

**MUNICIPAL PLANNING COMMISSION AGENDA  
SUMMER VILLAGE OF NORGLLENWOLD  
SUMMER VILLAGES ADMINISTRATION OFFICE  
SEPTEMBER 24, 2021 @ 12:30 P.M.**

**A. CALL TO ORDER**

**B. ADOPTION OF AGENDA**

**C. DEVELOPMENT ITEMS**

1. 23 Grand Avenue

**D. ADJOURNMENT**

**Summer Village of Norglenwold – Municipal Planning Commission****September 24, 2021****Agenda Item****23 Grand Avenue (Lot 1&2, Block 2, Plan 5116AE)****Development Permit Application****Background:**

An application was submitted by the registered owner for a detached garage located on the property of 23 Grand Avenue (Lot 1&2, Block 2, Plan 5116AE) in the Summer Village of Norglenwold. This property is located in the R-S District (Shoreline Residential). The proposed height, setbacks and parcel coverage are within the regulations. Vegetation will be replanted to replace what is removed and the proposed garage is subordinate in use and size.

**Discussion:**

This application is before MPC for the following reasons:

- An accessory building's footprint shall be no larger than 92.9m<sup>2</sup> (1000ft<sup>2</sup>) in the Shoreline Residential district. The proposed building's footprint is 94.20m<sup>2</sup> (1014ft<sup>2</sup>), which requires a variance of 1.30m<sup>2</sup> (14ft<sup>2</sup>).
- Where an accessory building's total floor is over 53.51m<sup>2</sup> (576ft<sup>2</sup>), it is then considered a Discretionary Use.

**Recommendation:**

A "discretionary use" means a use which may be compatible with other uses in the district, for which a Development Permit may be issued upon an application having been made. After reviewing the application and all relevant planning documents, it is the recommendation of administration to approve the application with the variance requested. The variance is small, and the proposed garage is considered subordinate to the dwelling. In administrations opinion the development would not materially interfere with or affect the use, enjoyment, or value of neighbouring parcels of land. Adjacent landowners have been notified and no response has been received.

**Conditions:**

If approved, Administration would recommend the following conditions:

- An accessory building erected or placed on a parcel shall not be used as a dwelling unit.
- Electrical power from the property line to any buildings situated on this parcel to be constructed underground.

September 15, 2021

- The exterior of an accessory building must be finished to match or compliment the exterior finish of the main building.
- Height of the accessory building shall not exceed 5m (16.40ft.).
- All parcels shall be graded to ensure that storm water is directed to a drainage ditch without crossing adjacent land, except as permitted by the Development Authority. All maintenance and upkeep shall be the responsibly of the property owner. A lot grade certificate may be required at completion to ensure that proper drainage on the property exists.
- Completions Deposit of \$5,000.00.
- Landscaping to be completed according to landscaping plan.

### **Authorities:**

For a discretionary use in any district:

The Municipal Planning Commission may approve an application for a Development Permit:

- With or without conditions;
- Based on the merits of the proposed development, including it's relationship to any approved statutory plan, non-statutory plan, or approved policy, affecting the site;
- Where the proposed development conforms in every respect to this Land Use Bylaw; or
- May refuse an application for a development permit based on the merits of the proposed development, even though it meets the requirements of the Land Use Bylaw; or
- Subject to provisions of section 2.4 (2), the Municipal Planning Commission shall refuse an application for a development permit if the proposed development does not conform in every respect to the Land Use Bylaw.

The MPC may:

- Grant a variance to reduce the requirements of any use of the LUB and that use will be deemed to comply with LUB.
- Approve application even though the proposed development does not comply or is a nonconforming building if:
  - It would not unduly interfere with the amenities of the neighborhood, or
  - Materially interfere with or affect the use, enjoyment, or value of neighboring parcels of land, And
  - It conforms with the use prescribed for that land or building in the bylaw.
- Consider a Variance only where warranted by the merits or the proposed development and in response to irregular lot lines, parcel shapes or site characteristics which create difficulties in siting structures within the required setback or in meeting the usual bylaw requirements, except there shall be no variance for Parcel Coverage or Building Height.

September 15, 2021

**Decision:**

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (Section 642 of the MGA), or
2. Deny the application stating reasons why (Section 642(4) of the MGA).



**Kara Kashuba**

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**From:** [REDACTED]  
**Sent:** September 3, 2021 3:48 PM  
**To:** Kara Kashuba  
**Cc:** [REDACTED]  
**Subject:** 23 Grand Ave Norglenwold

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

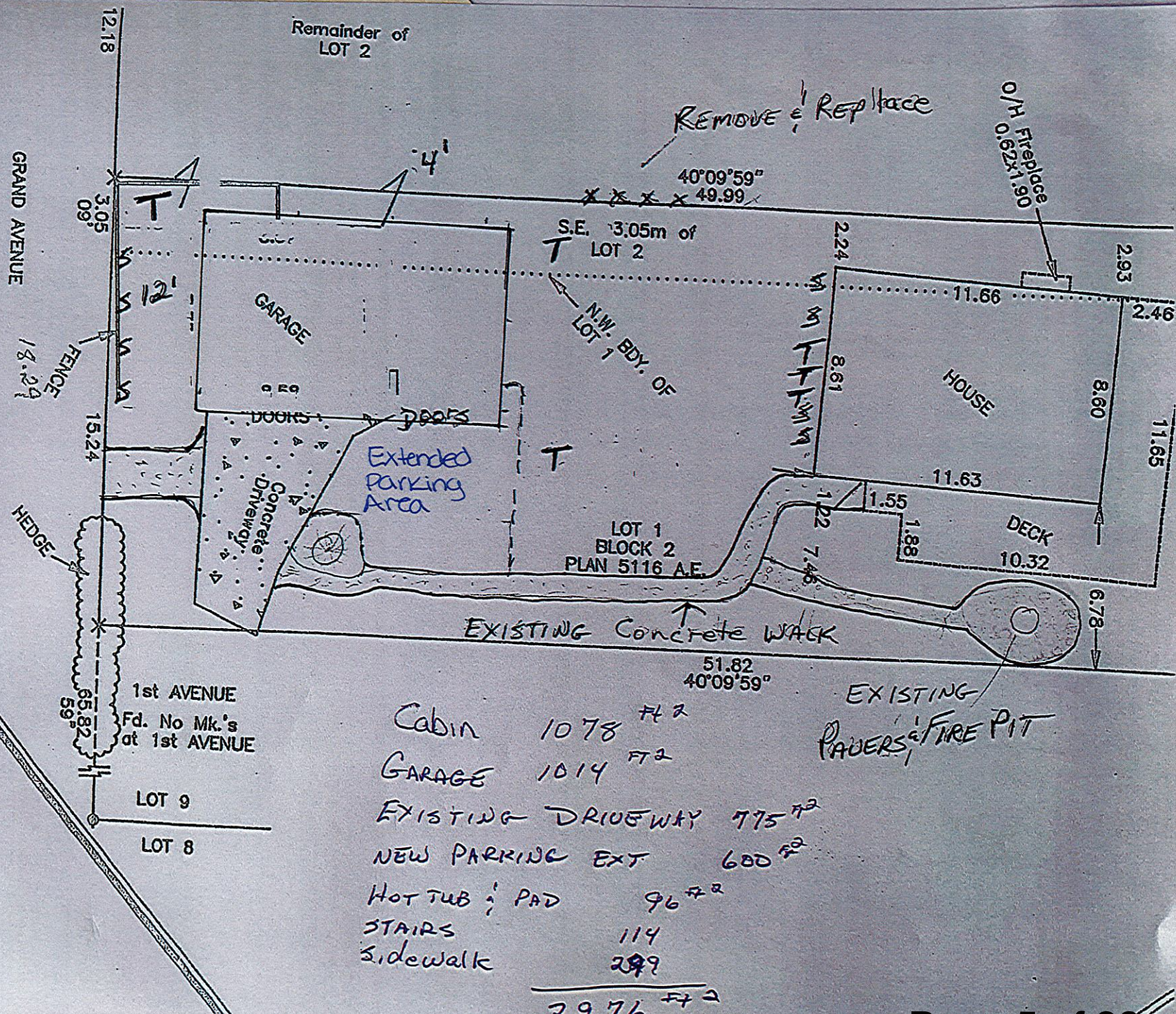
I would like to amend our Demolition permit, to include the construction of a 26' x 39' Accessory Building / Detached Garage. The existing use was a 24' x 28' Accessory Building / Detached Garage. We cut the concrete back from the door side of the garage to facilitate the installation of the new foundation, and to retain the original grade and the continued use of the existing driveway. We will need to extend the parking area toward the dwelling as we will be moving the new garage 11 feet into the yard to allow for the minimum rear yard of 12' for a side entry garage. In addition we will be increasing the side yard setback to 4' to account for the 2' eave on the rear of the garage. The new garage is 15' in height on the door side and slopes to 9' on the rear side. I believe this meets all the LUB requirements except for the size which is 14 sq. ft. over the maximum allowable.

During the demolition process we had indicated that we would be removing 4 trees and twenty feet of hedge, when in fact we had to remove 6 trees. All 6 will be replaced as indicated on our landscape plan. the hedge will be replaced with shrubs as indicated.

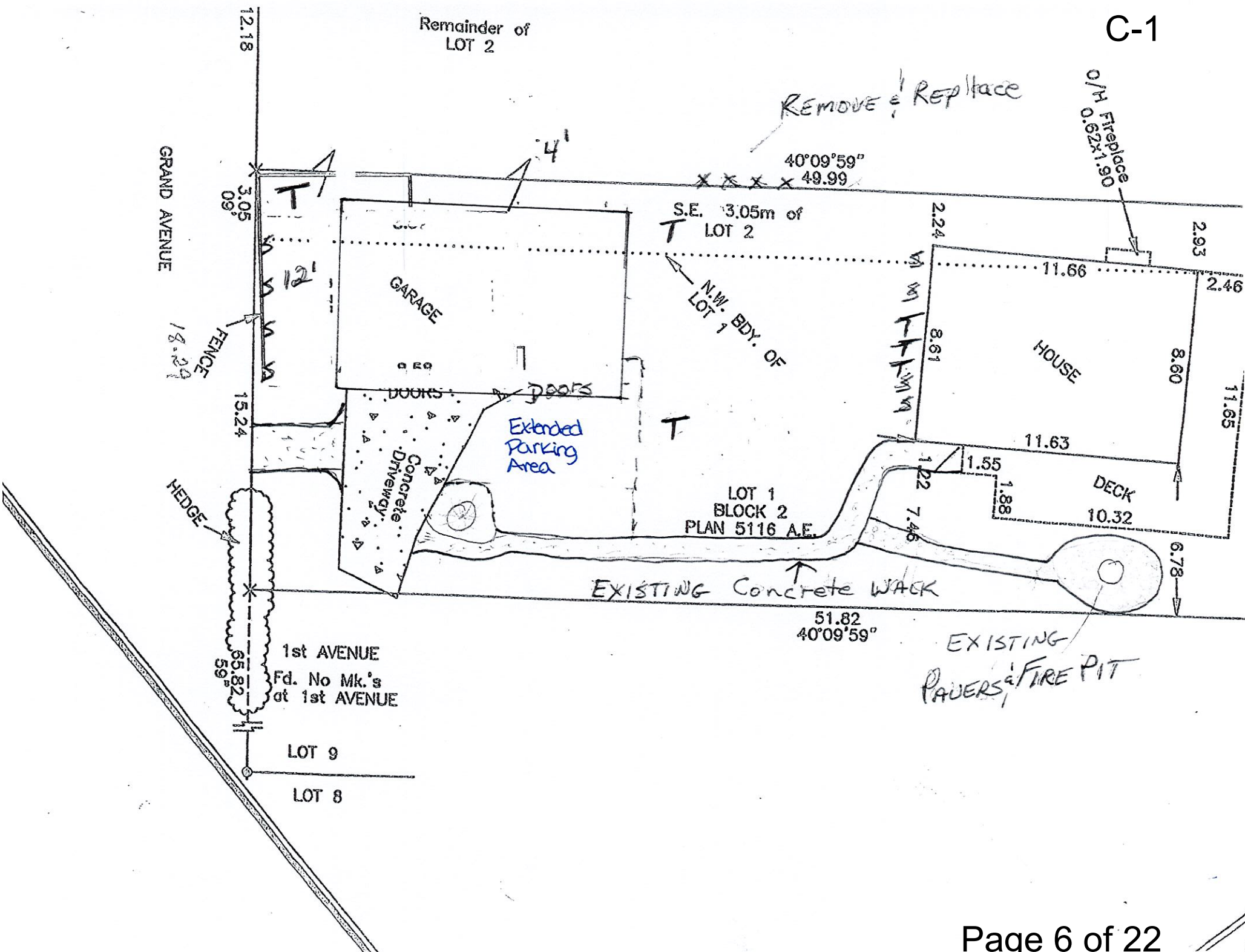
We still have an issue with trees on our neighbours property that should be replaced ( his suggestion). they were starved of light and space and are mostly dead on the bottom branches. They will likely not come back to provide any meaningful privacy. There are 6 spruce in total. He is consulting with Parkland Nurseries to find suitable replacements. This will also ensure that we can do a proper job of the drainage and grading for proper runoff.

Regards,  
[REDACTED]











C-1

LOT 3

Remainder of  
LOT 2

40°09'59"  
49.99

S.E. 3.05m of  
~~LOT 2~~

N.W. LOT

LOT 1  
BLOCK 2  
PLAN 5116 A.E.

51.82  
40°09'59"

O/H Fireplace  
0.62x1.90

HOUSE

DECK

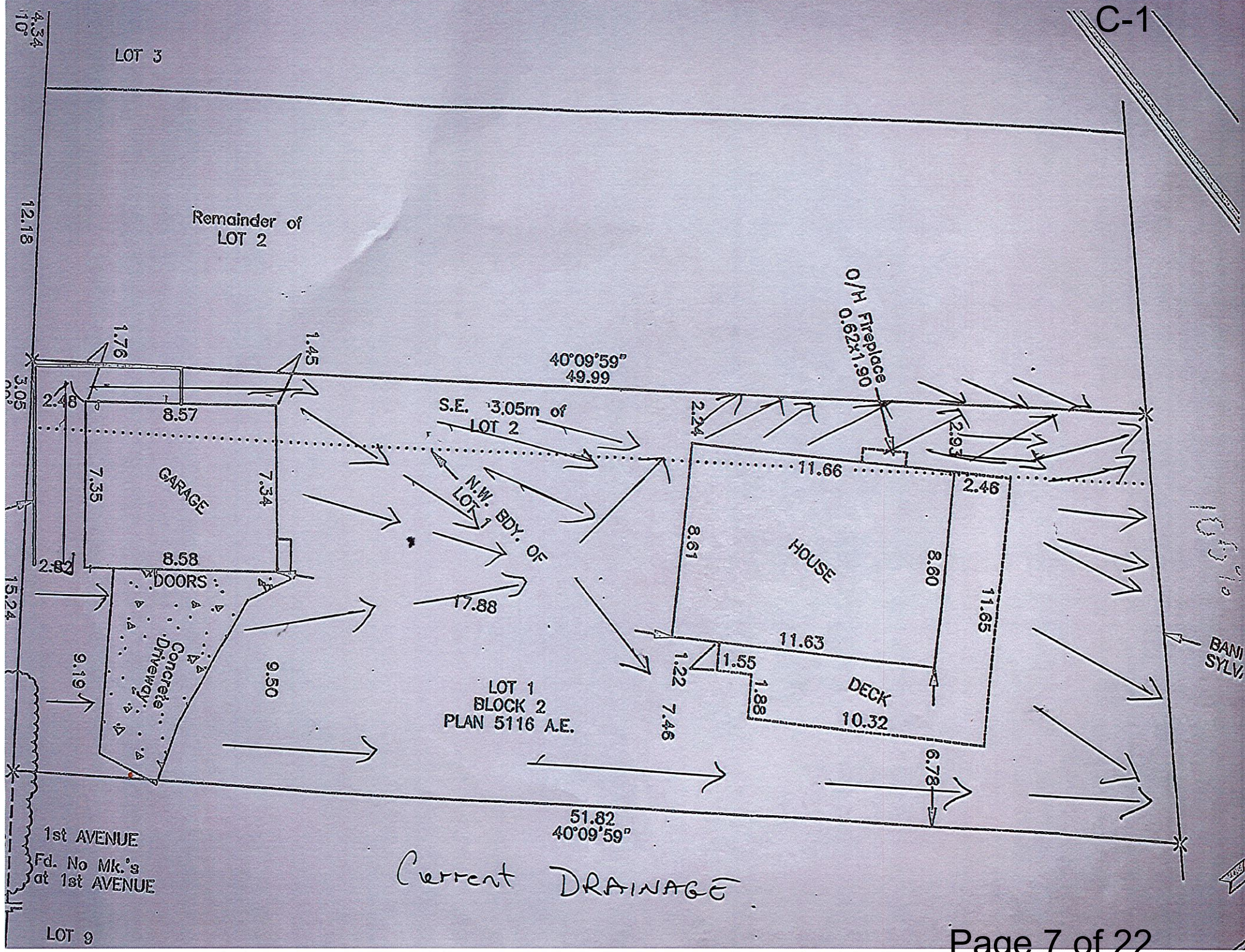
BANI  
SYLV.

1st AVENUE  
Fd. No Mk.'s  
at 1st AVENUE

LOT 9

## Current DRAINAGE

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A DIVISION OF COGNIDYN INCORPORATED  
**COGNIDYN ENGINEERING & DESIGN**  
 BUILDING CONSULTANTS

Suite 105, 2810 Bremner Avenue, Red Deer, Alberta T4R 1M9 Phone: 403-342-5757

## *INSPECTION MEMO*

**Date: 24 August 2021**

**File No: 20-425**

**To:** [REDACTED]

**From: Peter Clow, P.Eng**

**Re: Tall Wall Framing Review – 23 Grand Avenue Garage, Norglewold, Alberta**

As requested, the undersigned engineer have completed a review of the supplied design plans of the noted garage building, and have the following recommendations for the applicable tall wall framing elements involved.

The tall wall elements are generally limited to the front façade which is dominated by the three (3) overhead doors, but small portions of the two side walls also apply. The plans note the stud walls as being 2x6 @ 16" o/c – which will not suffice for the tall wall sections. Instead, they should be doubled 2x6 @ 16" o/c for the front wall, and 2x6 @ 12" o/c for the side wall sections that are above 11'-10" tall. The remainder of the walls will work fine as 2x6 @ 16" o/c. All four walls should have mid-height blocking however (max. 6' o/c).

In addition, the overhead door openings should be formed with five (5) ply 2x6s on each side, two (2) of which are cripple studs set below the lintel beams, with the other three (3) being full height members. The lintel beams to span the nominal 9'-3" wide door openings, should be either 2-ply 1.75"x9.5" 2.0E LVLs, or 3-ply 2x12 No1/2 grade SPF. 3-ply 2x10s have the bending strength needed, but may deflect a bit more than desired.

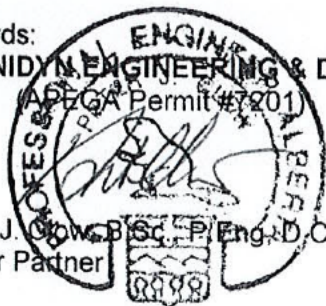
We trust this is to your understanding, and is sufficient for your needs. Call if you have any questions.

Regards:

COGNIDYN ENGINEERING & DESIGN

APR 2021 Permit #7201

Peter J. Clow, B.Sc., P.Eng., D.C.E.  
 Senior Partner





## GENERAL NOTES

This plan was designed and drafted BY Advanced Designs Inc., to meet various conditions and codes in the State of Nebraska at the time it was designed. This plan was also designed for generic State Class D construction. It is not intended to be used for any other jurisdiction. Jurisdiction to jurisdiction, cannot warrant compliance with any specific codes or regulation. Consult your local building official for any specific code or regulation. This plan is not intended for any jurisdiction. This plan can be adapted to your local building codes and requirements, however, it is the responsibility of the purchaser and builder to ensure that the structure complies with all governing municipal codes (city, county, state and federal). The purchaser and builder can only be released from the design and construction liability during the construction of this structure or anytime thereafter.

- If the contractor or sub-contractor, in the course of their work, finds any discrepancies between the plan and the physical conditions of the site or structure, or any errors in the plans or specifications, it shall be their responsibility to immediately inform ADI, who will promptly verify and if necessary correct the working drawings. Any work done after such discovery will be done at the contractor's expense.

## DESIGN LOADS:

* Floor:	Roof:	Ceiling:
40 psf. live	50 psf. live	10 psf. live
15 psf. dead	10 psf. dead	10 psf. dead

- Soil bearing Capacity - 1500 psf.

\* Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

## CONCRETE AND FOUNDATIONS:

- All foundation walls and slabs on grade shall be 3000 PSI 12-bar compressive strength concrete, unless noted otherwise.
- All foundation walls shall be 12" thick and contain 4 #4 bars with 6 mil. polyethylene vapor barrier underneath.
- Provide proper expansion and control joints as per local recommendations.
- All 36" x 36" x 8" concrete pads to have (3) #5 rods each way.
- All 36" x 36" x 48" x 24" concrete pads to have (4) #5 rods each way.
- Foundation on walls are not to be backfilled until properly braced.
- Verify depth of frost footings with your local codes.
- Provide termite protection as required by HUD minimum property standards.
- Foundation bolts are to be anchored to fill placed with 3/8" rods to embedded 5' in concrete walls.

**STEEL:**

- \* All structural steel for beams and plates shall comply with ASTM specification A-36.
- \* All structural steel for steel columns shall comply with ASTM specification A-53 Grade B or A-501.
- \* All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.
- \* Provide steel shims in all bear pockets.
- \* Steel columns are to be 3" I.D. (inside diameter) unless noted otherwise.

## FRAMING MEMBERS:

- Unless noted otherwise, all framing lumber shall have the following characteristics:
  - 70 x 1,000 psi
  - Contractor to confirm the size, spacing and stress characteristics of all framing and structural members to meet the local code requirements.
  - Hold ends and locations of all framing or Laminated Veneer Lumber (L.V.L.) members are to be confirmed by a professional engineer.
- Any structural or framing members not indicated on the plan shall be sized by contractor.
- Double floor joists under all partition walls, unless noted otherwise.
- All subflooring is assumed to be 3/4" thick, glued & nailed.
- All exterior walls are dimensioned to outside of 1/2" sheathing.
- Calculated dimensions take precedence over scaled dimensions.
- All angled walls on floor plans are at 45 degree angle, unless otherwise noted.
- Any wall 12'-0" high or higher shall be 2x6s that are:
  - Unless noted otherwise, above all openings that are:
    - (1) 12'-0" or less in height .....use 2x6 .....use 4x6,
    - (2) Load bearing and more than 3 ft. ....use 2x2
    - (3) Non-load bearing and less than or equal to 6 ft. ....use 2x6,
    - (4) Non-load bearing and more than 6 ft. ....use 2x2
    - (5) 12' 1/2" Plywood between.
  - All exterior openings use 2x2 (2) 2x2 with 1/2" Plywood between.
  - All exterior corners shall be bridged in each direction with let-in diagonal bracing or Plywood.
  - Floor joists of one level shall be bridged on all spans over 8'-0" and (2) joists of 1" x 3" cross-briding on all spans over 6'-0".
  - Collar ties are to be spaced 4'-0" o.c.
  - All pultrins and clickers are to be 2x6s, unless noted otherwise.
  - Any trip or valley over a 28'-0" span are to be Laminated Veneer Lumber (L.V.L.).

## MISC. NOTES:

- Pre-fabricated fireplaces and flues are to be U.L. approved and installed as per manufacturer's specifications.
- All materials, supplies and equipment to be installed as per manufacturer's specifications and per local codes and requirements.
- Provide proper insulation for all plumbing.
- 1/2" water-resistant drywall around showers, tubs and whirlpools.
- 1/2" drywall on exterior walls and ceiling.
- 5/8" type "X" fire code drywall on garage walls and ceilings.
- When no brand is specified Windows are called out by glass size only.
- Windows, if not noted, are assumed to be casements.
- Header heights are labeled to bottom of arched transoms.
- Confirm window openings for your local egress requirements and minimum light and ventilation requirements.
- Headroom at stairs shall be a minimum clearance of 6'-8" high.
- Provide proper handrails at stairs per local codes.
- The mechanical and electrical layouts are suggested only.
- Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- Jog flue to rear of ridge as needed.
- Provide proper wiring for all electrical appliances, mechanical equipment and whirlpools per manufacturer's specifications.
- Air conditioner locations may vary depending on restrictive covenants and codes.

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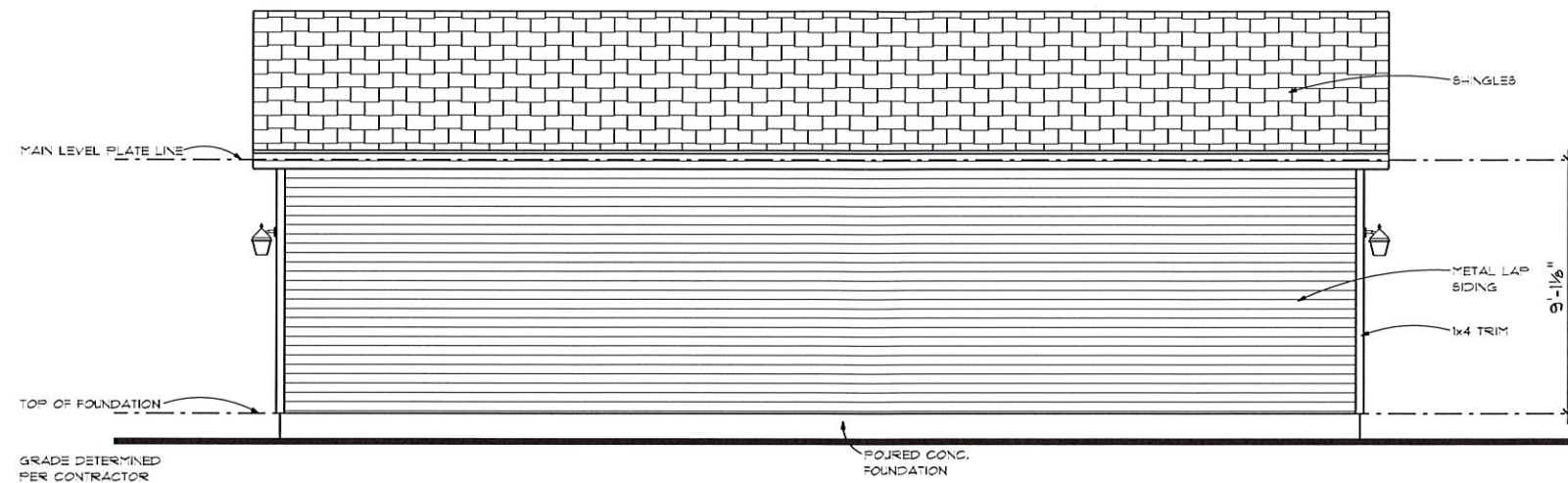
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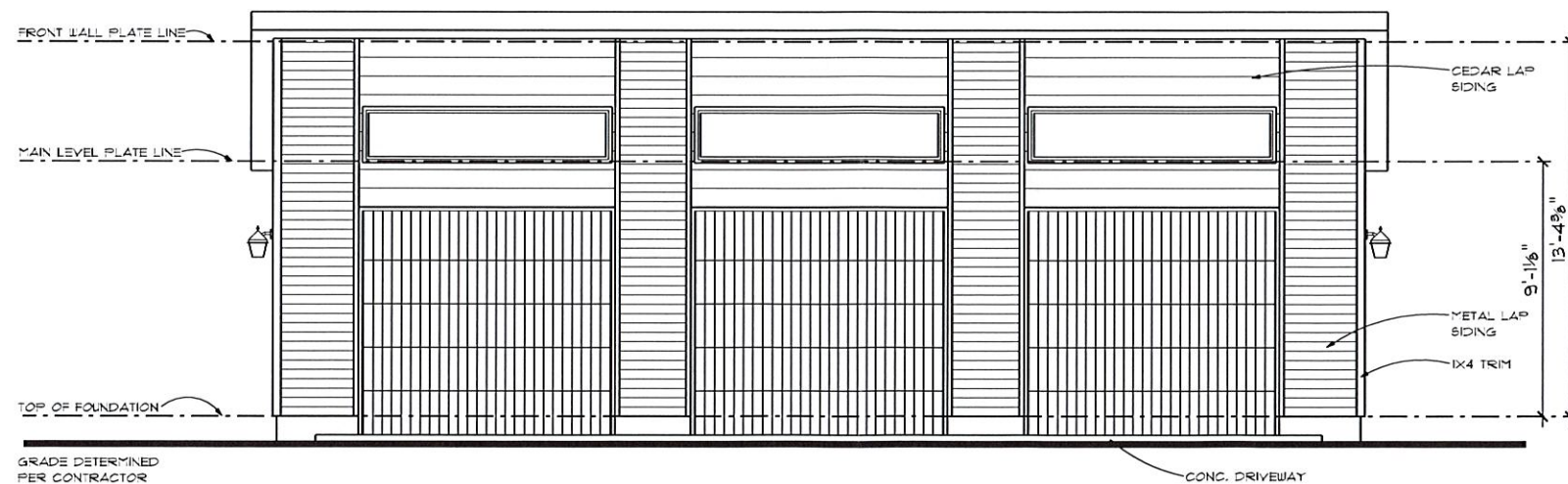
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### REAR ELEVATION

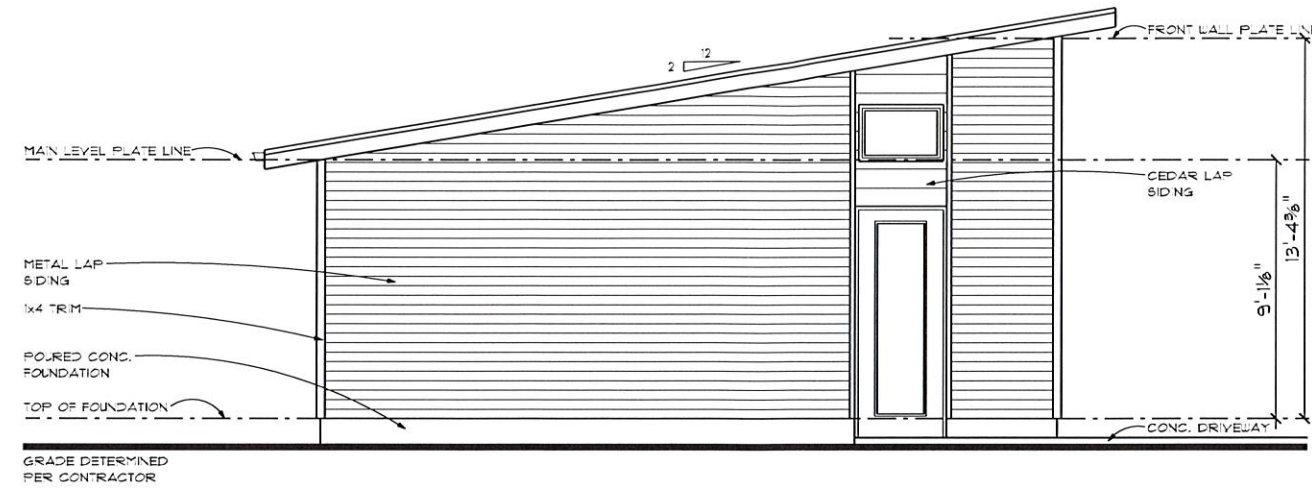
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### FRONT ELEVATION

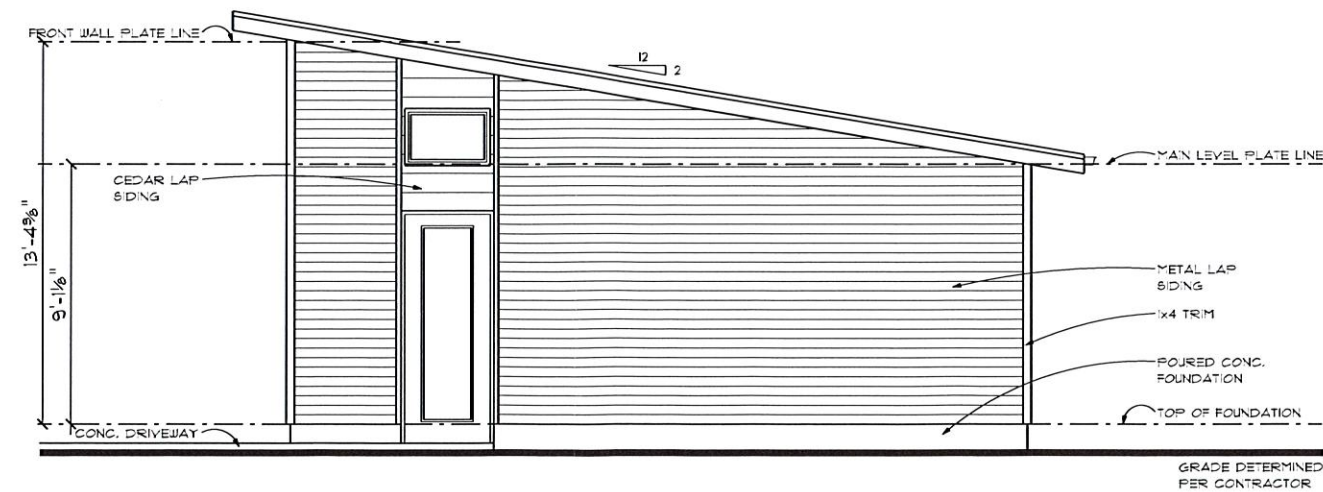
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LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

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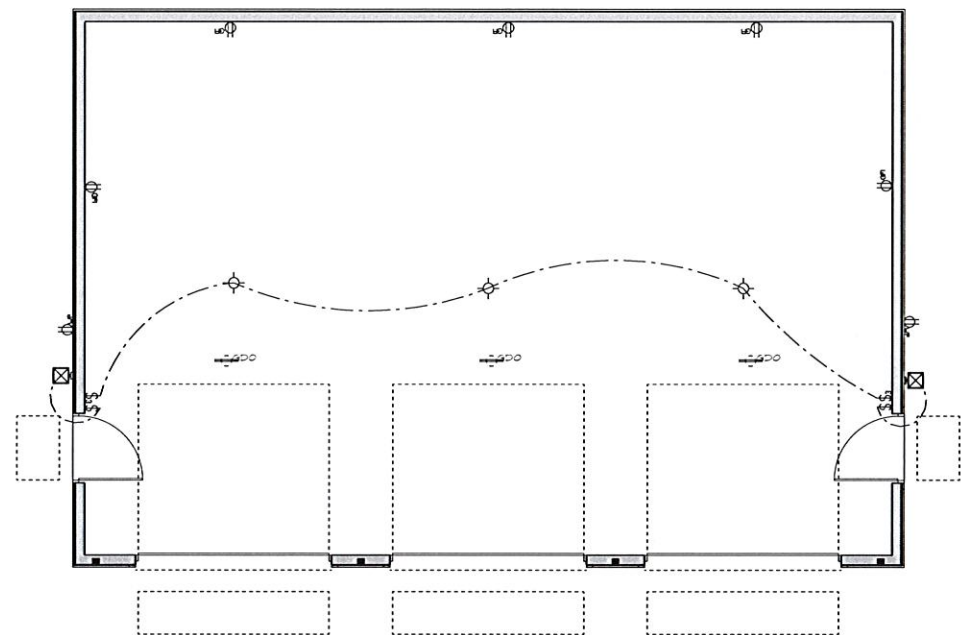
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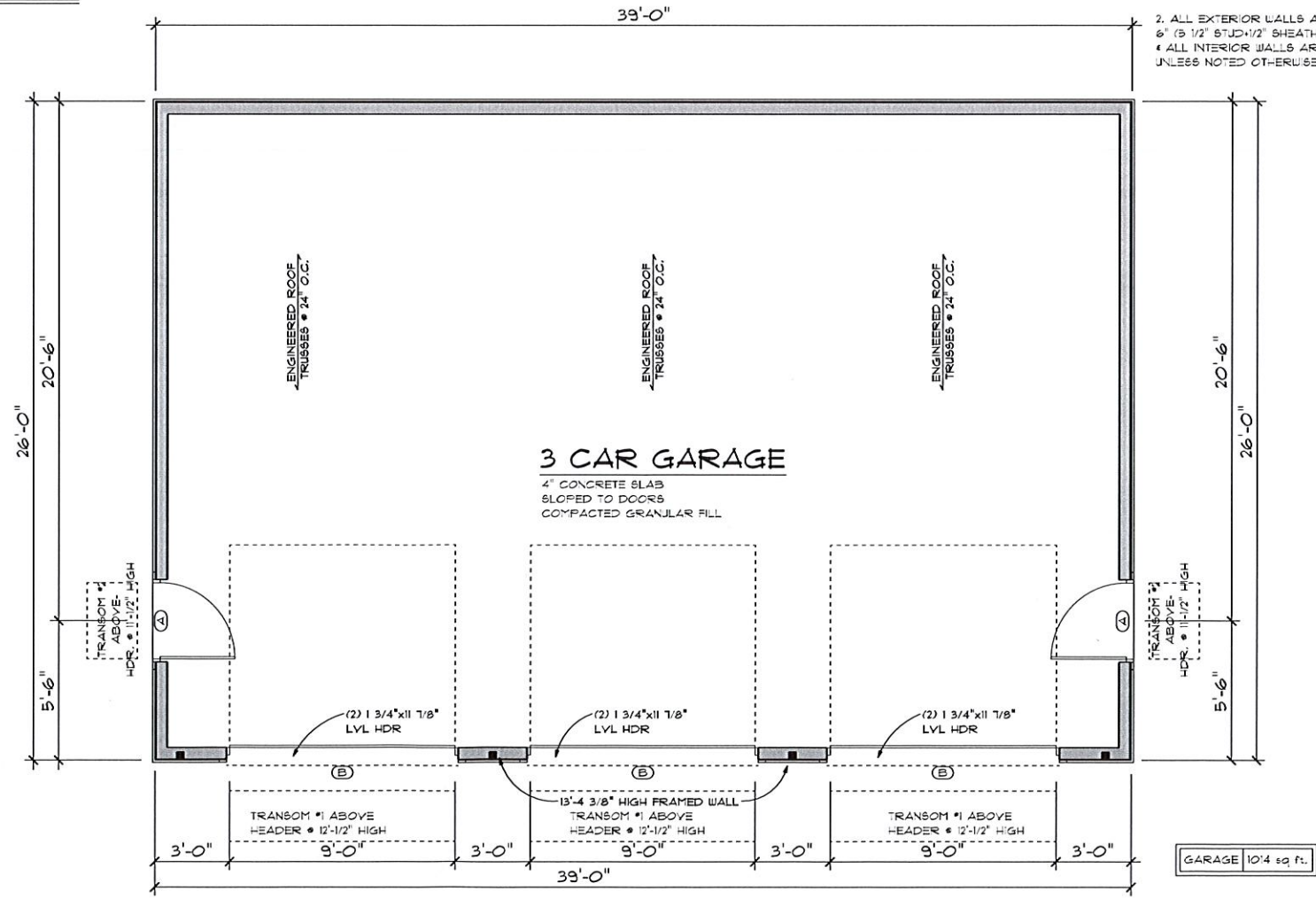


ELECTRICAL	COUNT	SYMBOL
EXTERIOR LIGHT G3	2	☒
GARAGE DOOR OUTLET	3	⏻
light	3	⦿
outlet gfi	5	⦿
outlet up	2	⦿
switch	2	⦿
switch 3 way	2	⦿

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
1	WINDOW	108X24 TRANSOM 1	9'-0" x 2'-0"	3
2	WINDOW	36X24 TRANSOM 1	3'-0" x 2'-0"	2
A	DOOR	36X36 GLASS 1	3'-0" x 8'-11/2"	2
B	GARAGE	108X36	9'-0" x 8'-0"	3

GENERAL NOTES:  
1. ALL MAIN LEVEL WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE  
2. ALL EXTERIOR WALLS ARE 6" (5 1/2" STUD+1/2" SHEATHING)  
3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE

MAIN LEVEL ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"



MAIN LEVEL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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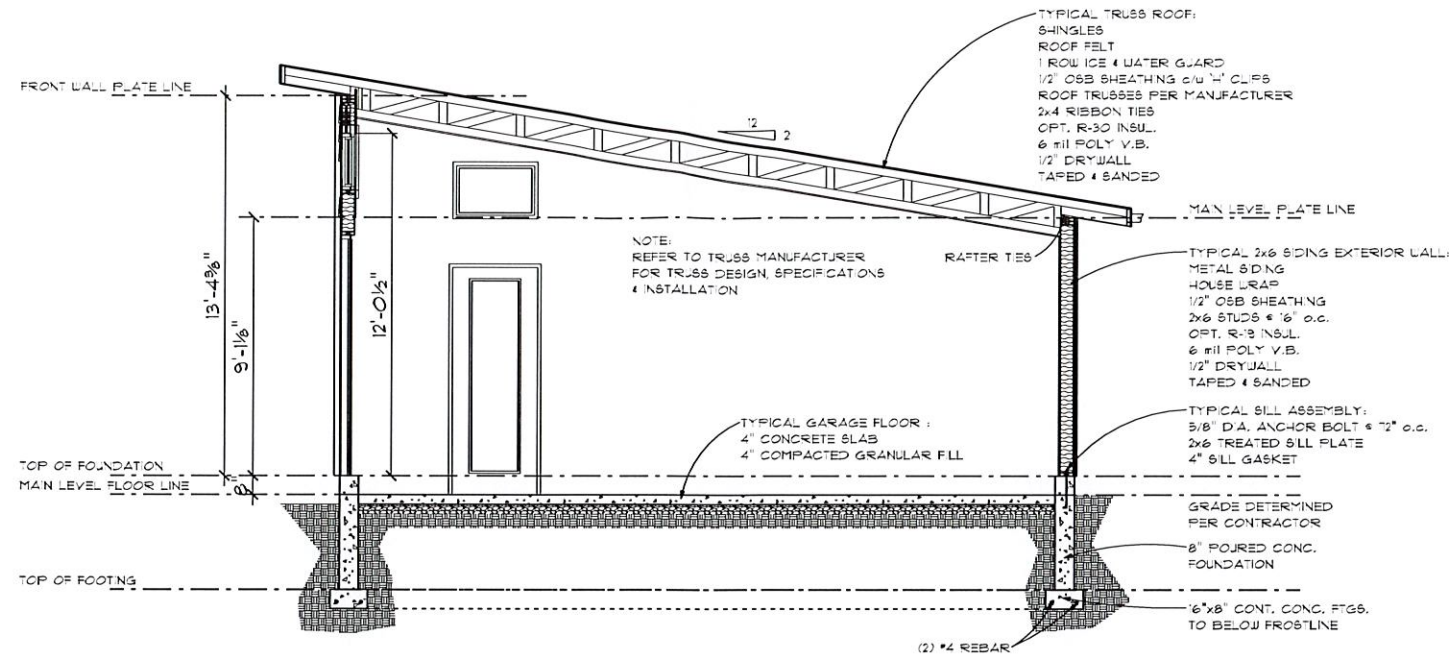
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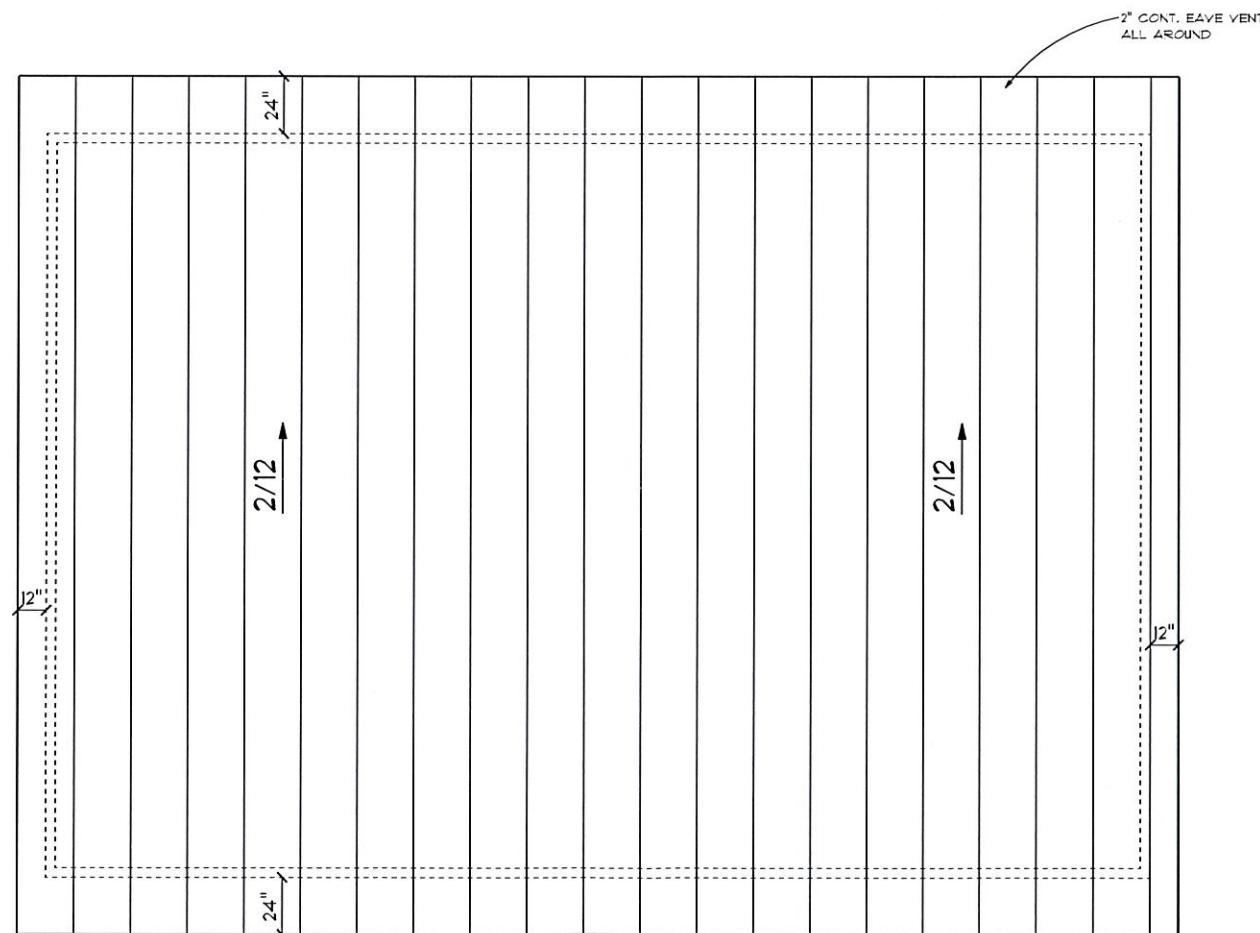
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### CROSS SECTION

SCALE: 1/4" = 1'-0"



### ROOF PLAN

SCALE: 1/4" = 1'-0"

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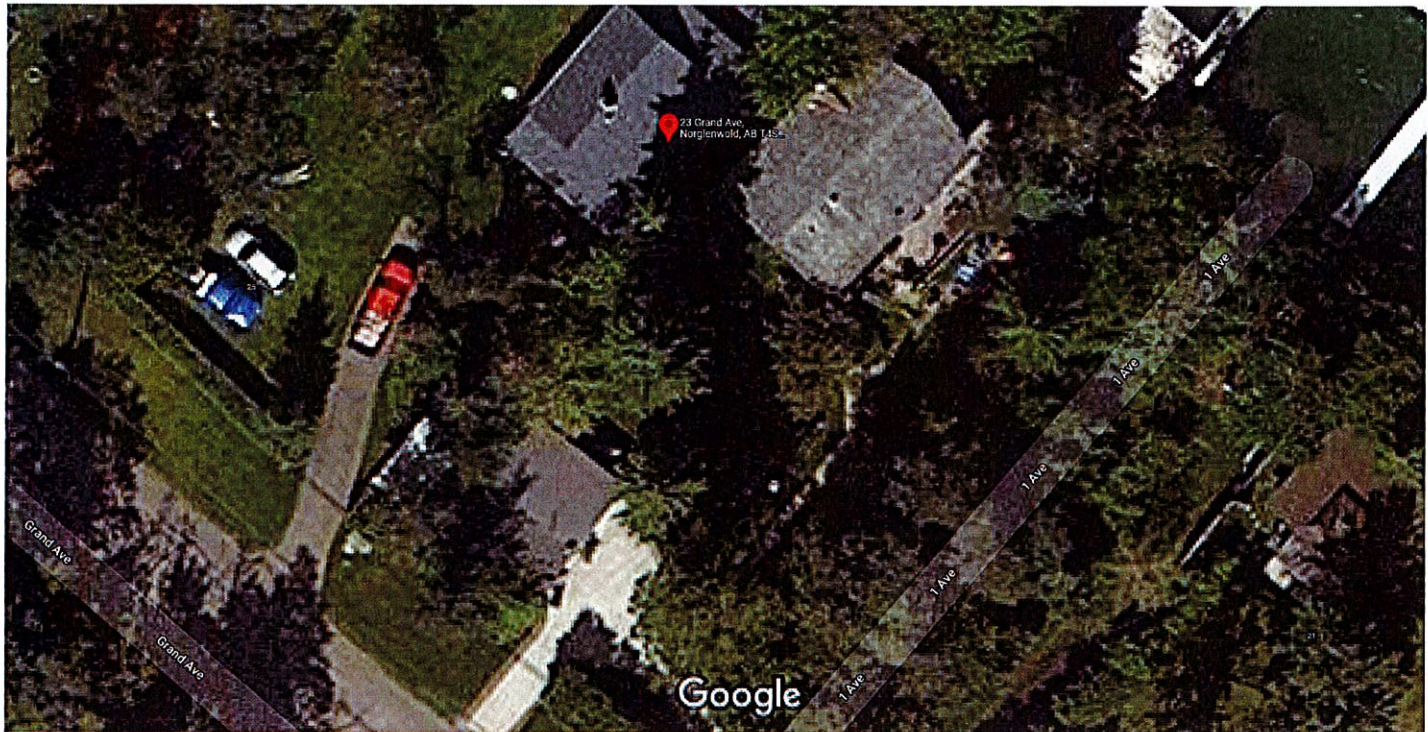








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23 Grand Ave



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