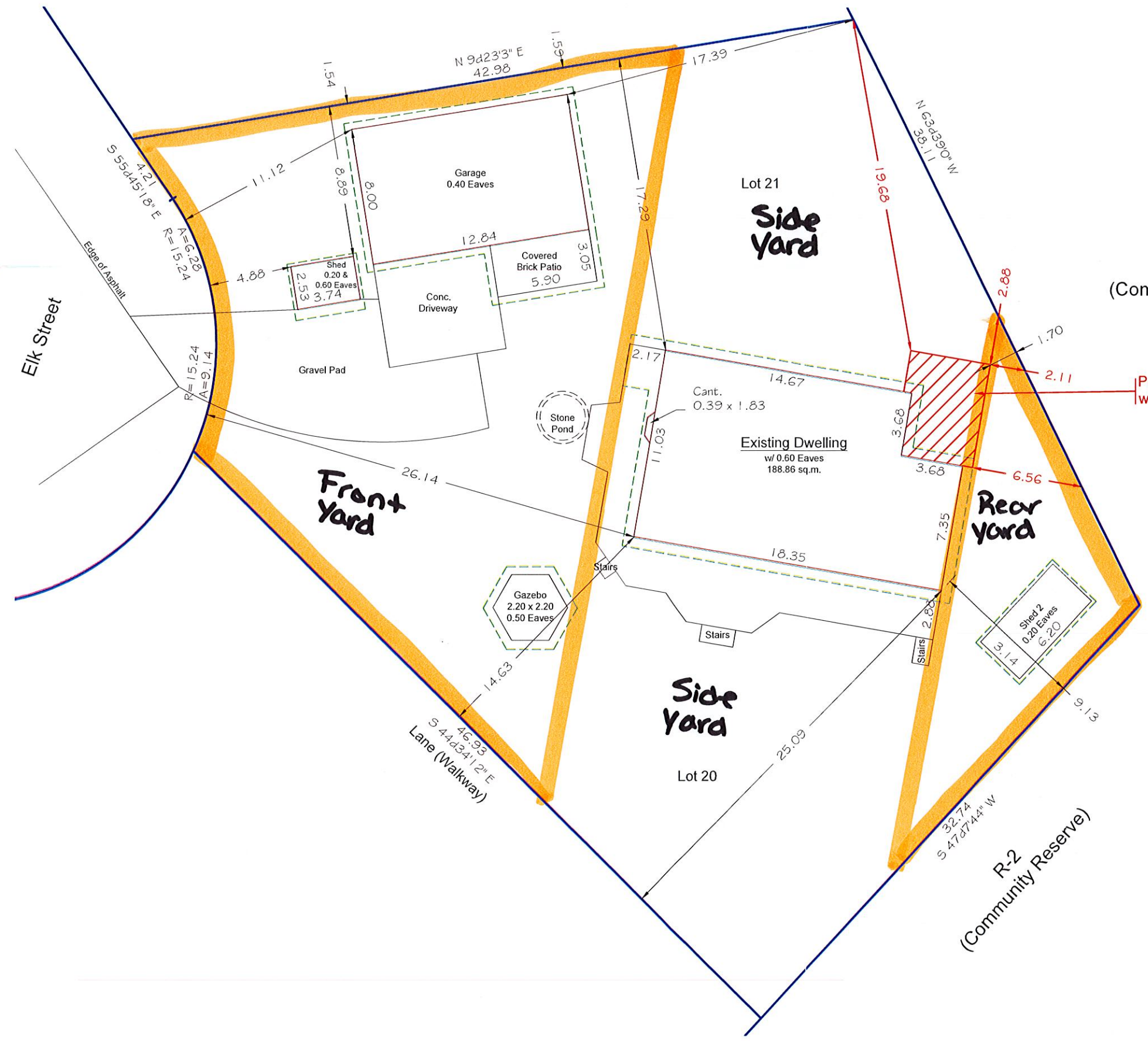
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R-2
(Community Reserve)

Showing Yards

Proposed Sunroom Addition
w/ 0.00m Eaves at Main Floor Level (27.32 sq.m.)



1 Site Plan
SCALE: 1:250

Residential Addition
Sunroom
Lot 20 & 21, Block 6, Plan 1823 MC
717 Elk St Summer Village, Sunbreaker Cove
Sylvan Lake, AB, Canada

Winsor CAD Inc.
"Drafting Services"

Audite
(587) 777-2689
Audite@WinsorCAD.com

1 of 3
2022-11-08

Drawings Produced By:
Winsor CAD Inc.
Audite
(587) 777-2689
Audite@WinsorCAD.com

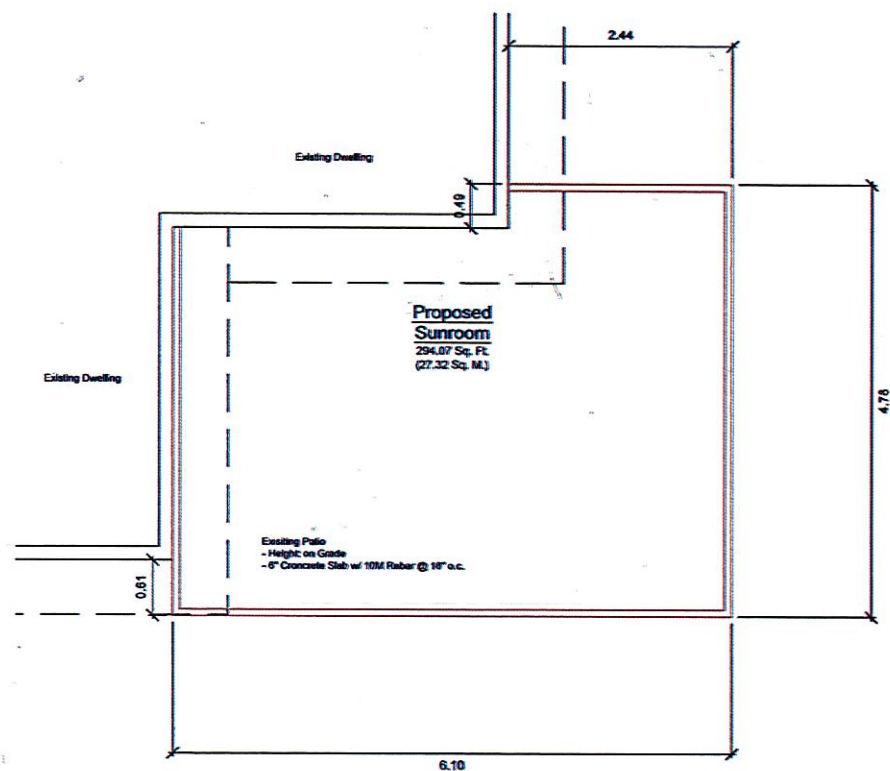
Page: 1 of 1
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Page: 1 of 1
11" x 17" (Ledger)

METRIC - Meters



1 Floor Plan

SCALE: 1:50

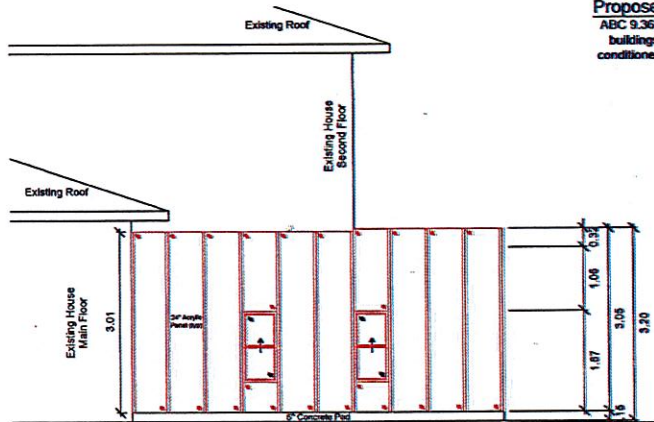


PERMIT TO PRACTICE
SIPPOLA ENGINEERING SERVICES LTD.
 Signature *Calvin Sippola*
 Date *Oct 5/22*
PERMIT NUMBER: P 4773
 The Association of Professional
 Engineers and Geoscientists of Alberta

<p>- All construction shall conform to current Provincial Building Code - National Building Code and Local by Laws.</p> <p>- This drawing is based on actual "as-built" measurements & R.F.P. information by "Strategic" Dated 2012-08-09 File No. SR-21-12.</p> <p>- In the event of a discrepancy in a measurement between plan & "as-built" should occur, the "as-built" shall take precedence over plan.</p> <p>- Winger CAD Inc. Does not assume any liability for any omissions or errors on this plan. The building contractor is to verify all dimensions and specifications prior to beginning construction.</p>	<p>Winger CAD Inc. Drafting Services</p> <p>John (877) 775-589 jw@winger.ca</p> <p>11" x 17" (L-edge)</p>	<p>Residential Addition Sunroom</p> <p>Lot 20 & 21, Block 6, Plan 1823 MC 717 EK ST Summer Village, Surrender Cove Stryan Lake, AB, Canada</p> <p>2022-10-03</p> <p>2 of 3</p>
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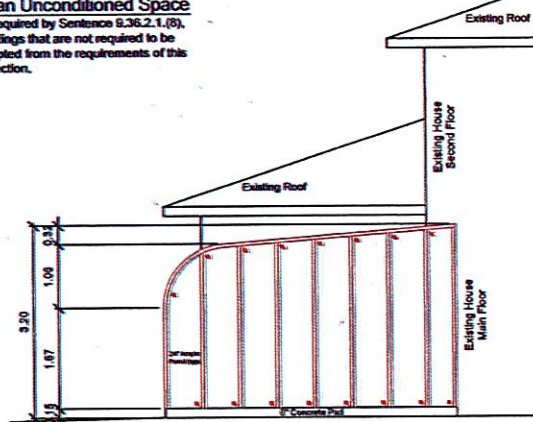
Proposed Addition is an Unconditioned Space

ABC 9.36.1.2.(5) Except as required by Sentence 9.36.2.1.(8), buildings or portions of buildings that are not required to be conditioned spaces are exempted from the requirements of this section.



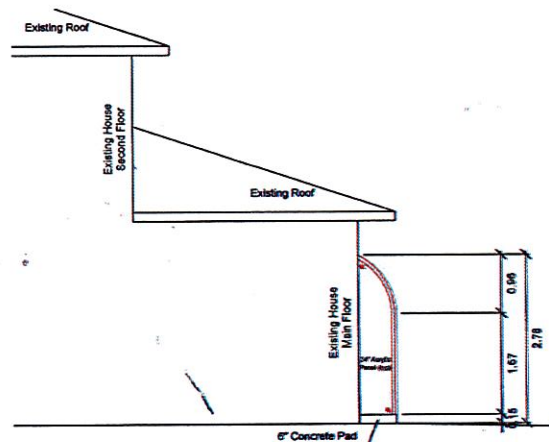
1 East Elevation

SCALE: 1:75



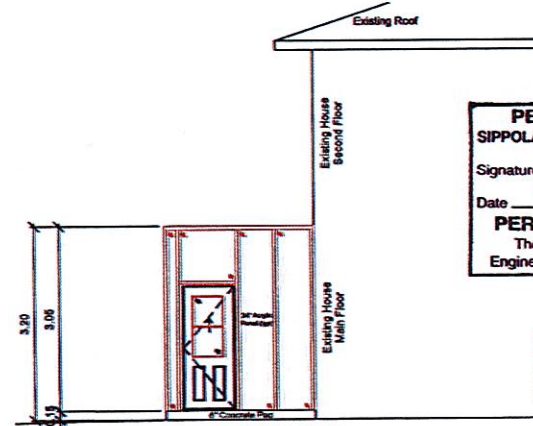
2 North Elevation

SCALE: 1:75



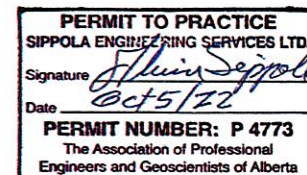
3 South Elevation

SCALE: 1:75



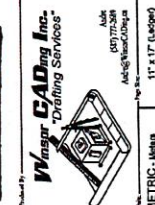
4 West Elevation

SCALE: 1:75



PRELIMINARY
NOT FOR CONSTRUCTION

All construction shall conform to current Provincial Building Code, National Building Code and Local by Laws.
This drawing is based on actual "as-built" measurements & R.P.R. information by "Strategic" Dated 2012-06-09 File No. S8-221-12.
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Wagner CAD Inc. does not assume any liability for any omissions or errors on this plan. The building contractor is to verify all dimensions and specifications prior to beginning construction.



Residential Addition
Sunroom

Lot 20 & 21, Block 6, Plan 1923 MC
717 EN ST Sunrise Village, Subdivider Cove
Sylvan Lake, AB, Canada

Project No.

2022-10-03

Sheet No.

3 of 3

Scale

11" x 17" (Landscape)

Unit

Metric - Millimetre

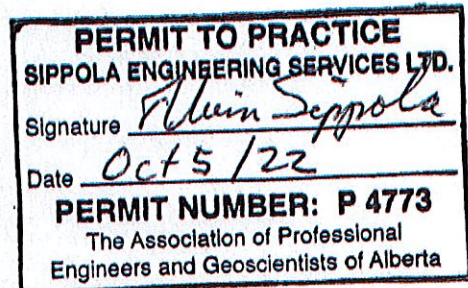
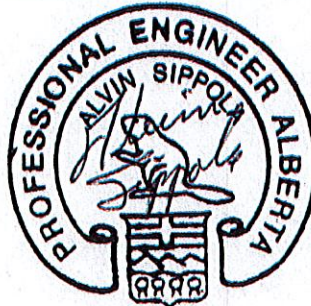
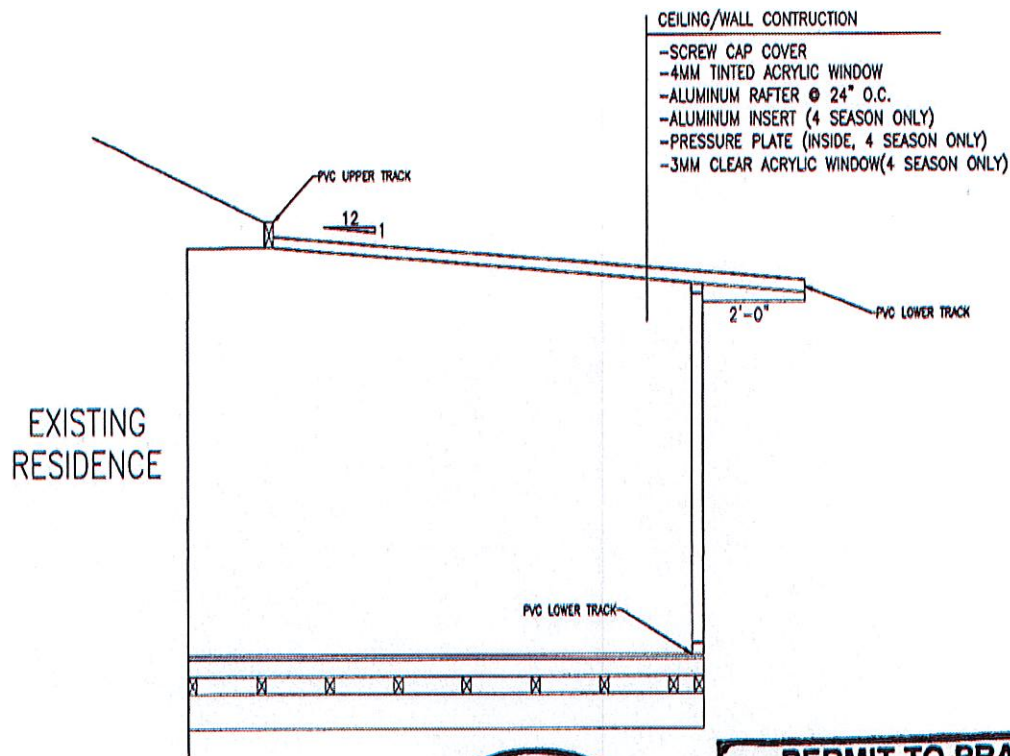


Engineering

717 Elk ST, Sylvan Lake

Sept 29, 2022

This engineering is Property of Alberta Sunshine Factory and can only be used by Alberta Sunshine Factories approved projects. This engineering is good for 1 year of date stamped seal.



SUNROOM SQUARE/FLAT ROOF DETAIL

SCALE: 1/8" = 1'-0"



ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:
JTA

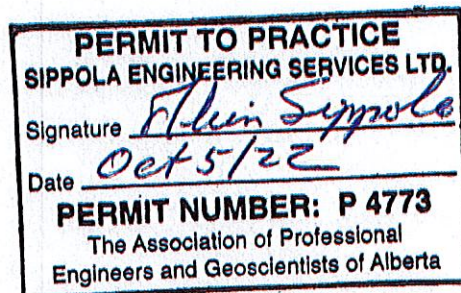
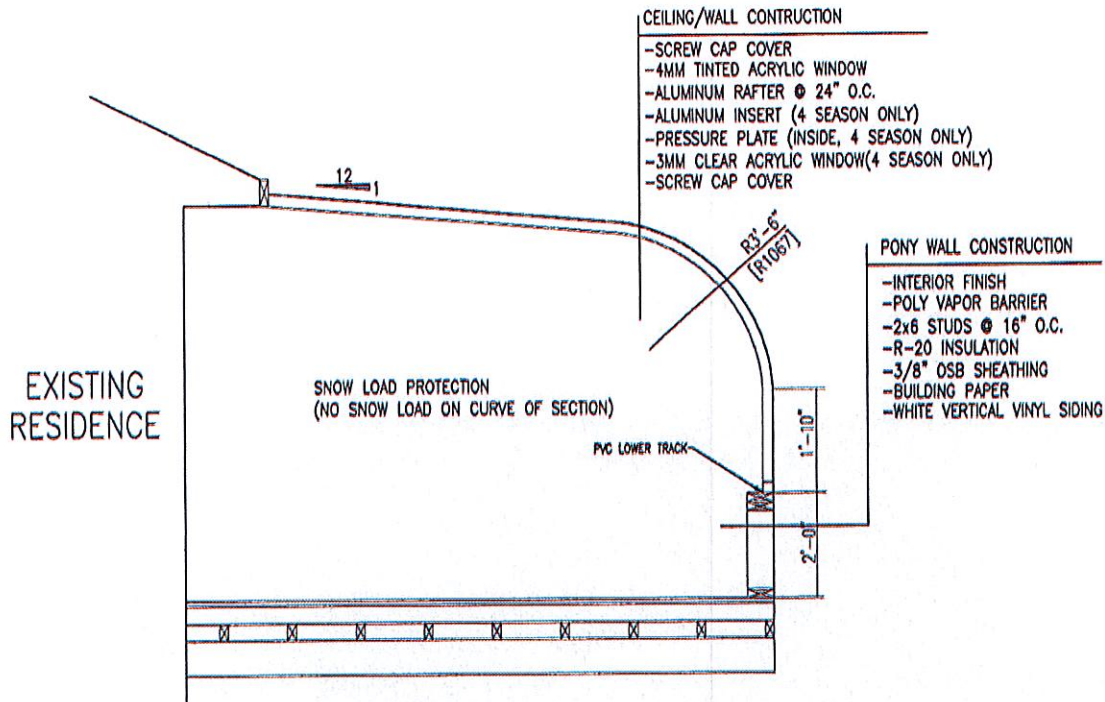
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DATE:
Sept 29, 2022

JOB:

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S - 1



CURVED SUNROOM SECTION

SCALE: 1/8" = 1'-0"



ALBERTA SUNSHINE FACTORY

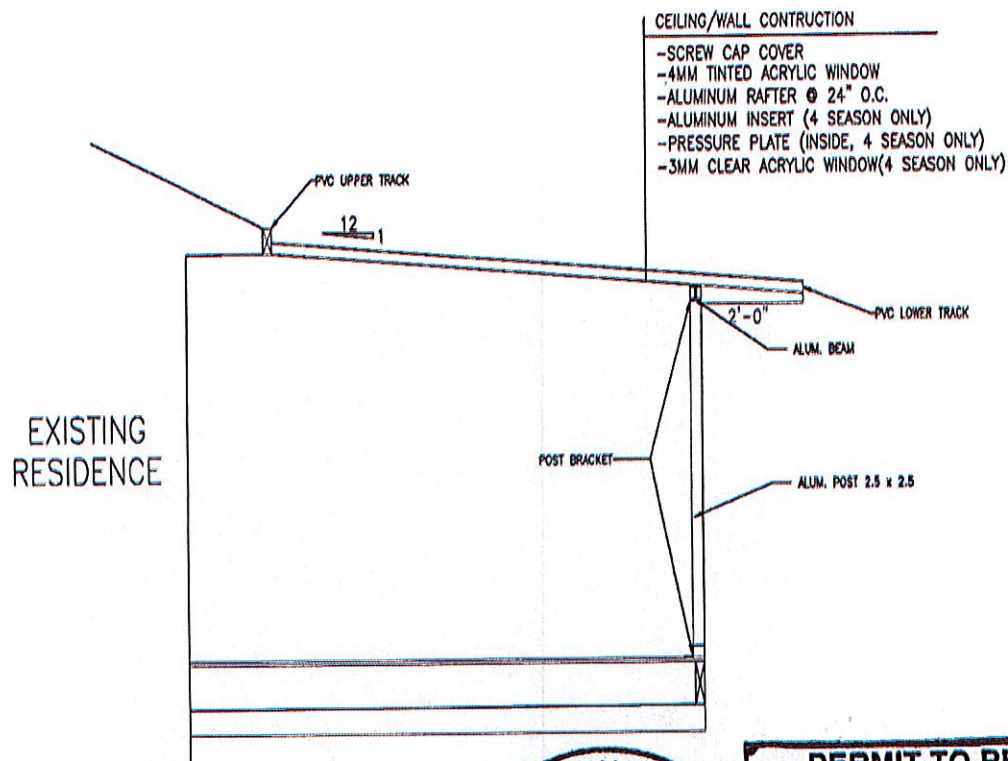
SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:
JTADRAWN:
TTDATE:
Sept 29, 2022

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S - 2

EXISTING
RESIDENCE

CEILING/WALL CONSTRUCTION

- SCREW CAP COVER
- 4MM TINTED ACRYLIC WINDOW
- ALUMINUM RAFTER @ 24" O.C.
- ALUMINUM INSERT (4 SEASON ONLY)
- PRESSURE PLATE (INSIDE, 4 SEASON ONLY)
- 3MM CLEAR ACRYLIC WINDOW(4 SEASON ONLY)

PERMIT TO PRACTICE	
SIPPOLA ENGINEERING SERVICES LTD.	
Signature	<i>Alvin Sippola</i>
Date	<i>Oct 5/22</i>
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PATIO COVER + SOLAR SCREEN
ROOM DECK SECTION

SCALE : 1/8" = 1' 0"



ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:

JTA

DRAWN:

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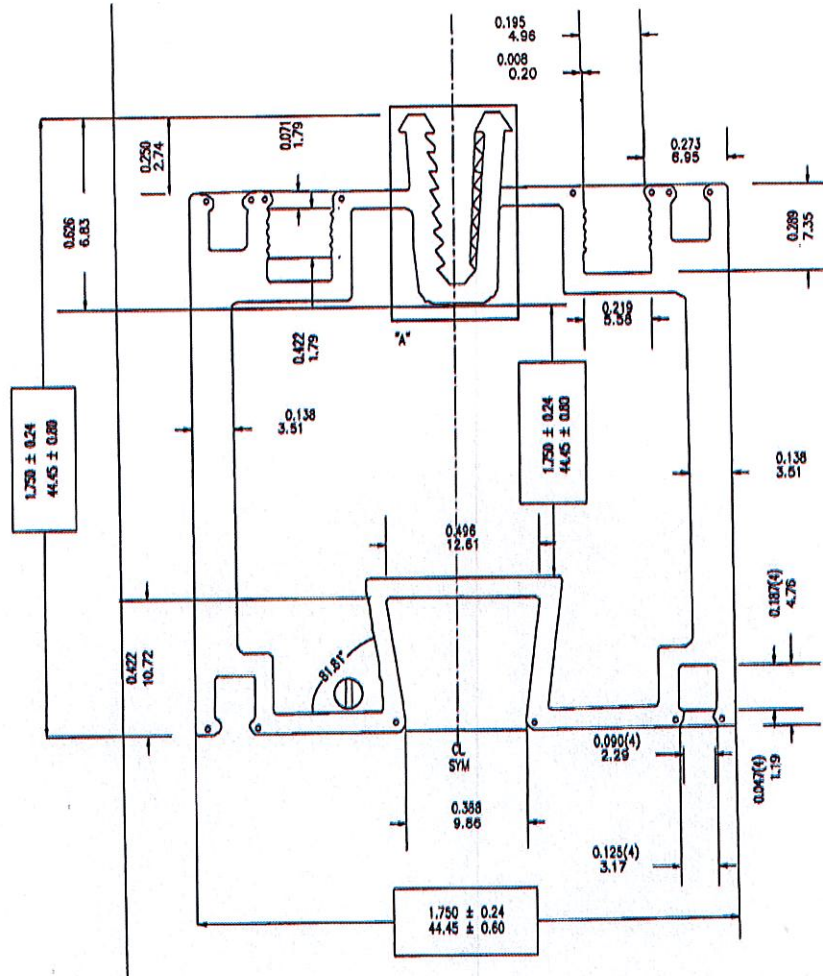
DATE:

Sept 29, 2022

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S - 3



HORIZONTAL RAFTER -SECTION

PATIO COVER



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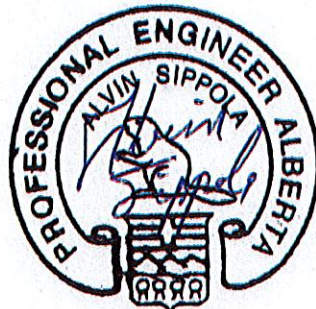
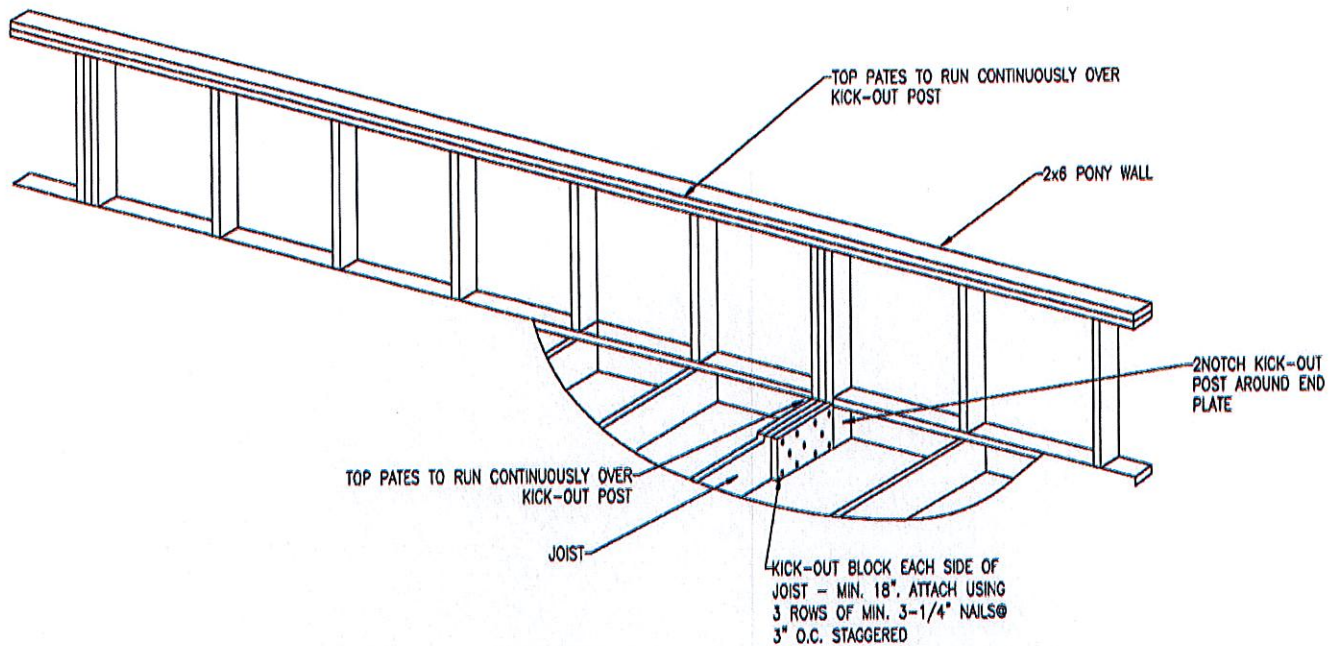
SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:
JTADRAWN:
TTDATE:
Sept 29, 2022

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KICK-OUT BRACING DETAIL

LOW WALL DETAIL



ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:
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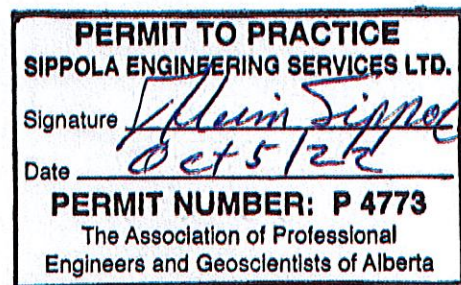
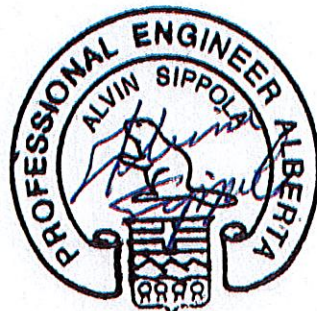
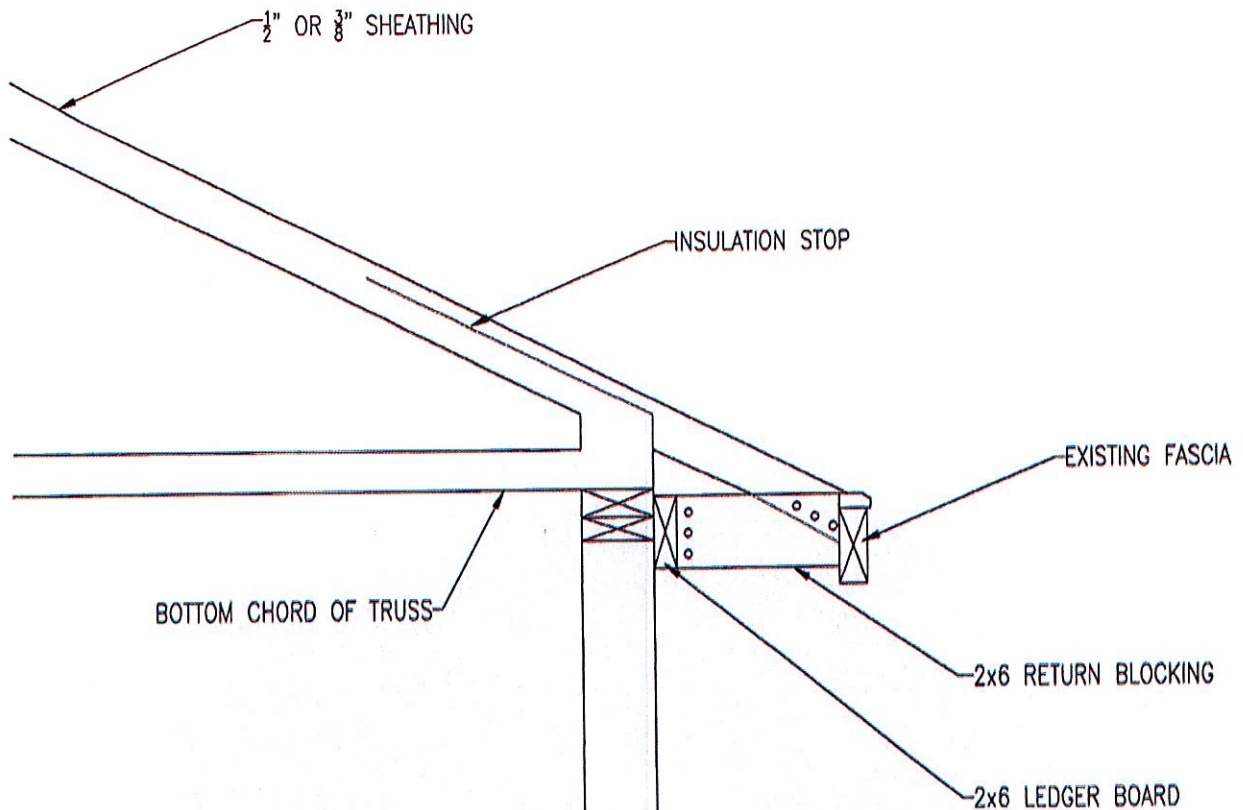
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Sept 29, 2022

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SUNROOM FASCIA MOUNTING REINFORCEMENT DETAIL

NTS



ALBERTA SUNSHINE FACTORY

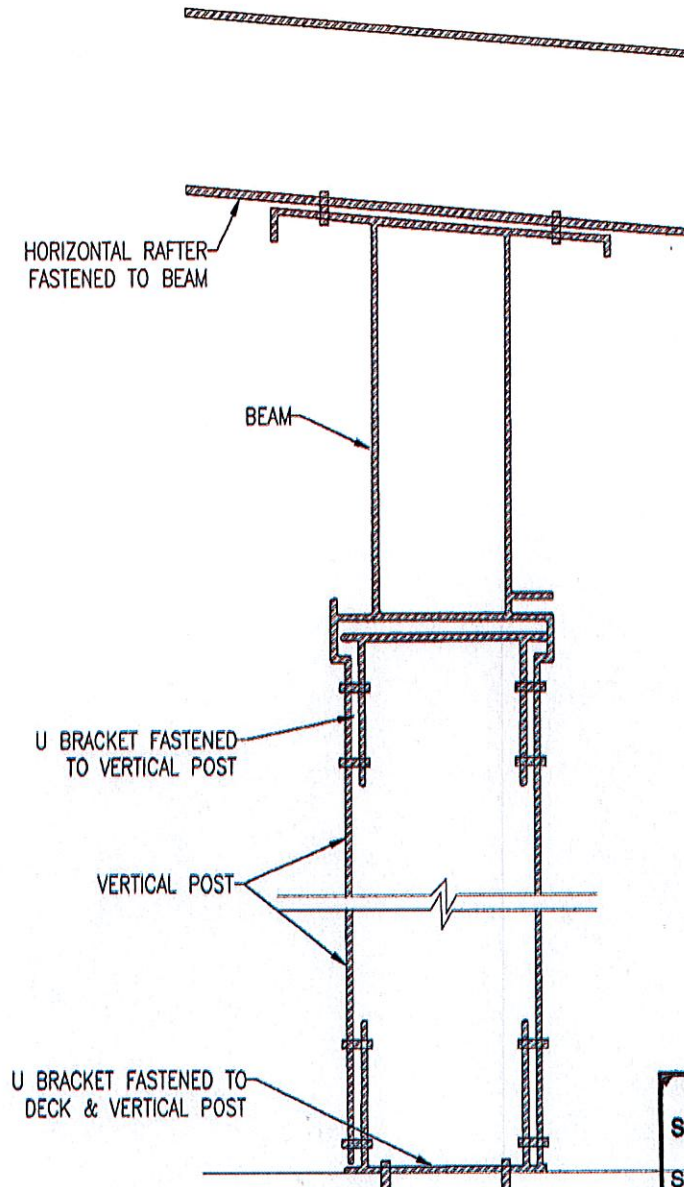
SPECIFICATIONS 717 Elk ST, Sylvan Lake

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JTADRAWN:
TTDATE:
Sept 29, 2022

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S - 6



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Date	<i>Oct 5/22</i>
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POST + BEAM CONNECTION DETAILS

PATIO COVER AND SCREEN ROOM



ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:

JTA

DRAWN:

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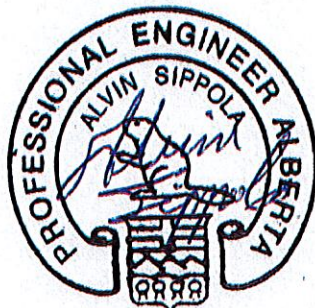
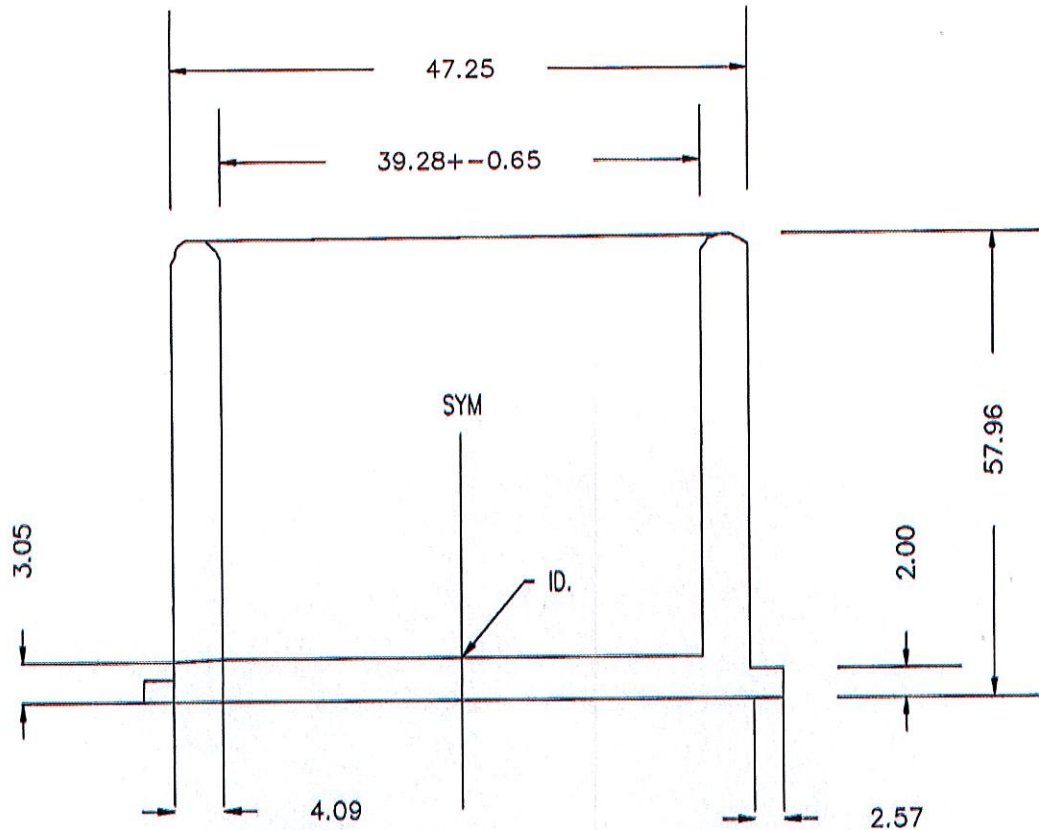
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Sept 29, 2022

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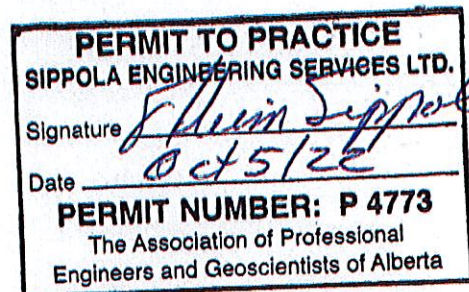
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POST BRACKET SECTION

PATIO COVER



ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

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DRAWN:

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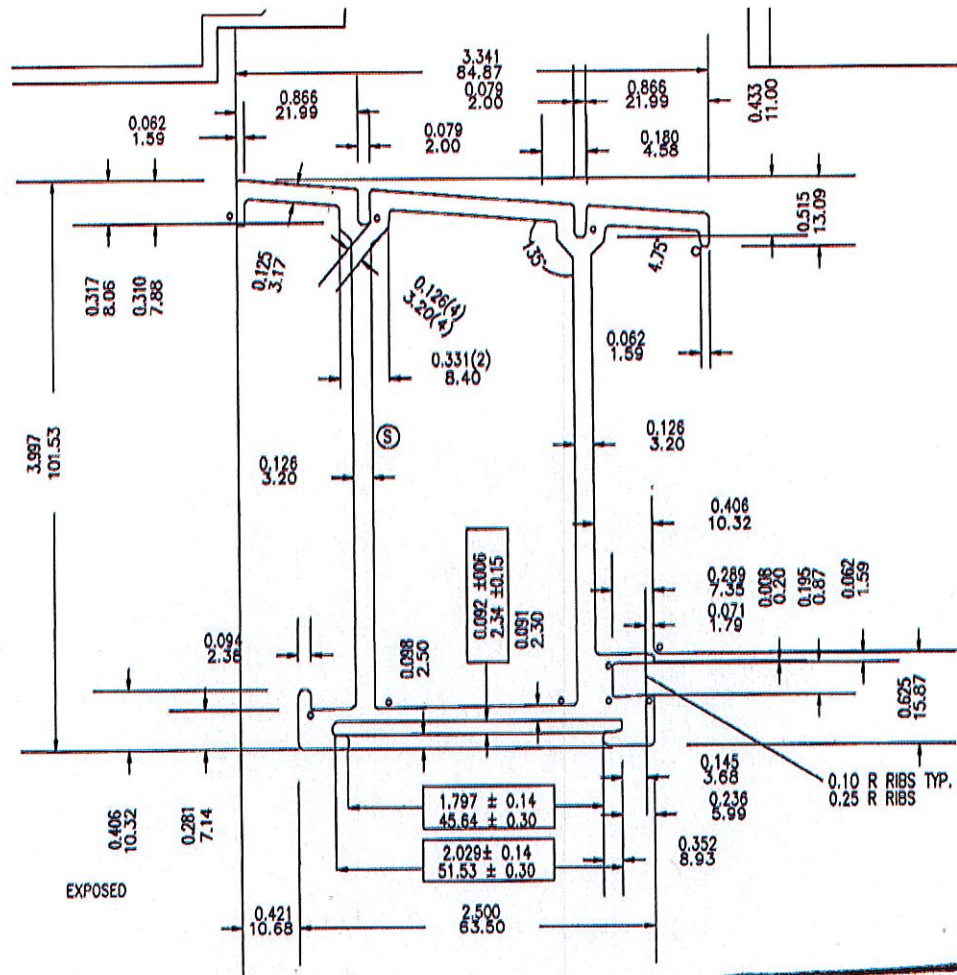
DATE:

Sept 29, 2022

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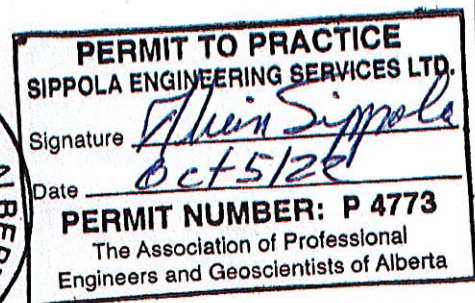
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BEAM DETAIL

NTS

9
S9

ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

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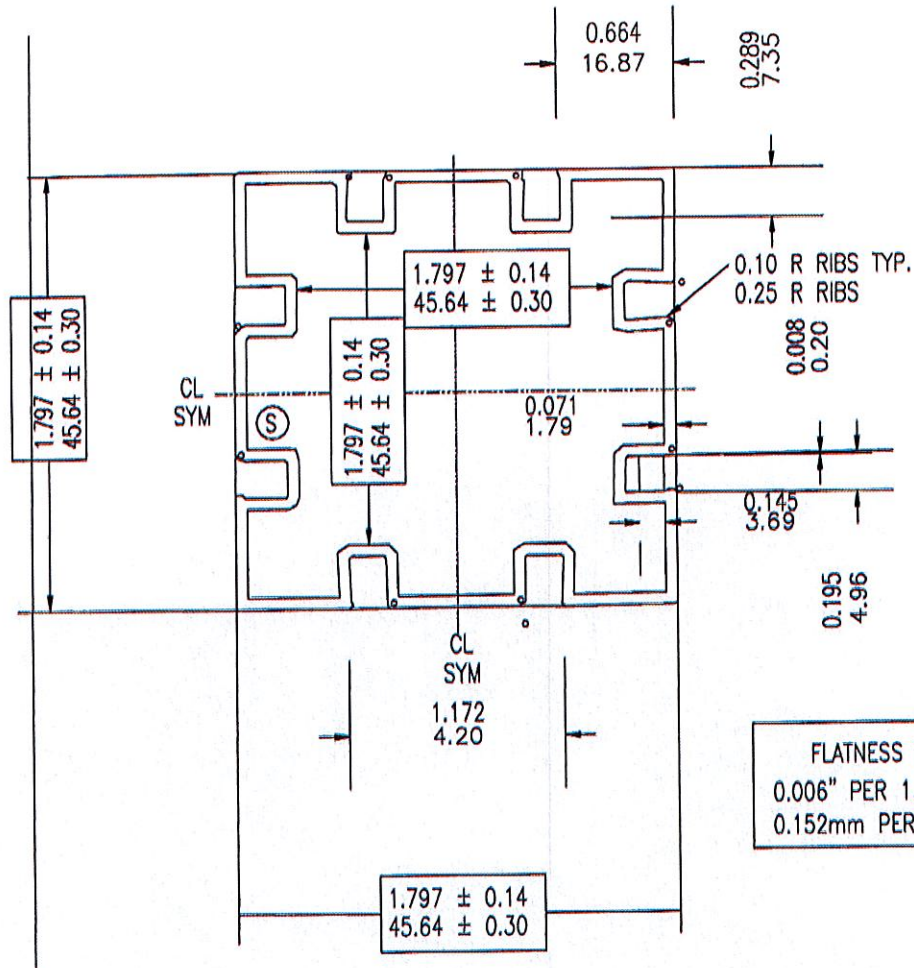
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Sept 29, 2022

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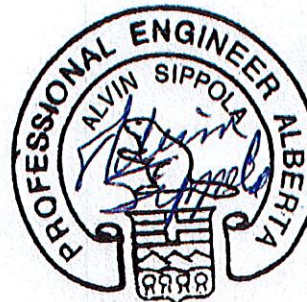
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S - 9



VERICAL POST

PATIO COVER

10
S10

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ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:

JTA

DRAWN:

TT

DATE:

Sept 29, 2022

JOB:

DWG. NO.

S - 10

FOR CURVED RAFTERS SPAN IS CALCULATED ONLY ON FLAT 1/12 ROOF PORTION NOT CURVE. CURVE HAS NO SNOW LOAD.

FLAT AND CURVED RAFTERS

AS A RESULT OF LOAD CALCULATIONS CARRIED OUT I CERTIFY THAT THE RAFTERS CAN SAFELY CARRY SNOW LOADS GIVEN BELOW. THE LOADS ARE BASED ON THE FOLLOW CRITERIA.

1. RAFTERS CONSIST OF BASE SECTION
2. RAFTERS ARE 6063-T5 GRADE ALUMINUM
3. RAFTERS SPACING IS 24" MAX
4. ROOF SELF WEIGHT DEAD LOAD IS 5PSF MAX
5. THE CURVED RAFTERS CONSIST OF A STRAIGHT SECTION SLOPING AT 1:12 CONTINUOUS WITH A 3'-6" INSIDE RADIUS ONTO A VERTICAL SECTION FIXED ON TOP OF A HIGH PONY WALL, HEIGHT AT THE FASCIA SUPPORT END
6. THE FASCIA AND PONY WALL ARE SUFFICIENTLY RIGID TO PREVENT SIGNIFICANT HORIZONTAL MOVEMENT
7. SNOW LOAD IS ASSUMED OVER THE PROJECTED HORIZONTAL SURFACE ON THE RAFTER
8. DESIGN IS IN ACCORDANCE WITH THE ALBERTA+BC BUILDING CODE

OVERALL SPAN	SNOW LOADS (PSF)	(KPa)
8'-0"	65+	3.11+
9'-0"	63	3.02
10'-0"	48	2.30
11'-0"	46	2.20
12'-0"	32	1.53
13'-0"	28	1.34
14'-0"	20	0.96

EVERYTHING OVER MAY NEED ADDITIONAL BEAM APPROVED BY ENGINEERS

$S=0.65+S_r$ WHERE S_s AND S_r ARE GROUND SNOW VALUES FOR SELECTED LOCATIONS IN APPENDIX C OF THE ALBERTA BUILDING CODE.

SECTION PROPERTY ARE:	AREA (SQ.IN)	CENTROID HEIGHT(IN.)	INERTIA (IN.4)	MODULUS, TOP (IN.3)	MODULUS, BOTTOM (IN.3)
MAIN SECTION	0.711	0.837	0.426	0.236	0.528

DEFLECTION IS LIMITED TO A MAXIMUM OF $L/180$ LIVE LOAD, BASED ON THE ABOVE LOADS.

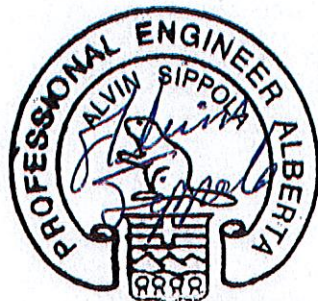
ALLOWABLE SNOW LOADS ARE CALCULATED FOR 24" RIB SPACE WITH AN ALLOWANCE OF 5PSF FOR SELF WEIGHT AND LOAD FACTORS 1.25 FOR DEAD LOADS AND 1.5 FOR LIVE LOAD.

CONCLUSIONS
ALLOWABLE SNOW LOADS FOR RAFTERS CONSTRUCTED AS DESCRIBED IN THE LOAD TESTS ABOVE ARE AS FOLLOWS.

THIS PRODUCT CAN BE PLACED ON CONCRETE SLAB DO TO ITS FLEXIBILITY TO ABSORB FROST MOVEMENT.

OVERALL SPAN	SNOW LOADS (PSF)	(KPa)
8'-0"	65+	3.11+
9'-0"	63	3.02
10'-0"	48	2.30
11'-0"	46	2.20
12'-0"	32	1.53
13'-0"	28	1.34
14'-0"	20	0.96

FOR SPANS AND LOADS OUTSIDE THE ABOVE PARAMETERS, CONSULT ENGINEERING.



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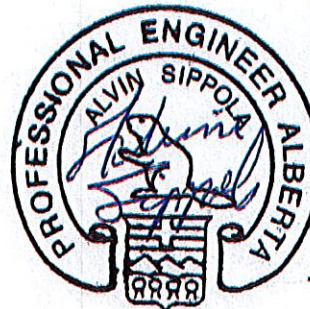
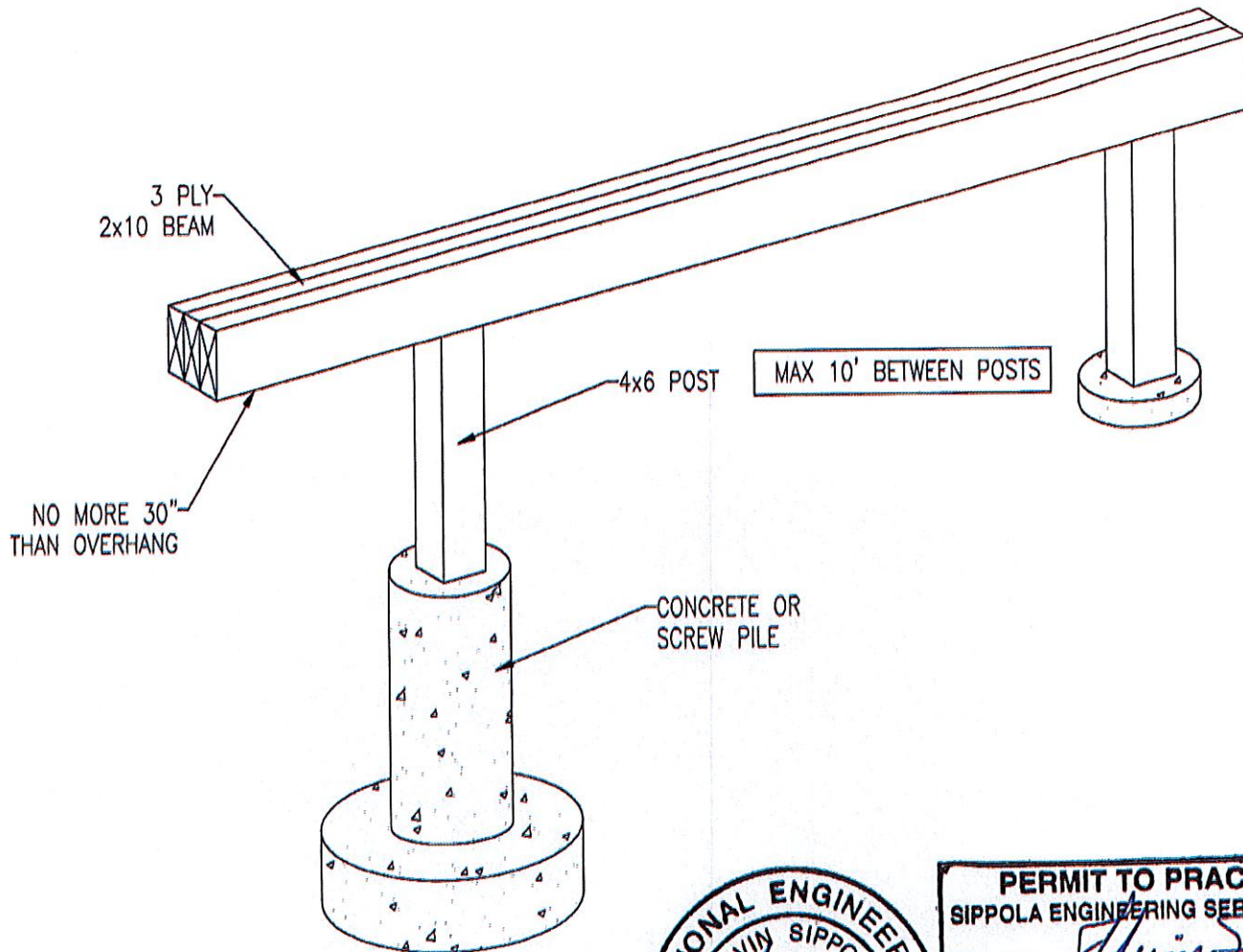
ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:	DRAWN:	DATE:	JOB:
JTA	TT	Sept 29, 2022	

DWG. NO.

S - 11



PERMIT TO PRACTICE SIPPOLA ENGINEERING SERVICES LTD.	
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PERMIT NUMBER: P 4773	
The Association of Professional Engineers and Geoscientists of Alberta	

BEAM & SCREW PILE DETAIL

NTS

11

S12



ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

DWG. NO.

DESIGN:

JTA

DRAWN:

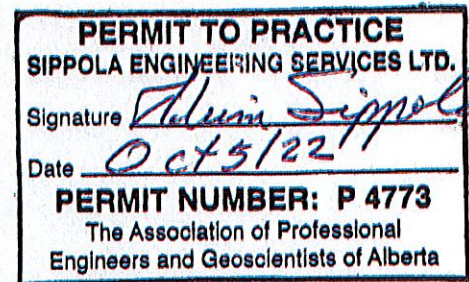
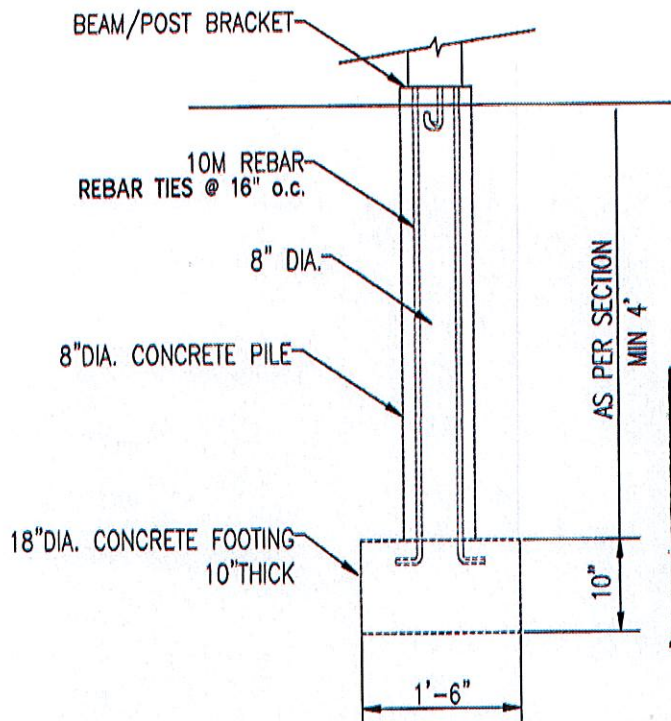
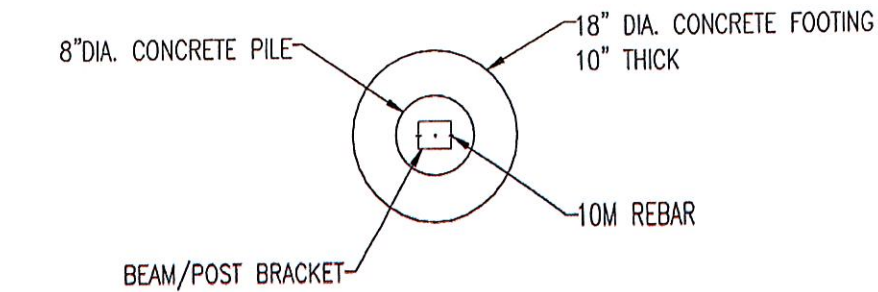
TT

DATE:

Sept 29, 2022

JOB:

S - 12



NOTE:
SCREW PILES
TO BE ENGINEERED
BY INSTALLER TO
INSURE PROPER
LOAD TESTS+PRESURE

CONC. PILE DETAIL 8" DIA

1/2" = 1'-0"



ALBERTA SUNSHINE FACTORY

SPECIFICATIONS 717 Elk ST, Sylvan Lake

DESIGN:
JTA

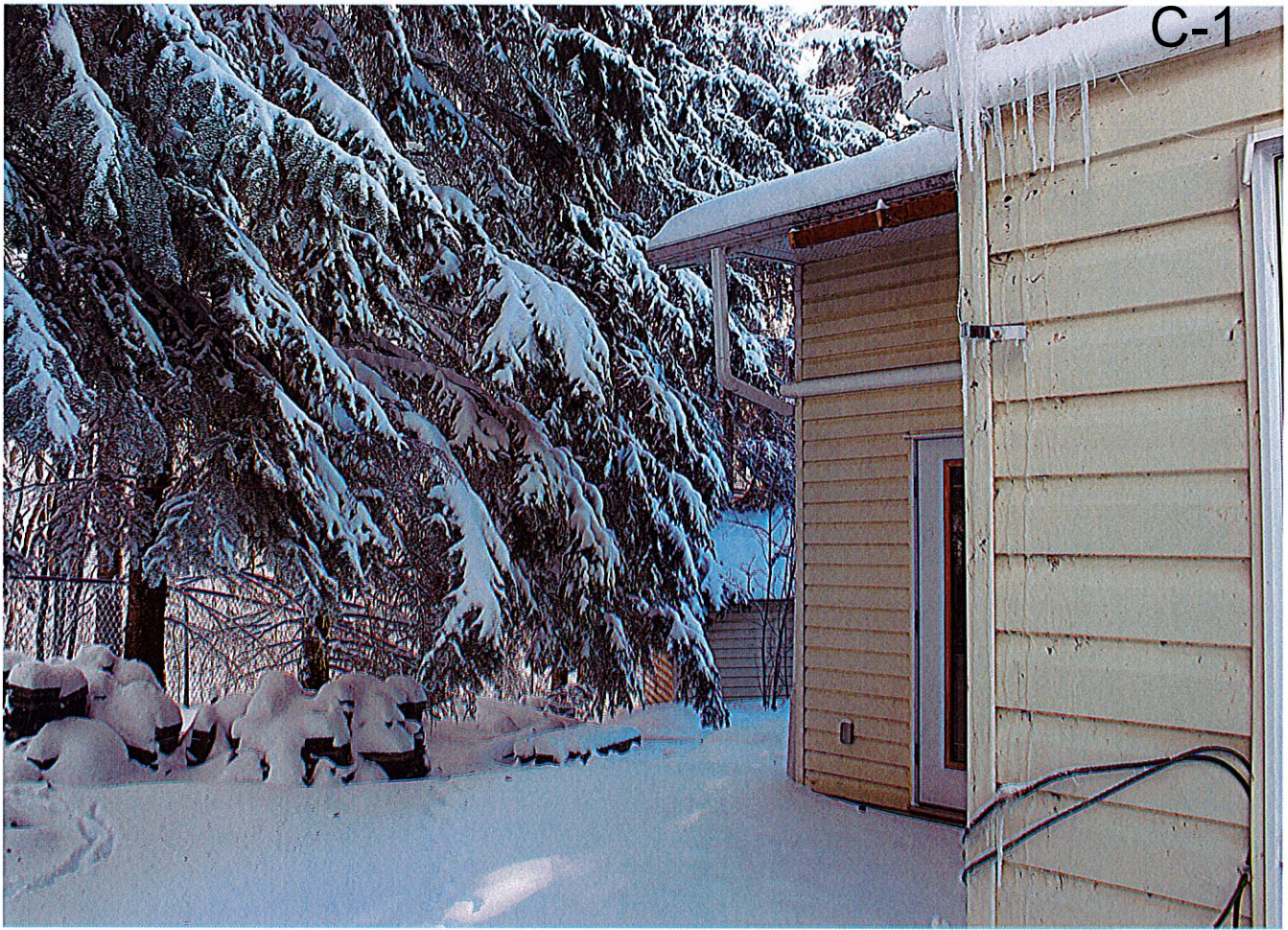
DRAWN:
TT

DATE:
Sept 29, 2022

JOB:

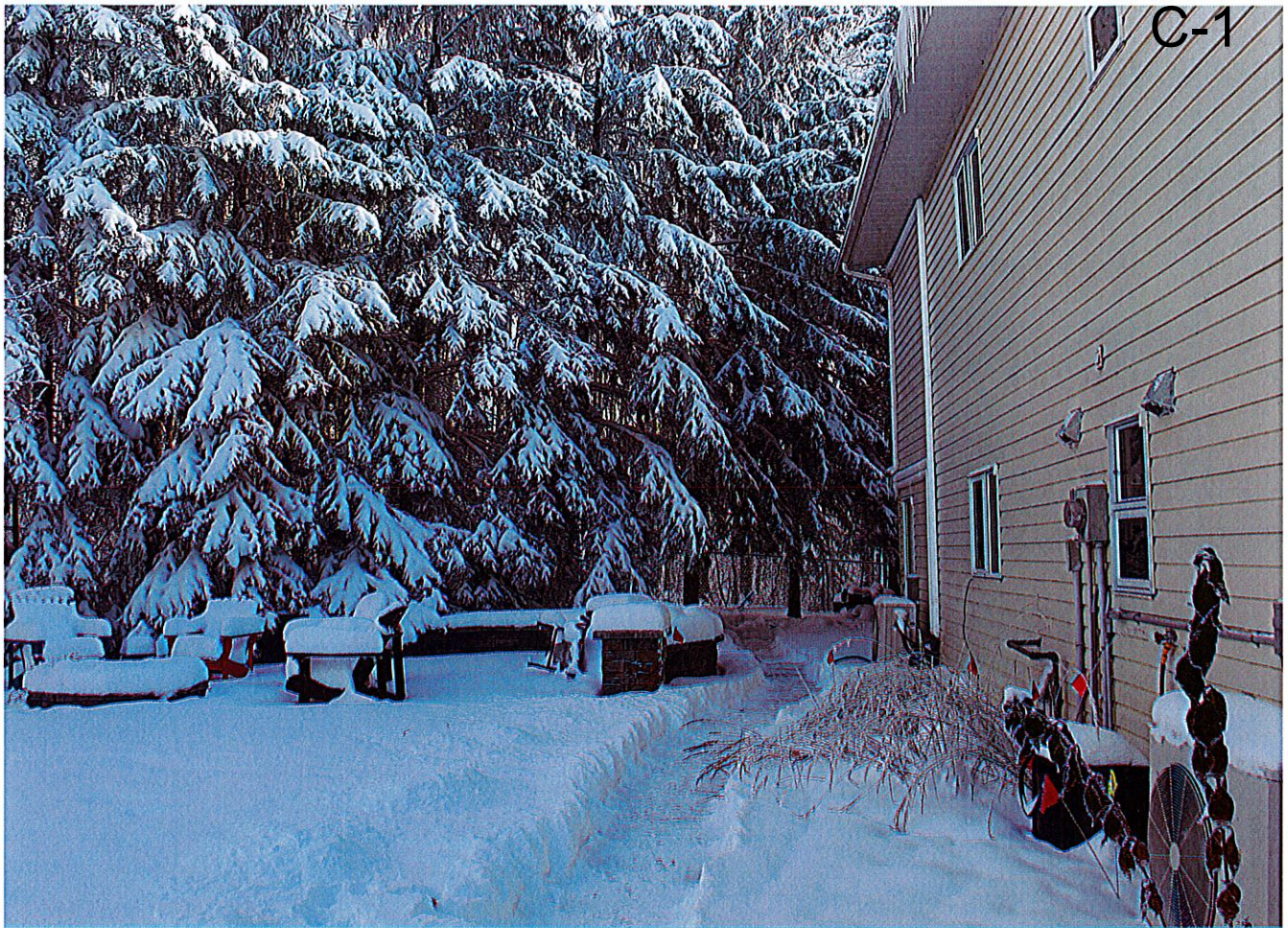
DWG. NO.

S - 13

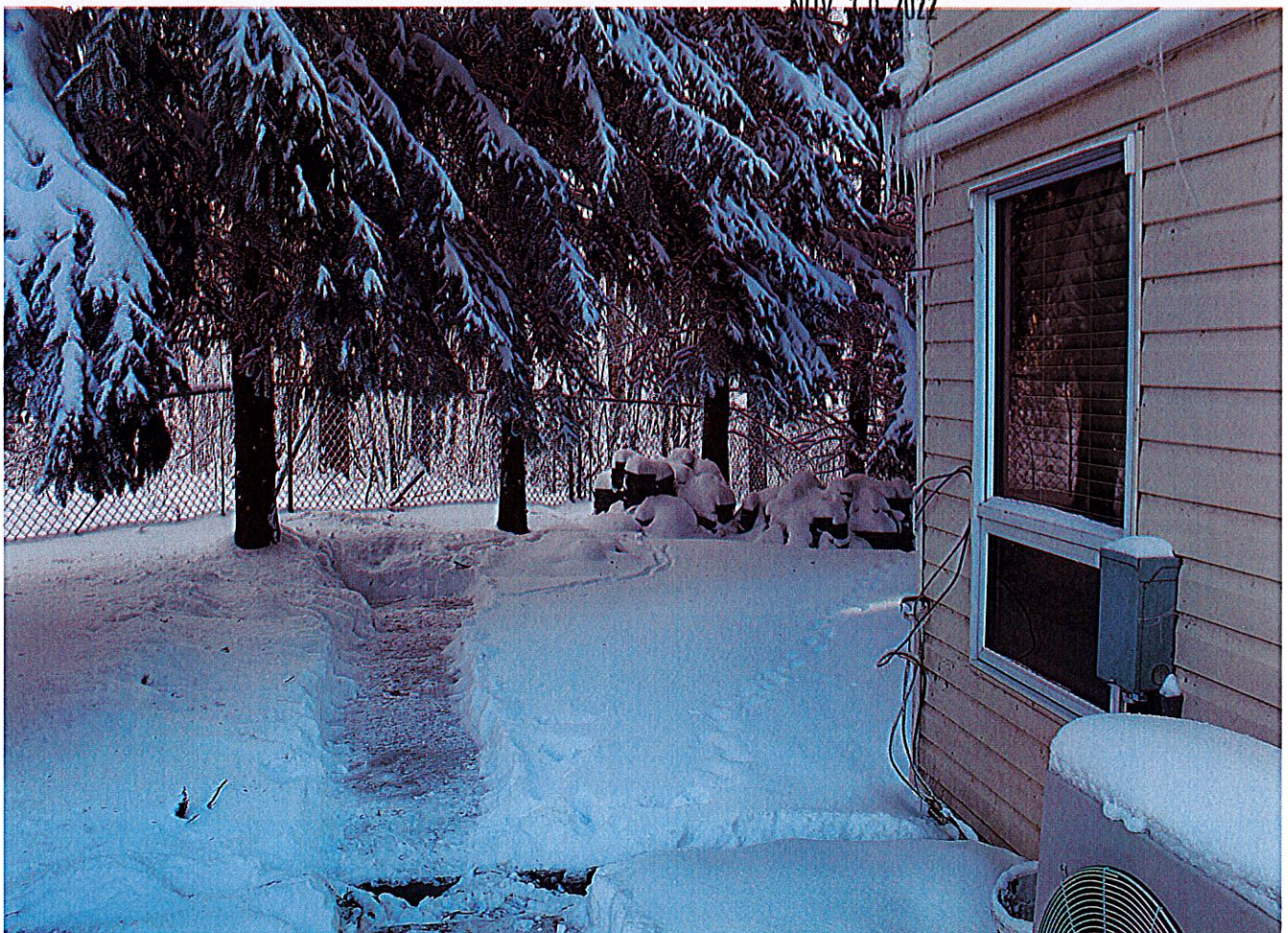


NOV 10 2022

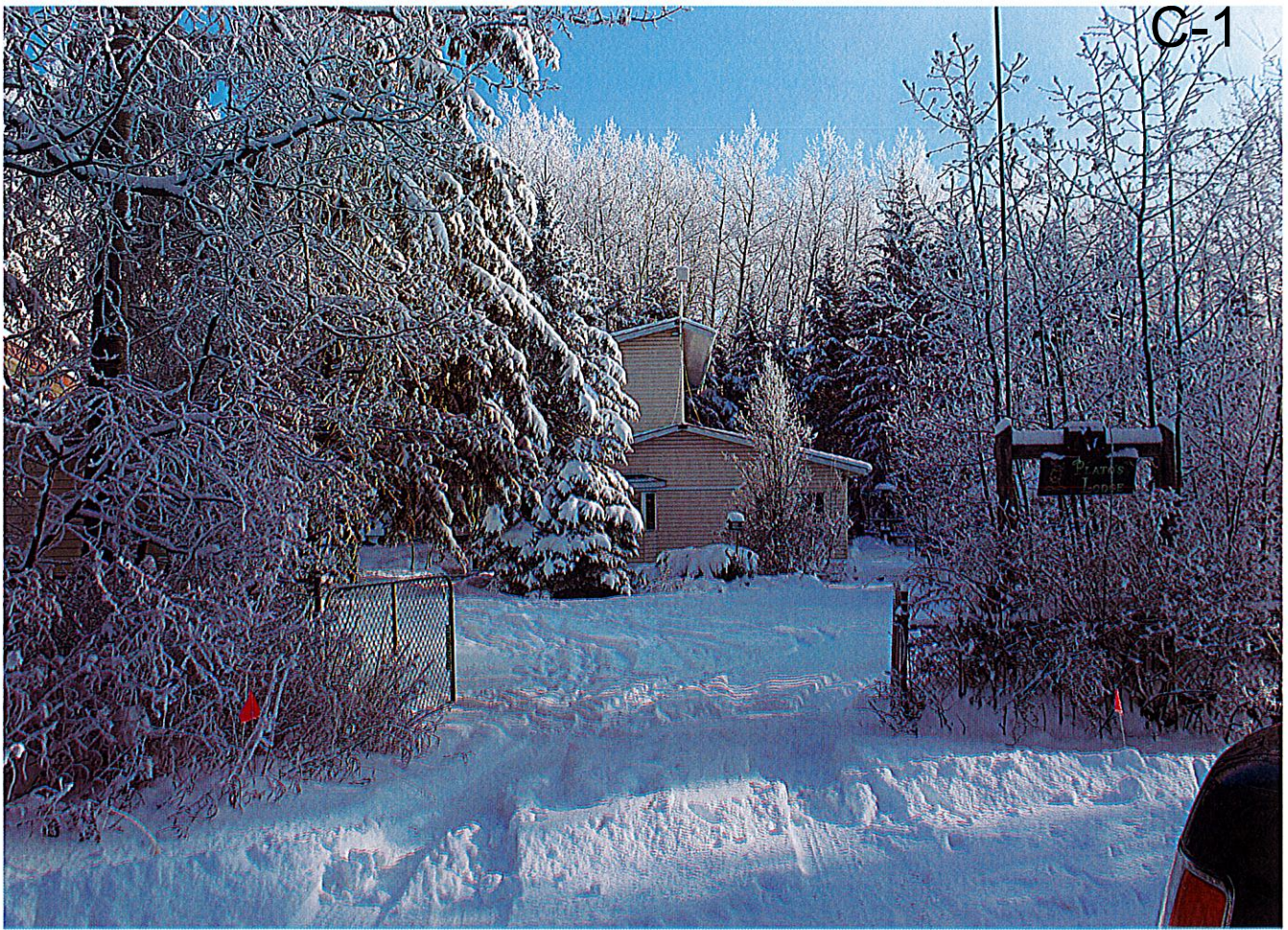




C-1



NOV. 10, 2022

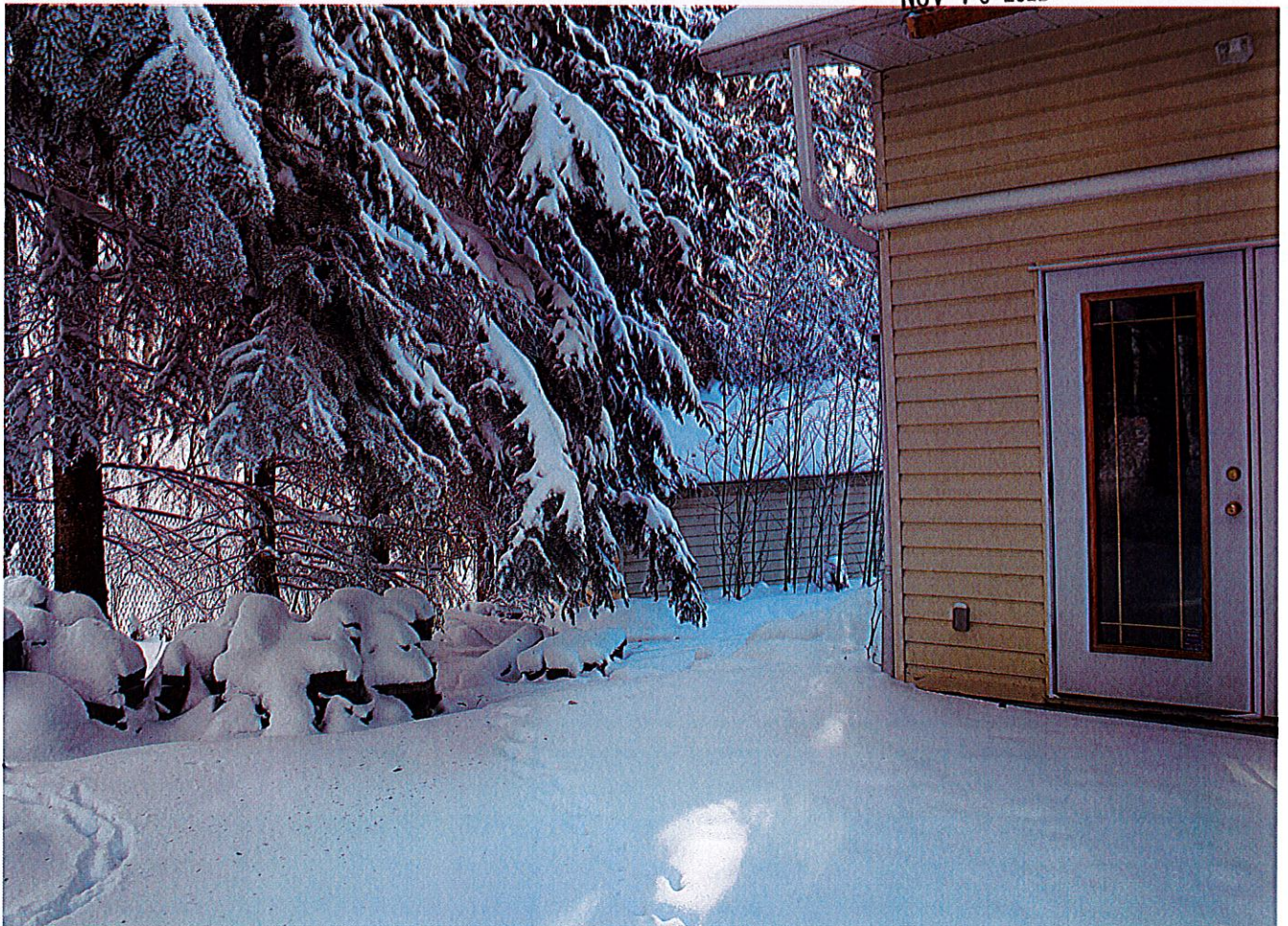


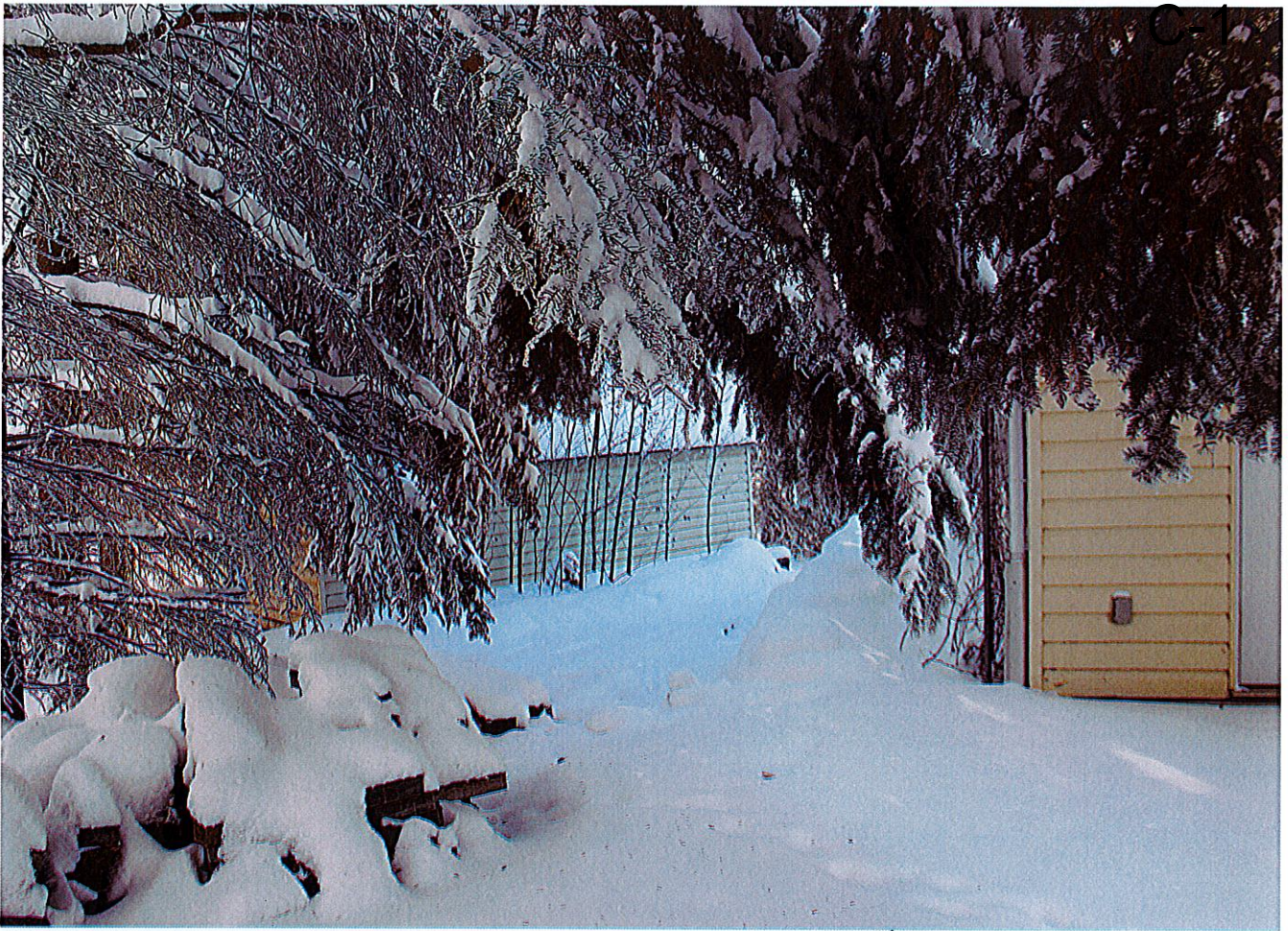
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