

**MUNICIPAL PLANNING COMMISSION AGENDA  
SUMMER VILLAGE OF JARVIS BAY  
SUMMER VILLAGES ADMINISTRATION OFFICE  
FEBRUARY 28, 2023 @ 9:00 A.M.**

**A. CALL TO ORDER**

**B. ADOPTION OF AGENDA**

**C. DEVELOPMENT ITEMS**

1) 165 Jarvis Bay Drive

**D. ADJOURNMENT**

## **Summer Village of Jarvis Bay – Municipal Planning Commission**

**February 28, 2023**

### **Agenda Item**

**165 Jarvis Bay Drive (Lot 1&2, Block 1, Plan 7278AA)**

### **Development Permit Application**

#### **Background:**

The registered owner of 165 Jarvis Bay Drive (Lot 1&2, Block 1, Plan 7278AA), in the village of Jarvis Bay is applying for a dwelling with variances required. This property is located in the R District (Residential District) and the property currently is a vacant lot. The proposed dwelling meets the height and setback requirements. The proposed parcel coverage is 49.1% and under the maximum 50%. Tree replanting is proposed to take place which will replace the 27 trees removed during demolition.

#### **Discussion:**

This application is before MPC for the following reasons:

- The design, character and appearance of any building to be erected must be acceptable to the Development Authority having due regard to the character of existing development in the district. In administrations opinion a variance is required.
- Driveways on corner parcels shall be setback from the street intersection not less than 6m (19.69ft.). The proposed driveway setback is 1.7m (5.57ft.). Variance of 4.3m (11.12ft.) is required.

#### **Recommendation:**

It is administrations recommendation to deny the dwelling with the variances requested, while the applicant has made amendments to the application to change roof pitch, garage door sizes, changes to the siding materials and addition of outside canopies off the building, in our opinion the proposed structure does not align with the character of the existing development in the village. Where a structure is designed with the shop being more than twice the size of the living space, the principal use of the structure is not low density residential, which is the purpose of the R-A District. Adjacent landowners have been notified of the proposed variance requests and opposed response has been received.

#### **Conditions:**

February 16, 2023

If approved, Administration would recommend the following conditions:

- All parcels shall be graded to ensure that storm water is directed to a drainage ditch without crossing adjacent land, except as permitted by the Development Authority. All maintenance and upkeep shall be the responsibility of the property owner. A lot grade certificate will be required at completion to ensure that proper drainage on the property exists.
- The height of the dwelling shall not exceed 10m (32.81ft.) in building height measured from grade.
- Final as build real property report from an Alberta Land Surveyor at completion of landscaping that includes parcel coverage.
- Replanting of trees/shrubs and existing trees to remain according to landscaping plan.
- The number of driveways shall be limited to one and this shall be off of the West side of Jarvis Bay Drive. The existing driveway off of the North side of the property shall be removed.
- Electrical power from the property line to any building shall be constructed underground.

### **Authorities:**


The MPC may:

- Grant a variance to reduce the requirements of any use of the LUB and that use will be deemed to comply with LUB.
- Approve application even though the proposed development does not comply or is a nonconforming building if:
  - o It would not unduly interfere with the amenities of the neighborhood, or
  - o Materially interfere with or affect the use, enjoyment, or value of neighboring parcels of land, And
  - o It conforms with the use prescribed for that land or building in the bylaw.
- Consider a Variance only where warranted by the merits or the proposed development and in response to irregular lot lines, parcel shapes or site characteristics which create difficulties in siting structures within the required setback or in meeting the usual bylaw requirements, except there shall be no variance for Parcel Coverage or Building Height.

### **Decision:**

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (*Section 642 of the MGA*), or
2. Deny the application stating reasons why (*Section 642(4) of the MGA*).




January 23, 2023

Kara Hubbard  
Development Office  
Summer Village of Jarvis Bay  
#2 Erickson Drive  
Sylvan Lake AB T4S 1P5

Dear Kara,

Re: **Development Permit Application for Dwelling  
165 Jarvis Bay Drive**

An application has been made by  for the development of the now bare lot located at 165 Jarvis Bay Drive. The application is in full compliance with the zoning bylaws and we have taken steps to address all questions and concerns raised by the Summer Village. As a final step, a letter of intent has been requested for the development of the property.

The property is being developed for use as a dwelling with an attached garage for storage of vehicles and seasonal lake equipment. The use of the property is in alignment with the zoning outlined by the Village. The development has been professionally designed and will be constructed by experienced contractors. The character of the dwelling is based on an urban barn style. Special steps have been taken to add to the character of the neighbourhood. This includes increasing the pitch of the roof to 12:12 from the standard 4:12, and upgrading the siding to a hardie board style premium siding product. The landscaping has been designed to be consistent with the natural habitat in the area and will ensure that the development blends into the natural landscape.

The garage is being located on the east side of the property to isolate the property from the immediate vicinity of the highway. The location of the property and the size and shape of the lot pose unique development challenges due to lack of privacy and noise from the road. Locating the garage on the east side will increase the quality of the dwelling. This development will reduce the overall impact of the highway on the community and will reduce the associated noise for the immediate neighbours.

Please contact the undersigned if you have any questions.

Respectfully,

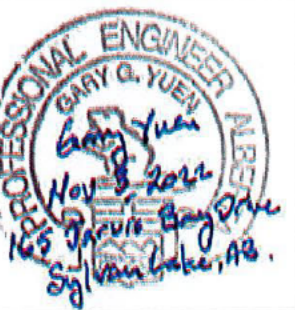




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REVISIONS:
A.1/A.3 IFR 08/09/2022
A.4 IFBP 11/07/2022
A.5 IFBP 12/15/2022



PROJECT:

**RESIDENCE  
& SHOP**

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e  
CDS FILE: 22-219  
DATE: DEC 15/22  
DRAWING:

COVER

DWG. NO.

A0.0

**RESIDENCE & SHOP**

30'x80'x16' BUILDING



**NOTES:**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ENGINEER IN WRITING.

THE CUSTOMER/CONTRACTOR SHALL NOT ALTER THE CONSTRUCTION FROM THAT WHICH IS CONTAINED IN THIS SEALED DRAWING SET WITHOUT PRIOR APPROVAL OF THE ENGINEER WHO'S SEAL APPEARS HEREON. THE OWNER MUST PROVIDE THE CONTRACTOR WITH A COPY OF ALL PERMITS ISSUED WITH RESPECT TO THIS PROPERTY.

**DRAWING REVISIONS:**

- A.1 ISSUED FOR REVIEW
- A.2 ISSUED FOR REVIEW
- A.3 ISSUED FOR REVIEW
- A.4 ISSUED FOR BUILDING PERMIT
- A.5 ISSUED FOR BUILDING PERMIT

**DRAWING SCHEDULE:**

COVER	A0.0
SITE PLAN	A0.1
GENERAL NOTES	A1.0
GENERAL NOTES CONT.	A1.1
SCHEDULES	A1.2
POST LAYOUT & POST DETAIL	A2.0
MAIN FLOOR PLAN	A2.1
UPPER FLOOR FRAMING PLAN	A2.2
UPPER FLOOR PLAN	A2.3
ROOF PLAN	A2.4
EXTERIOR ELEVATIONS	A3.0
EXTERIOR ELEVATIONS	A3.1
BUILDING SECTION	A4.0
BUILDING SECTION	A4.1
TYPICAL DETAILS	S1.0
TYPICAL DETAILS	S1.1
TYPICAL DETAILS	S1.2
TYPICAL DETAILS	S1.3
TYPICAL DETAILS	S1.4

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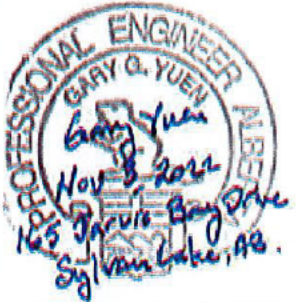
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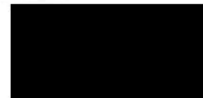
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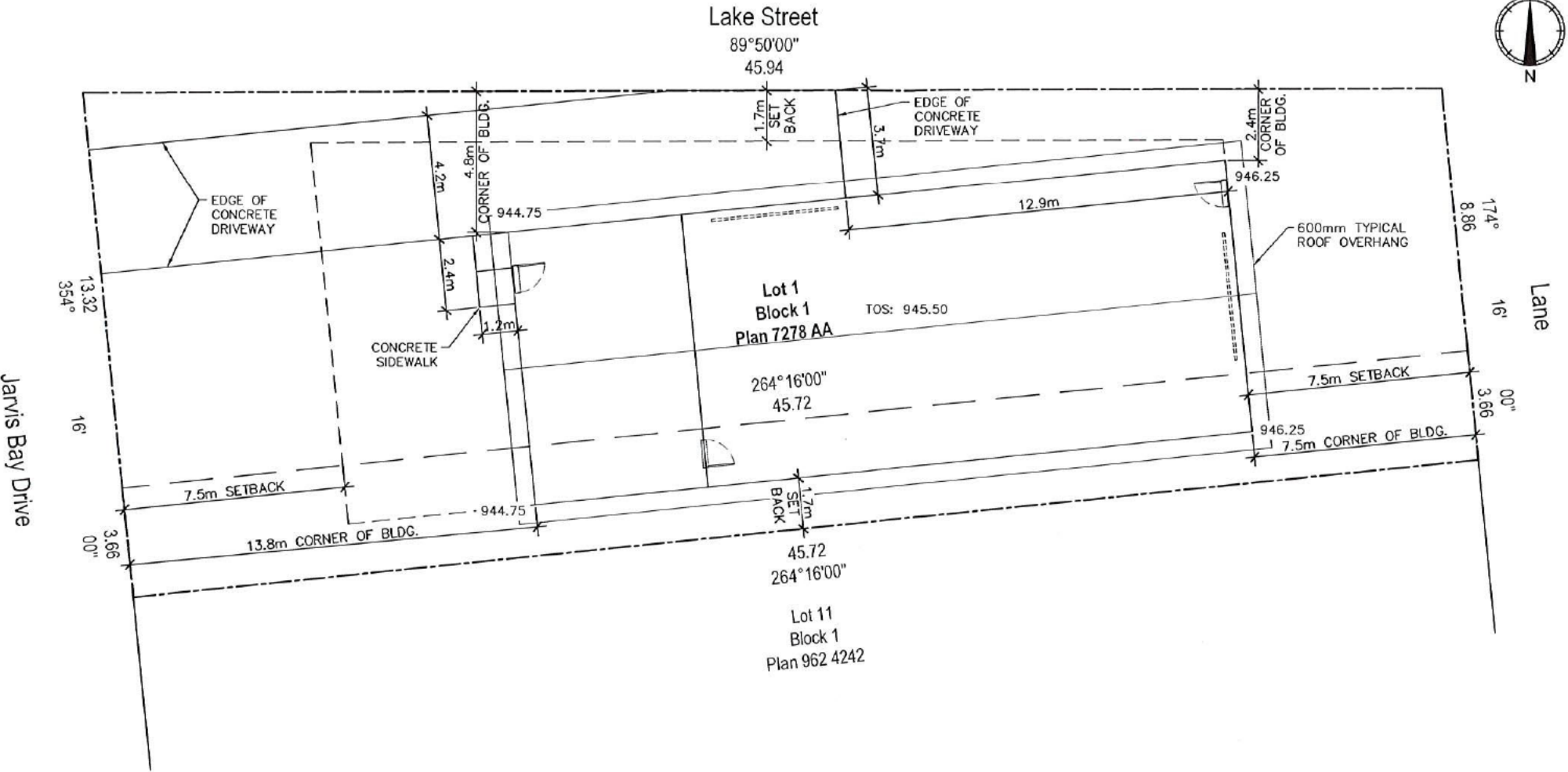
DRAWING:

SITE PLAN

DWG. NO.

A0.1

SITE INFORMATION		
<b>MUNICIPAL ADDRESS:</b> 165 JARVIS BAY DRIVE SUMMER VILLAGE OF JARVIS BAY, ALBERTA	<b>LAND USE DISTRICT/ZONE:</b> R - RESIDENTIAL	<b>NOTES:</b> ALL SIDEWALKS TO BE BROOMED FINISHED CONCRETE ALL GRADES TO SLOPE AWAY FROM BUILDING
<b>LEGAL DESCRIPTION:</b> LOT 1 AND THE NORTH 12 FT OF LOT 2 BLOCK 1 PLAN 7278AA	<b>SITE COVERAGE:</b> SITE AREA: 674 SQ.M. BUILDING AREA: 223 SQ.M. CONCRETE AREA: 108 SQ.M. (INCLUDES SIDEWALK & DRIVEWAY) TOTAL AREA: 331 SQ.M. SITE COVERAGE: 49.1%	



1 SITE PLAN  
A0.1 SCALE: 1:200



**GENERAL NOTES**

- 1) The contractor is to field confirm all dimensions prior to commencing work, and to notify the engineer of any discrepancies.
- 2) The design is in accordance with the latest National Building Code (NBC-2019 AE).
- 3) Design Loads (service):
  - Ground Snow Load (Ss) = 1.9 kPa (39.7 psf)
  - Rain Load (Sr) = 0.1 kPa (2.1 psf)
  - Roof Live Load (Top Chord) = 1.62 kPa (33.8 psf) plus snowdrift
  - Roof Live Load (Bottom Chord) = 0.48 kPa (10.0 psf)
  - Roof Dead Load (Top Chord) = 0.24 kPa (5.0 psf)
  - Roof Dead Load (Bottom Chord) = 0.34 kPa (7.0 psf)
  - Wind (1/10 hourly pressure) = 0.30 kPa (6.3 psf)
  - Wind (1/50 hourly pressure) = 0.41 kPa (8.6 psf)
  - Upper Floor Live Load = 1.92 kPa (40 psf)
  - Upper Floor Dead Load = 0.57 kPa (12 psf)

**DRAWING NOTES**

DRAWINGS ARE NOT TO BE SCALED BUT ARE TO BE USED TO DETERMINE THE GENERAL LAYOUT. ALL DIMENSIONAL DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE ENGINEER.

**CAST IN PLACE CONCRETE NOTES**

- 1.1 CONCRETE: CONFORM WITH CAN-CSA A23.1 REQUIREMENTS AND THOSE SHOWN IN THE CONCRETE MIX SCHEDULE AS FOLLOWS:

**CONCRETE MIX SCHEDULE**

LOCATION	MIN. COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	CEMENT TYPE	EXPOSURE CLASS	AIR CONTENT (%)
FOOTINGS (INTERIOR)	25	GU	N/A	N/A
SLAB ON GRADE (NOT EXPOSED TO FREEZE THAW)	20	GU	N/A	N/A
SLAB ON GRADE (EXPOSED TO FREEZE/THAW)	32	GU	C-2	4-7
SIDEWALKS, CURBS AND PAVING SLABS	32	GU	C-2	5-8

- 1.2 DESIGN CONCRETE MIXES TO SUIT REINFORCEMENT DETAILS SHOWN ON THE PLACEMENT DRAWINGS. PROVIDE SMALLER AGGREGATES OR SELF CONSOLIDATING CONCRETE IN AREAS OF HIGHER REINFORCEMENT DENSITY.
- 1.3 ALL CONCRETE SHALL BE NORMAL DENSITY U.N.O.
- 1.4 ADMIXTURES THAT CONTAIN CHLORIDES SHALL NOT BE USED.
- 1.5 EXTERIOR AND INTERIOR CONCRETE SUBJECTED TO FREEZE/THAW CYCLES, SALT, ETC. INCLUDING WALLS SHALL BE AIR ENTRAINED.
- 1.6 PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS IN ELEMENTS RETAINING EARTH OR EXPOSED TO WEATHER.
- 1.7 THE USE OF CHLORIDES SUCH AS DEICING SALTS IS PROHIBITED FOR MELTING ICE PRIOR TO PLACEMENT OF CONCRETE.
- 1.8 PROVIDE CRACK CONTROL JOINTS BY SAW CUTTING THE SLAB ON A 12' X 12' GRID. SAW CUTS TO BE 1/8" X 1" DEEP; AND SAWCUT WITHIN THE FIRST 8 TO 18 HOURS AFTER PLACING CONCRETE, BUT NOT MORE THAN 24 HOURS.

**FOUNDATION NOTES**

- 1.1 REMOVE ALL TOP SOIL, ORGANICS, FROZEN SOIL, WET AND/OR WEAK SOILS.
- 1.2 FOUND ALL FOOTINGS IN NATURALLY CONSOLIDATED UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SAFELY SUSTAINING AN ASSUMED UNFACTORED BEARING PRESSURE OF 96 kPa (2000 PSF) FOR STRIP AND SPREAD FOOTINGS.
- 1.3 A WET UNIT WEIGHT OF RETAINED SOIL (CLAY) OF 2100 kg/m<sup>3</sup> HAS BEEN ASSUMED.
- 1.4 THE MINIMUM SOIL COVER ABOVE FOOTINGS FOR FROST PROTECTION IS 4.5 FEET (1370 mm) AND 7 FEET (2130 mm) BELOW FINISHED GRADE FOR HEATED AND UNHEATED STRUCTURES RESPECTIVELY.
- 1.5 FOOTINGS SHALL BE CENTERED UNDER COLUMNS AND WALLS U.N.O.
- 1.6 NO FOOTINGS OR SLABS SHALL BE PLACED ON OR AGAINST SUB-GRADE CONTAINING FREE WATER, FROST OR ICE.
- 1.7 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUB-GRADE BEFORE AND AFTER CASTING CONCRETE UNTIL THE FULL BUILDING ENCLOSURE IS COMPLETED AND HEATED.
- 1.8 FOUNDATION INSULATION SHALL CONSIST OF EXTRUDED POLYSTYRENE WITH A MINIMUM COMPRESSIVE STRENGTH OF 0.24 MPa (35 psi) U.N.O.
- 1.9 IN LOCATIONS WHERE EXISTING MECHANICAL SERVICES INTERFERE WITH NEW FOOTINGS, ESTABLISH TOP OF FOOTING MINIMUM 8" (200 mm) BELOW INVERT ELEVATION.
- 1.10 INSULATION IS SHOWN WHERE REQUIRED FOR PROTECTION OF THE FOUNDATIONS FROM DAMAGE DUE TO FROST ACTION ONLY.

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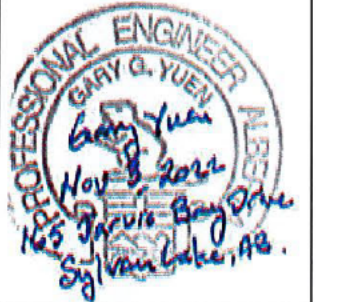
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A.4 IFBP 11/07/2022

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**DRAWING:**

**GENERAL  
NOTES**

DWG. NO.

A1.0



**REINFORCING STEEL NOTES**

- 1.1 ALL REINFORCING BARS SHALL BE MANUFACTURED AND MEET THE REQUIREMENTS OF CSA STANDARD G 30.18-M92. BILLET STEEL BARS FOR CONCRETE REINFORCEMENT.
- 1.2 REINFORCING STEEL TO BE DEFORMED BARS WITH A MINIMUM YIELD STRENGTH OF 60 ksi (400 MPa).
- 1.3 SPLICES, BENDS AND PLACEMENT OF REINFORCING BARS SHALL CONFORM TO CAN/CSA-A23.1-M94 AND CAN3 A23.3-M94.
- 1.4 REINFORCING STEEL IS TO BE DETAILED, BENT AND PLACED IN ACCORDANCE WITH R.S.I.C. REINFORCING STEEL MANUAL OF STANDARD PRACTICE. SUBMIT SHOP DRAWINGS INDICATING ALL DETAILS OF REINFORCING STEEL PLACEMENT.
- 1.5 ALL REINFORCEMENT SHALL BE SECURELY HELD IN PROPER POSITION WHILE POURING CONCRETE. CONTRACTOR SHALL PROVIDE CHAIRS, SPACER BARS, SUPPORT BARS AND OTHER ACCESSORIES TO SUPPORT REINFORCING. ALL THE WIRE, CHAIRS AND BAR SUPPORTS FOR FOUNDATIONS AND FOR EXPOSED CONCRETE SHALL BE NON-METALLIC OR COATED.
- 1.6 TACK WELDING OF REINFORCEMENT IS NOT PERMITTED. WELDED SPLICES IN REINFORCING BARS WILL ONLY BE PERMITTED IF EXPLICITLY SHOWN ON THE STRUCTURAL DRAWINGS OR IF WRITTEN APPROVAL IS GIVEN BY THE CONSULTANT.
- 1.7 PROVIDE CLASS 'B' TENSION LAP SPLICES U.N.O. ALL SPICE LOCATIONS SHALL BE TO THE APPROVAL OF THE CONSULTANT.
- 1.8 APPROVED REBAR COUPLERS MAY BE USED AT THE CONTRACTORS OPTION TO AID PLACEMENT OF DOWELS THROUGH FORMS. MECHANICAL SPLICES SHALL DEVELOP 125% OF THE TENSILE STRENGTH OF THE REBAR.

**TIMBER CONSTRUCTION NOTES**

- 1.1 ALL WOOD MEMBERS SHALL CONFORM TO THE MINIMUM STANDARD GRADE BELOW U.N.O. ON THE ENGINEERED DRAWINGS.
  - BEAMS AND HEADERS – SPF #2 OR BETTER U.N.O.
  - POSTS AND TIMBERS – PRESSURE TREATED SPF #2 OR BETTER
  - STRAPPING, BOARDS & MISC. FRAMING – SPF #2 OR BETTER U.N.O.
- 1.2 NAILS, SPIKES, AND STAPLES TO CONFORM TO CSA STANDARD B111.
- 1.3 ALL NAILS FOR STRUCTURAL WORK SHALL BE COMMON WIRE NAILS U.N.O.
- 1.4 ALL FASTENERS (HANGERS, CLIPS, SCREWS, BOLTS, WASHERS, ETC.) IN CONTACT WITH PRESSURE TREATED WOOD TO BE STAINLESS STEEL OR HOT DIP GALVANIZED. DO NOT MIX STAINLESS STEEL AND HOT DIP GALVANIZED IN THE SAME CONNECTION.
- 1.5 MANUFACTURED WOOD JOISTS, BEAMS AND TRUSSES:
  - a) ALL MANUFACTURED WOOD JOISTS, BEAMS AND TRUSSES TO BE DESIGNED BY SUPPLIER AND THE SHOP DRAWINGS TO BE PROVIDED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. U.N.O. SHOP DRAWINGS MUST HAVE A PROFESSIONAL ENGINEER'S SEAL ON ALL PAGES. THE ENGINEER MUST BE LICENSED IN THE PROVINCE OF ALBERTA, AND SHALL BE RESPONSIBLE FOR SUPERVISION OF JOIST/TRUSS FABRICATION AND INSTALLATION (COMPLETE FLOOR/ROOF SYSTEM INCLUDING JOISTS/TRUSSES, HANGERS, BRACING ETC. TO BE DESIGNED BY SUPPLIER).
  - b) JOIST/TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR ALL FRAMING FOR ADDITIONAL MECHANICAL LOADS AND OPENINGS AS REQUIRED. COORDINATE WITH THE OWNER FOR SIZE AND LOCATIONS OF ALL OPENINGS.
  - c) ACCESSORIES: ALL ACCESSORIES REQUIRED FOR ERECTION INCLUDING BRACING, BRIDGING, BLOCKING, METAL BEARING HARDWARE, ROOF TRUSS TIE DOWN ANCHORS (HURRICANE CLIPS) AND CROSS BRACING MUST BE DESIGNED AND SUPPLIED BY THE JOIST/TRUSS SUPPLIER.
  - d) LIVE LOAD DEFLECTION L/480 FOR FLOOR JOISTS AND TRUSSES (IF APPLICABLE) TO A MAXIMUM OF 3/8" (10 mm) AND L/360 FOR ROOF TRUSSES. CANTILEVER JOISTS LIVE LOAD DEFLECTION 2L/480.
  - e) LUMBER: MACHINE STRESS RATED OR LAMINATED VENEER. MOISTURE CONTENT 19% AT TIME OF MANUFACTURE.
  - f) JOIST/TRUSS SUPPLIERS ENGINEER TO PROVIDE A CERTIFICATE INDICATING THAT THE FLOOR/ROOF SYSTEM IS FABRICATED AND INSTALLED IS IN ACCORDANCE WITH THE DESIGN.
  - g) JOIST SUPPLIER SHALL BE RESPONSIBLE FOR THE DESIGN OF CONNECTIONS TO TIMBER WALLS AND OTHER MISCELLANEOUS DETAILS.
  - h) ALL MANUFACTURED JOIST PRODUCTS SHALL BE DESIGNED TO VIBRATION CRITERIA 4.1.1.6 AND 9.23.4 OF THE NATIONAL BUILDING CODE OR DESIGNED TO LOCAL CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. FRAMING MUST BE DESIGNED TO MEET VIBRATION REQUIREMENTS.
- 1.6 ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS.

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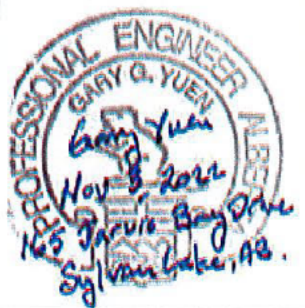
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A.5 IFBP 12/15/2022



## PROJECT:

RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

DRAWING:

GENERAL  
NOTES CONT.

DWG. NO.

A1.1



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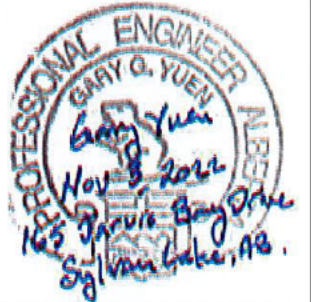
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DRAWING:

SCHEDULES

DWG. NO.

A1.2

## OPENING(S) SCHEDULE

MARK	LOCATION	QTY.	WIDTH	HEIGHT	TYPE	HINGE
D1	EXTERIOR DOOR	1	3'-0"	6'-8"	SINGLE DOOR - INSWING	LHH
D2	EXTERIOR/INTERIOR DOOR	2	3'-0"	6'-8"	SINGLE DOOR - INSWING	RHH
D3	PANTRY	1	2'-8"	6'-8"	SINGLE DOOR - OUTSWING	RHH
D4	BEDROOM	3	2'-8"	6'-8"	SINGLE DOOR - OUTSWING	LHH
D5	BATHROOM	1	2'-6"	6'-8"	SINGLE DOOR - OUTSWING	RHH
D6	BEDROOM	3	2X2'-0"	6'-8"	BI-FOLD DOORS	
D7	BATHROOM	1	1'-6"	6'-8"	LINEN CLOSET DOOR - OUTSWING	LHH
D8	SHOP OVERHEAD DOOR	1	14'-0"	9'-0"	THERMALEX OVERHEAD DOOR C/W ELECTRIC OPERATOR	
D9	SHOP OVERHEAD DOOR	1	14'-0"	14'-0"	THERMALEX OVERHEAD DOOR C/W ELECTRIC OPERATOR	
G1	EXTERIOR WALL	16	36"	30"	PVC WINDOW - SLIDER	
G2	EXTERIOR WALL	2	36"	30"	PVC WINDOW - PICTURE	

## FLOOR SCHEDULE

F-1	MAIN FLOOR
	- 6" CONCRETE SLAB-ON-GRADE (SHOP)
	15M @ 16" O.C. EACH WAY MID-DEPTH
	- 4" CONCRETE SLAB-ON-GRADE (RESIDENCE)
	10M @ 16" O.C. EACH WAY MID-DEPTH
	- 6MIL POLY VAPOR BARRIER
	- 6" LAYER 3/4" CRUSHED GRAVEL BASE

## WALL SCHEDULE

W-1	EXTERIOR WALL SHOP
	- HARDIEPLANK WALL CLADDING
	- TYVEK HOMEWRAP OR APPROVED EQUAL
	- 2X6 STRAPPING @ 24" O.C. EXTERIOR
	- 2X8 4PLY LAMINATE POSTS @ 60" O.C. (U.N.O.)
	- R28 ROXUL INSULATION
	- 6MIL POLY VAPOR BARRIER
	- 2X4 STRAPPING @ 24" O.C. INTERIOR
	- 29 GA. TUFF RIB METAL CLADDING

## FLOOR SCHEDULE

F-2	UPPER FLOOR
	- FLOOR FINISH
	- 3/4" T&G PLYWOOD SHEATHING
	- PRE-ENGINEERED FLOOR JOISTS BY OTHERS
	- 1/2" G.W.B.

## WALL SCHEDULE

W-2	EXTERIOR WALL RESIDENCE
	- HARDIEPLANK WALL CLADDING
	- TYVEK HOMEWRAP OR APPROVED EQUAL
	- 2X6 STRAPPING @ 24" O.C. EXTERIOR
	- 2X8 4PLY LAMINATE POSTS @ 60" O.C. (U.N.O.)
	- R28 SPRAY FOAM INSULATION
	- 6MIL POLY VAPOR BARRIER
	- 2X4 STRAPPING @ 24" O.C. INTERIOR
	- 1/2" G.W.B. TO INTERIOR PARTITION WALLS

## POST SCHEDULE

MARK	QTY.	DESCRIPTION	LENGTH
P1	41	4PLY 2X8 POST	24'
TOTAL	41		

## ROOF SCHEDULE

R-1	SHOP ROOF
	- 26 GA. TUFF RIB METAL CLADDING
	- 2X6 STRAPPING @ 24" O.C. EXTERIOR
	- PRE-ENGINEERED TRUSSES BY OTHERS
	- R40 BLOWN-IN INSULATION
	- 6MIL VAPOUR BARRIER
	- 29 GA. TUFF RIB METAL CLADDING

## WALL SCHEDULE

W-3	DEMISING WALL SHOP/RESIDENCE 1HR RATED
	- 29 GA. TUFF RIB METAL CLADDING (SHOP)
	- 5/8" TYPE 'X' G.W.B.
	- 2X4 STRAPPING @ 24" O.C. BOTH FACES
	- 2X8 4PLY LAMINATE POSTS @ 60" O.C. (U.N.O.)
	- R28 ROXUL INSULATION
	- 5/8" TYPE 'X' G.W.B. (RESIDENCE)

## ABBREVIATION LEGEND

B/W	BETWEEN
C/W	COMES WITH OR COMPLETE WITH
I.F./O.F.	INSIDE FACE OR OUTSIDE FACE
LHH/RHH	LEFT OR RIGHT HAND HINGE
O.C.	ON CENTER
R.O.	ROUGH OPENING
TYP.	TYPICAL
U/S	UNDERSIDE
U.N.O.	UNLESS NOTED OTHERWISE

## ROOF SCHEDULE

R-2	RESIDENCE ROOF
	- 26 GA. TUFF RIB METAL CLADDING
	- 2X6 STRAPPING @ 24" O.C. EXTERIOR
	- PRE-ENGINEERED VAULTED TRUSSES BY OTHERS
	- R40 BLOWN-IN INSULATION
	- 6MIL VAPOUR BARRIER
	- 29 GA. TUFF RIB METAL CLADDING

## WALL SCHEDULE

W-4	PARTITION WALL RESIDENCE
	- 1/2" G.W.B.
	- 2-2X4 TOP PLATES
	- 2X4 STUDS @ 24" O.C.
	- 1-2X4 BOTTOM PLATE
	- 1/2" G.W.B.



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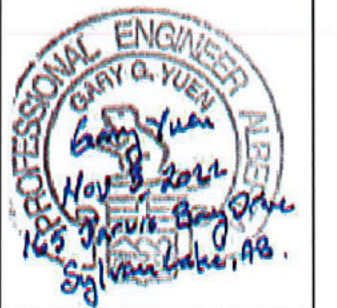
403-334-5956 CUTFORTHSD@OUTLOOK.COM

## REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



## PROJECT:

RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

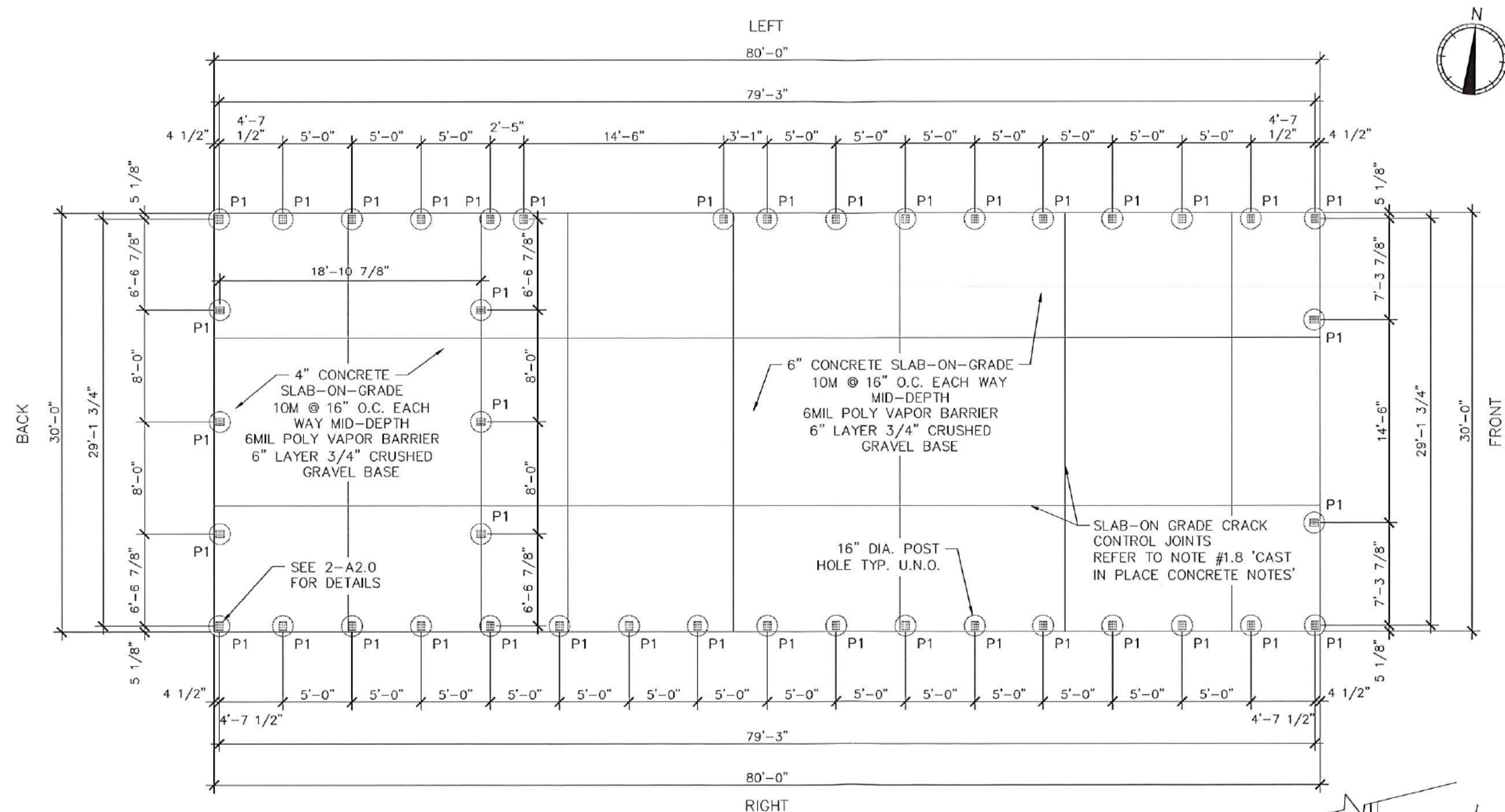
DATE: DEC 15/22

DRAWING:

POST LAYOUT  
POST DETAIL

DWG. NO.

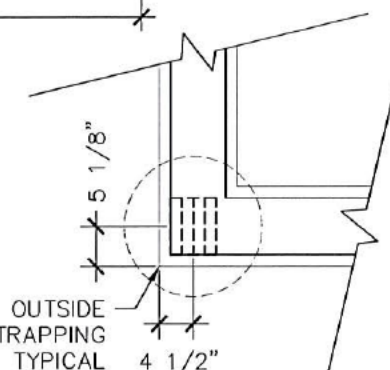
A2.0



1 POST LAYOUT  
A2.0 SCALE: 1/8" = 1'-0"

2 POST DETAIL  
A2.0 SCALE: 1/2" = 1'-0"

DIMENSIONS TO OUTSIDE  
OF STRAPPING  
TYPICAL



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CUTFORTH DRAFTING SERVICES

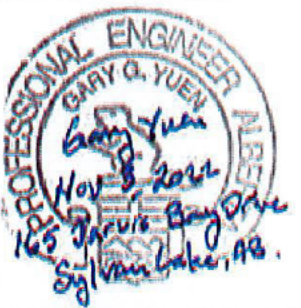
403-334-5956 CUTFORTHSDR@OUTLOOK.COM

REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

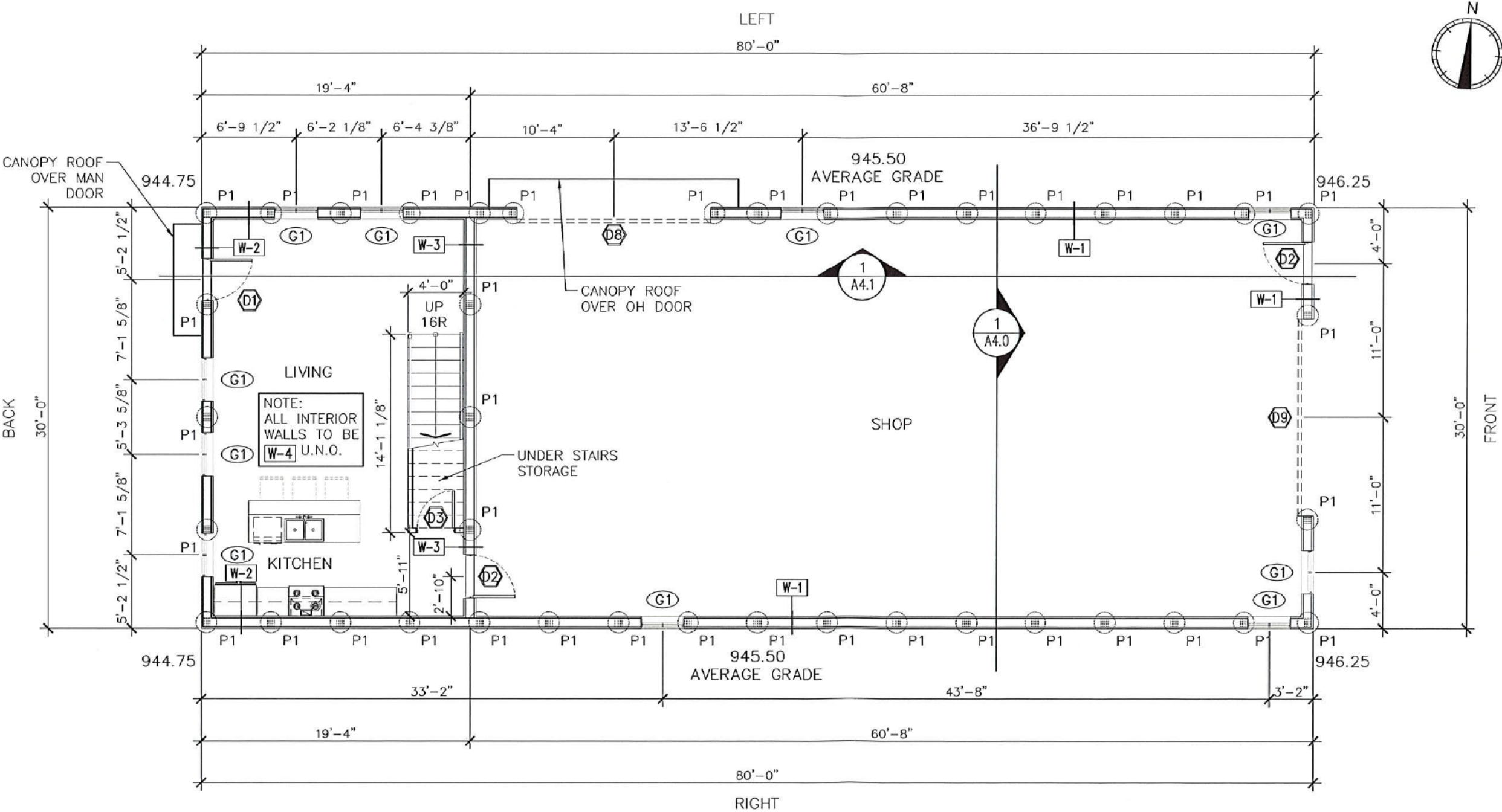
DATE: DEC 15/22

DRAWING:

MAIN FLOOR  
PLAN

DWG. NO.

A2.1



1 MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"  
RESIDENCE AREA: 580 SQ.FT. (53.8 SQ.M.)  
SHOP AREA: 1,820 SQ.FT. (169 SQ.M.)  
TOTAL AREA MAIN FLOOR: 2,400 SQ.FT. (222.9 SQ.M.)  
UPPER FLOOR AREA: 580 SQ.FT. (53.8 SQ.M.)  
TOTAL LIVABLE AREA: 1,160 SQ.FT. (107.6 SQ.M.)



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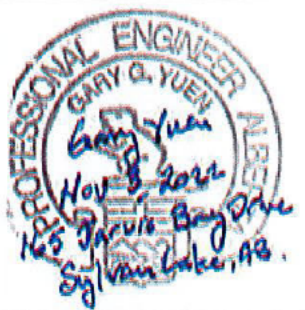
403-334-5956      CUTFORTHSDOUTLOOK.COM

REVISIONS:

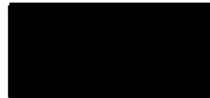
A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

DRAWING:

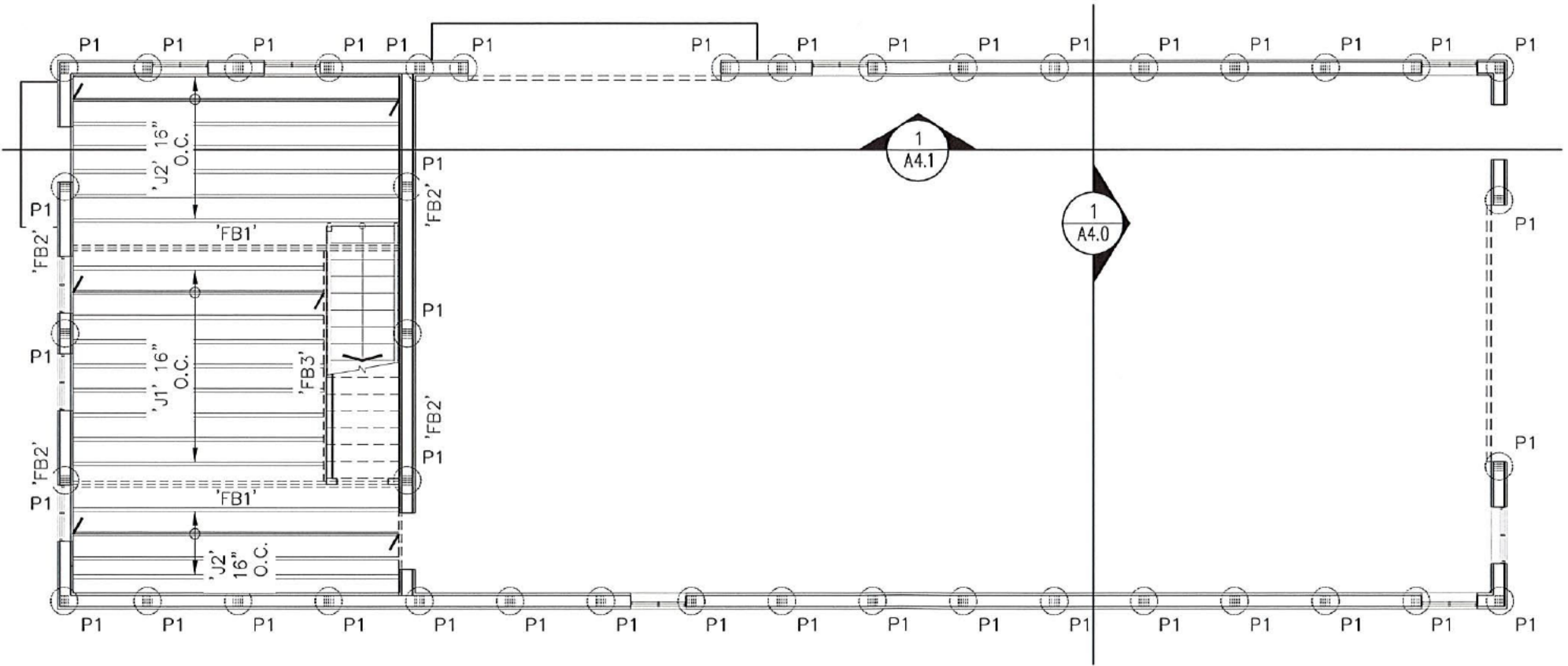
UPPER FLOOR  
FRAMING PLAN

DWG. NO.

A2.2



FLUSH BEAM/JOIST SCHEDULE		
MARK	DESCRIPTION	LENGTH
'FB1'	2PLY 1 3/4"X11 7/8" 3000fb 1.8E WESTFRASER LVL	19-00-00
'FB2'	1PLY 1 3/4"X11 7/8" 3000fb 1.8E WESTFRASER LVL	15-00-00
'FB3'	2PLY 1 3/4"X11 7/8" 3000fb 1.8E WESTFRASER LVL	13-00-00
'J1'	11 7/8" PKI20	16-00-00
'J2'	11 7/8" PKI20	20-00-00



1 UPPER FLOOR FRAMING PLAN  
A2.2 SCALE: 1/8" = 1'-0"



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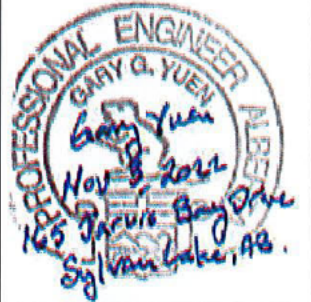
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

**RESIDENCE  
& SHOP**  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

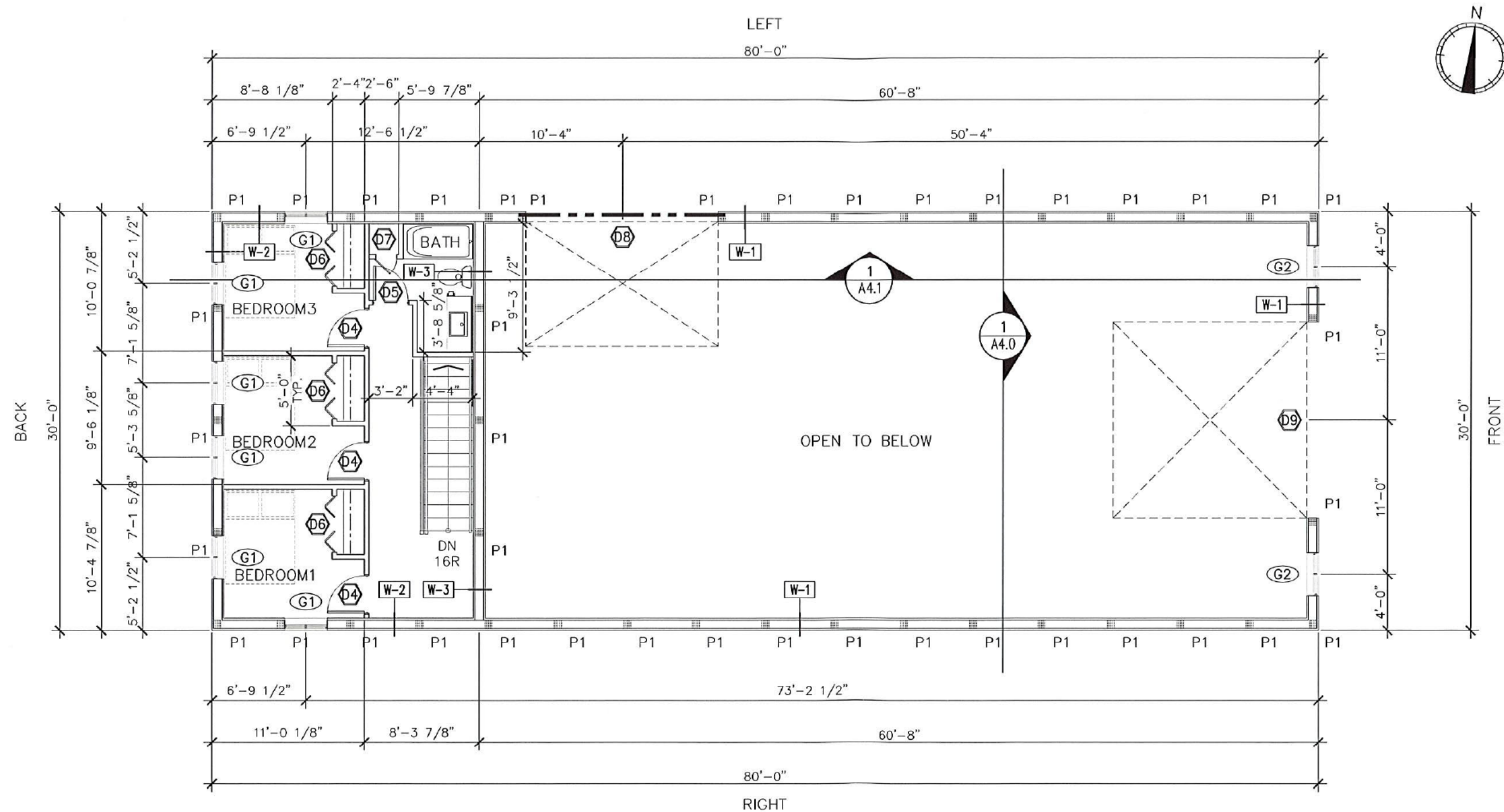
DATE: DEC 15/22

DRAWING:

UPPER FLOOR  
PLAN

DWG. NO.

A2.3



# 1 UPPER FLOOR PLAN

A2.3 SCALE: 1/8" = 1'-0"  
RESIDENCE AREA: 580 SQ.FT. (53.8 SQ.M.)

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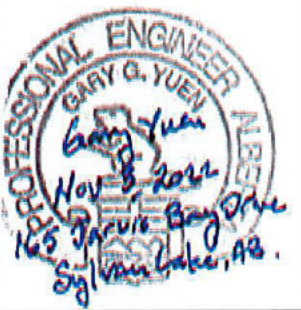
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

DRAWING:

ROOF PLAN

DWG. NO.

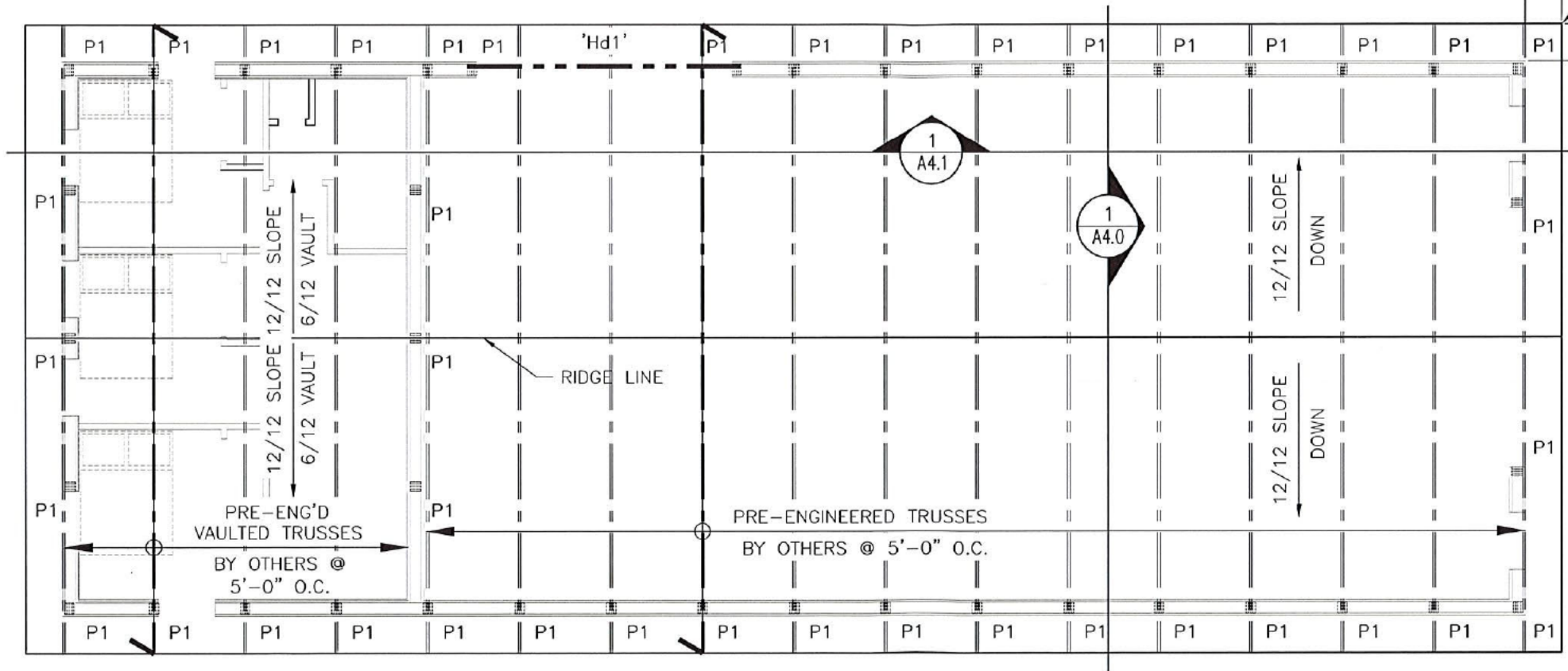
A2.4

LEFT



2'-0"  
TYP.  
ROOF OVERHANG  
TYPICAL  
2'-0"  
TYP.

BEAM/HEADER SCHEDULE				
MARK	DESCRIPTION	JACK/CRIPPLE STUDS	KING STUDS	COMMENTS
'Hd1'	3PLY 1 3/4"X11 7/8" 3000Fb 1.8E WESTFRASER LVL	2-2X8 SPF #2	2-2X8 SPF #2	NORTH WALL OH DOOR LOCATION



RIGHT

1 ROOF PLAN  
A2.4 SCALE: 1/8" = 1'-0"



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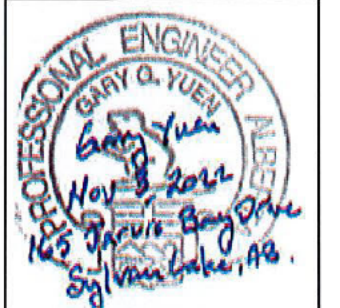
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PROJECT:

RESIDENCE  
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165 JARVIS BAY  
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ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

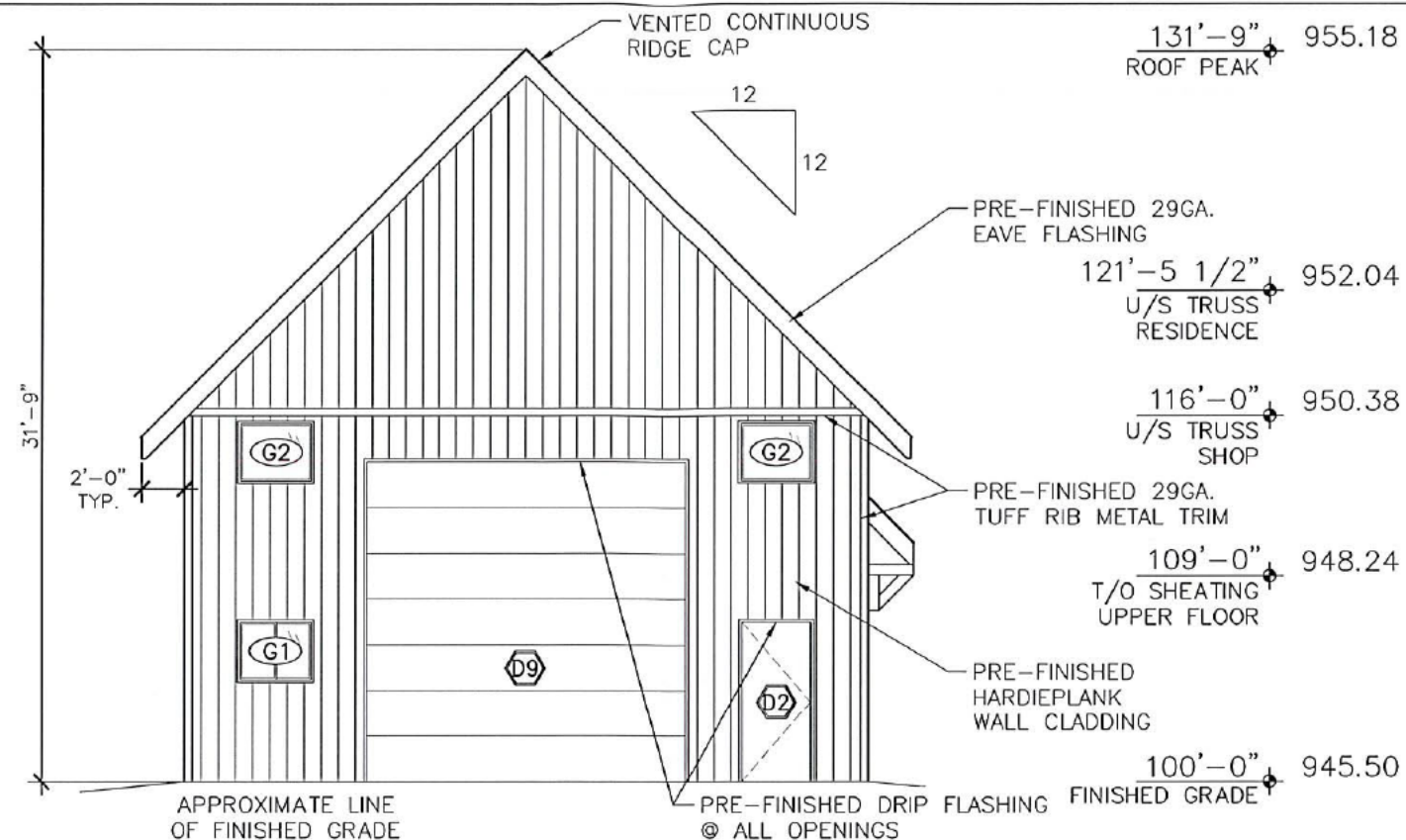
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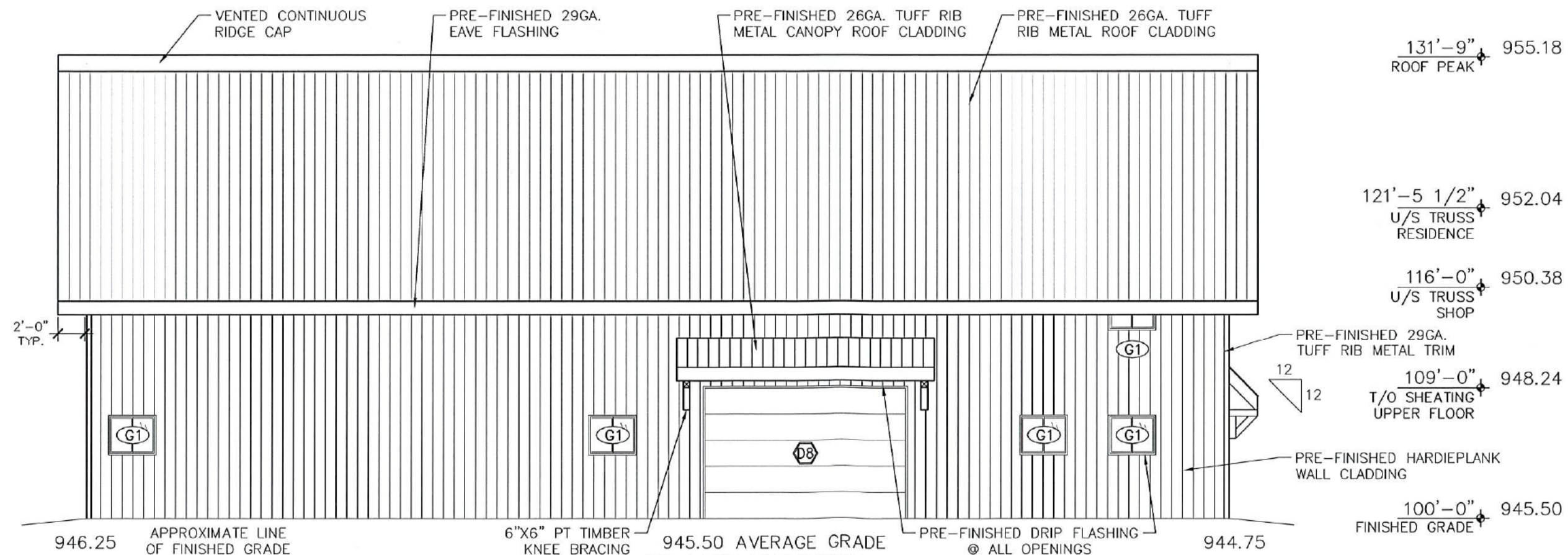
EXTERIOR  
ELEVATIONS

DWG. NO.

A3.0



1 FRONT ELEVATION  
A3.0 SCALE: 1/8" = 1'-0"



2 LEFT ELEVATION  
A3.0 SCALE: 1/8" = 1'-0"



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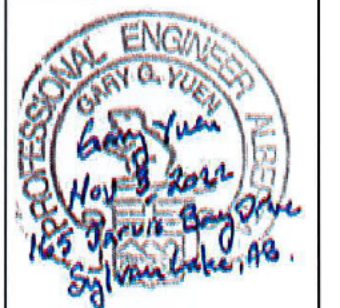
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REVISIONS:

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A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

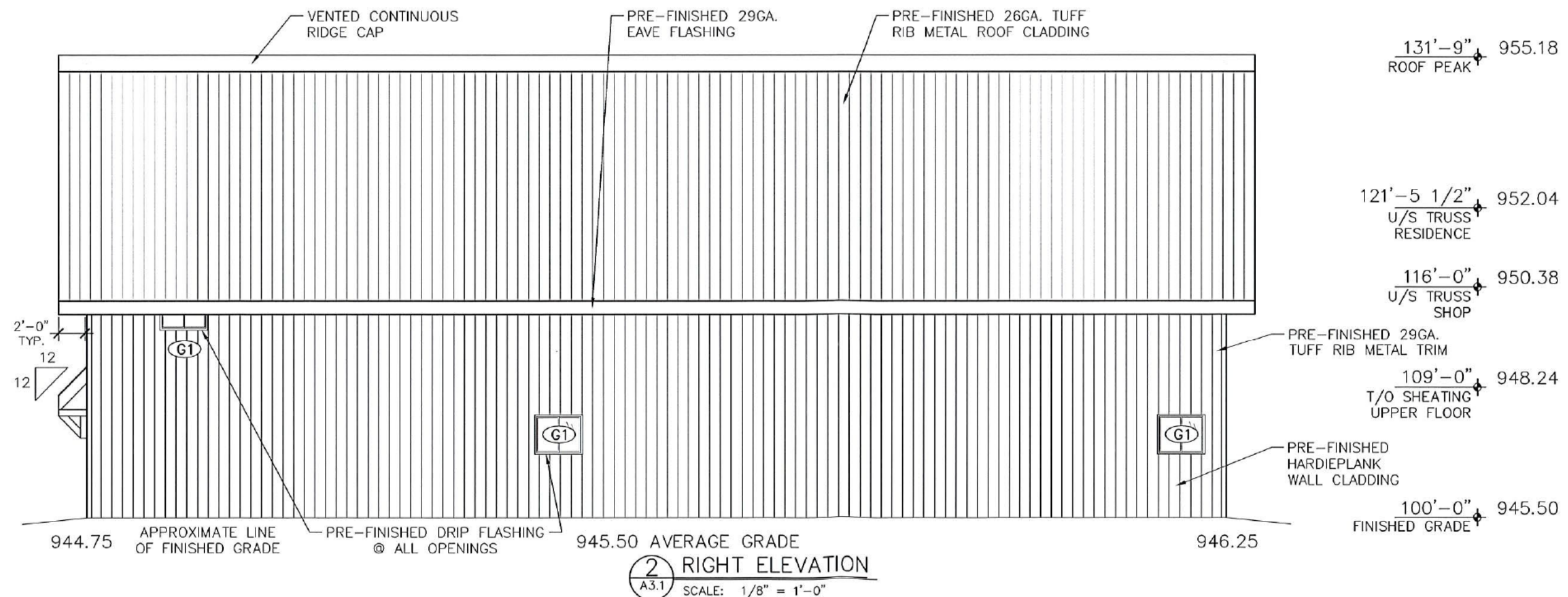
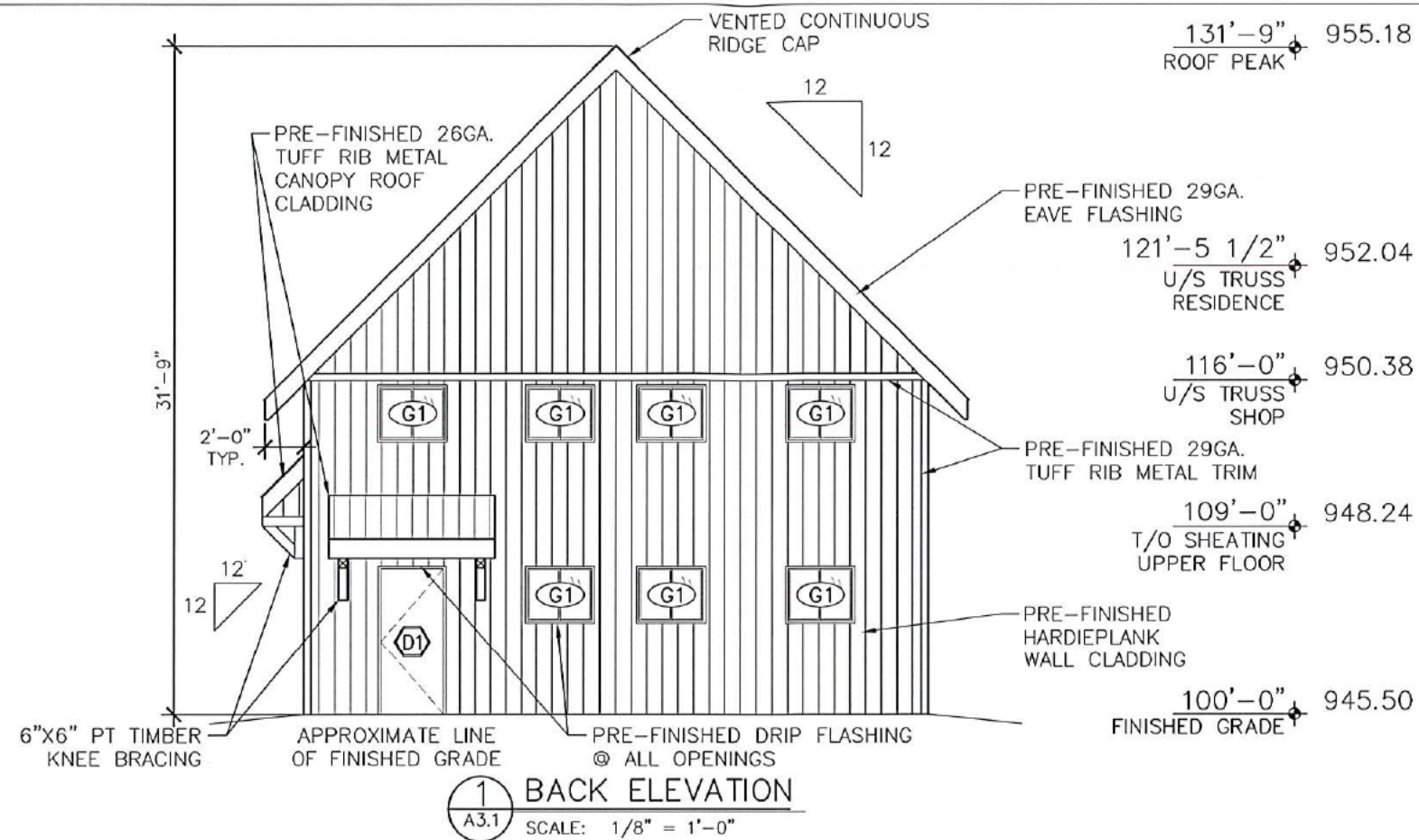
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DRAWING:

EXTERIOR  
ELEVATIONS

DWG. NO.

A3.1



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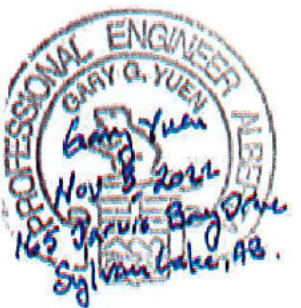
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REVISIONS:

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A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

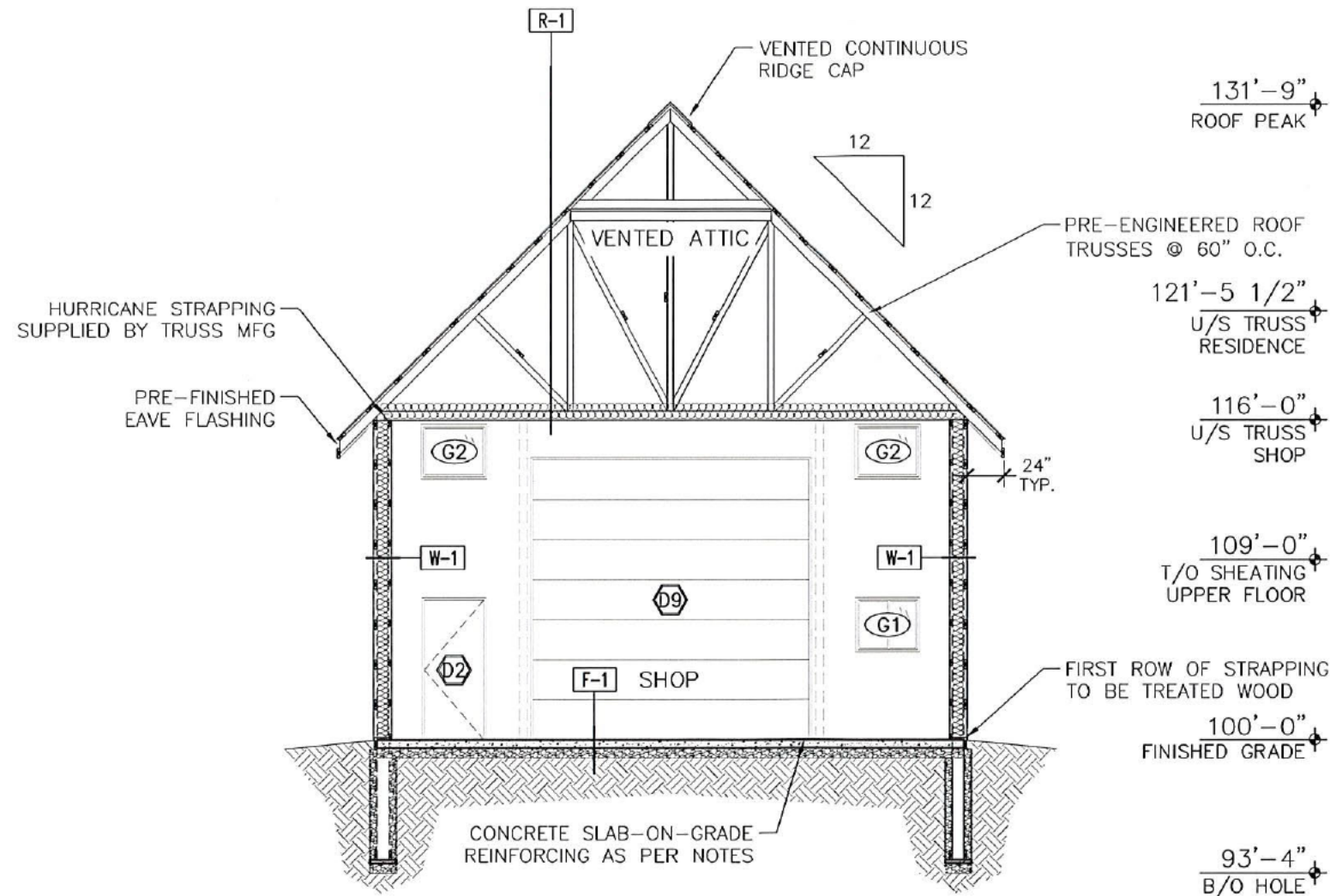
DATE: DEC 15/22

DRAWING:

BUILDING  
SECTION

DWG. NO.

A4.0



1 BUILDING SECTION  
A4.0 SCALE: 1/8" = 1'-0"



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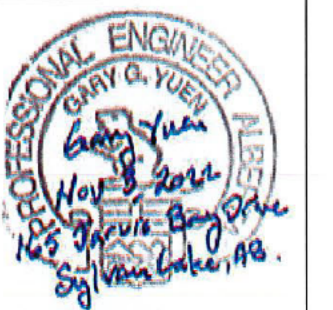
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

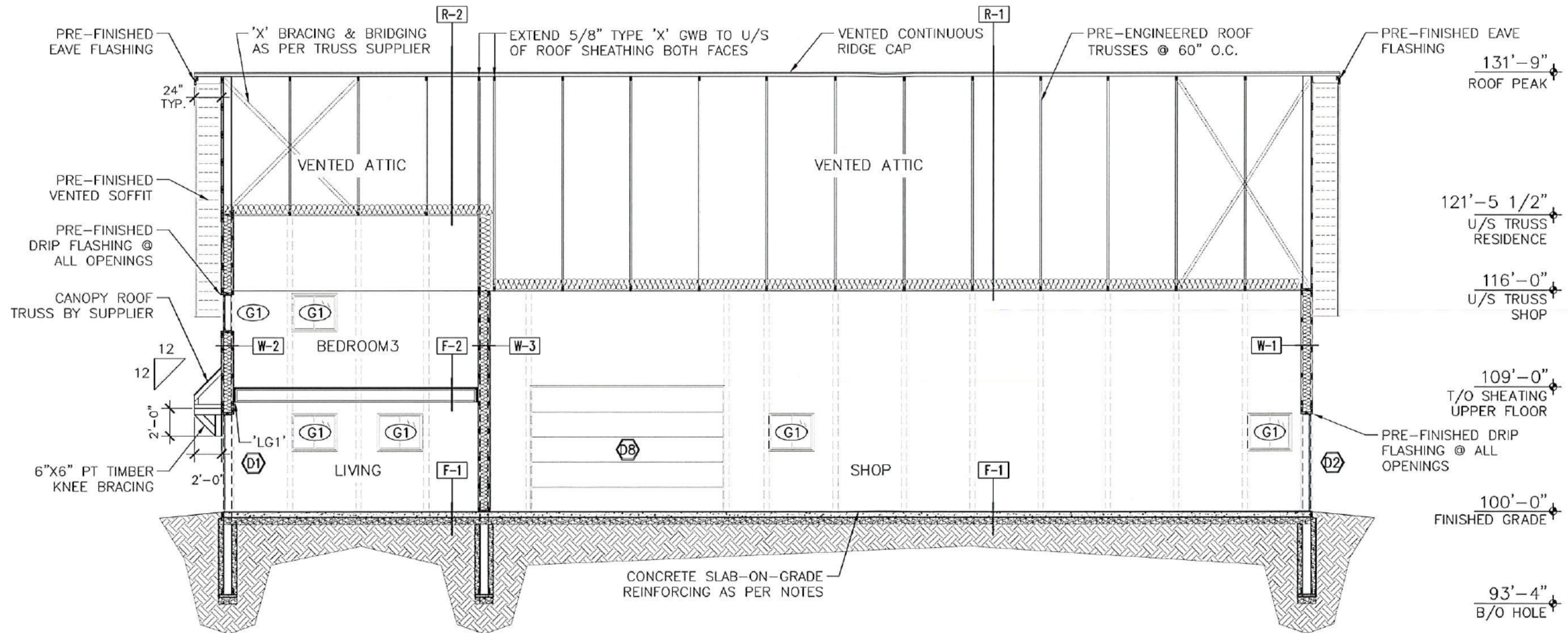
DATE: DEC 15/22

DRAWING:

BUILDING  
SECTION

DWG. NO.

A4.1



1 BUILDING SECTION  
A4.1 SCALE: 1/8" = 1'-0"

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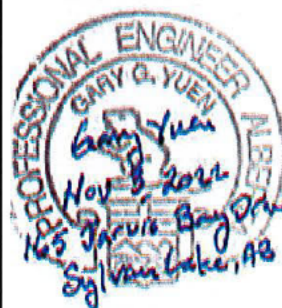
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REVISIONS:

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A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

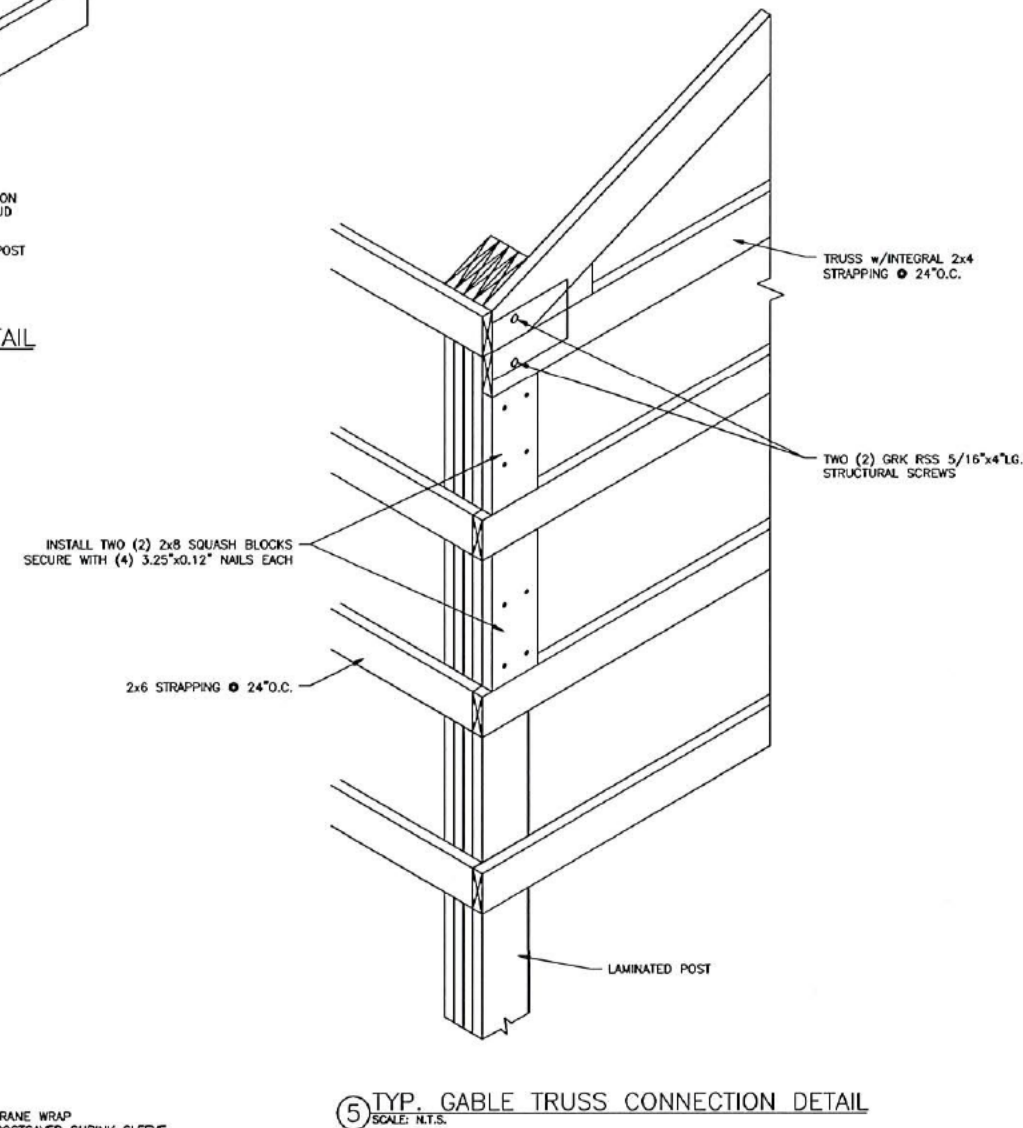
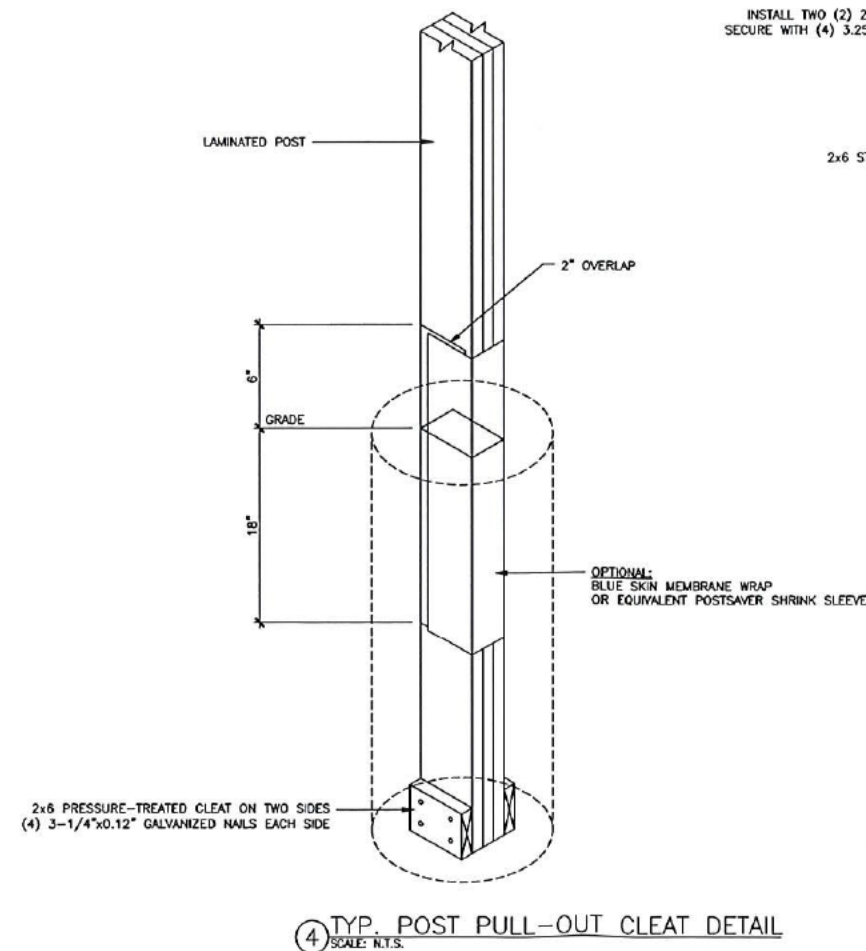
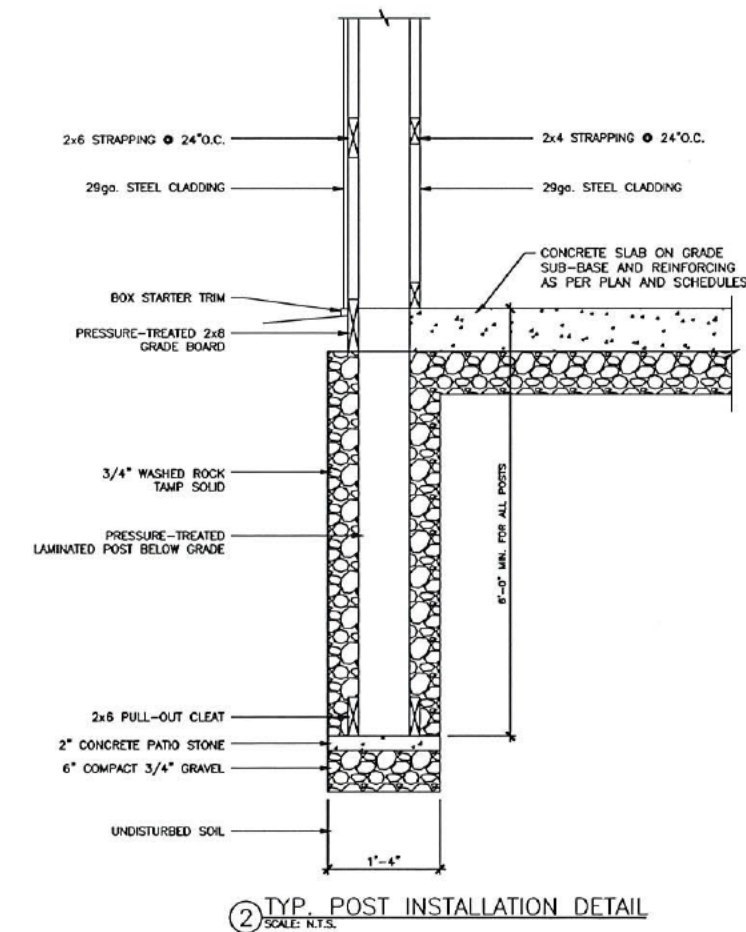
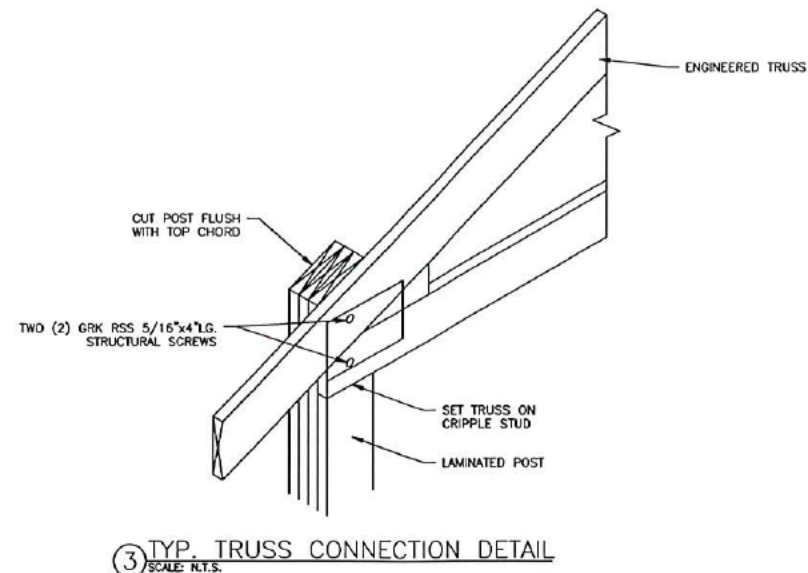
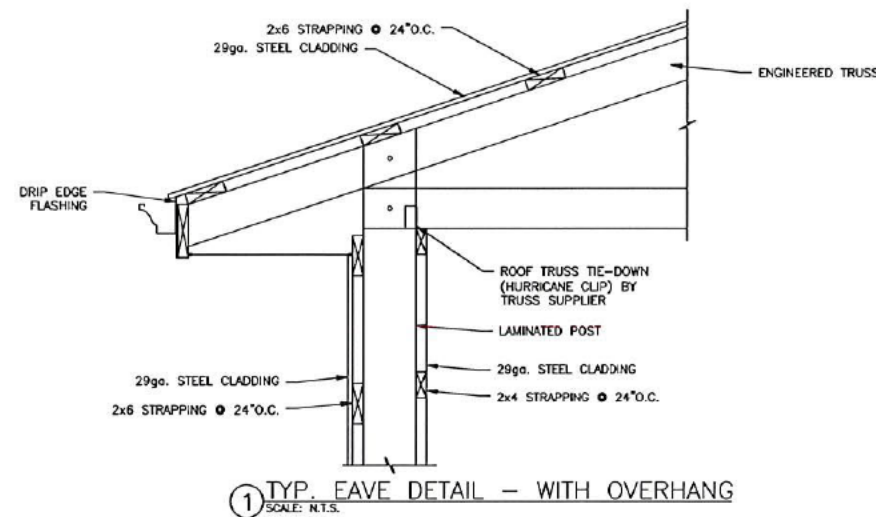
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

DWG. NO.

S1.0





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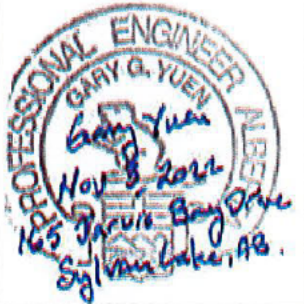
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

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PROJECT:



RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

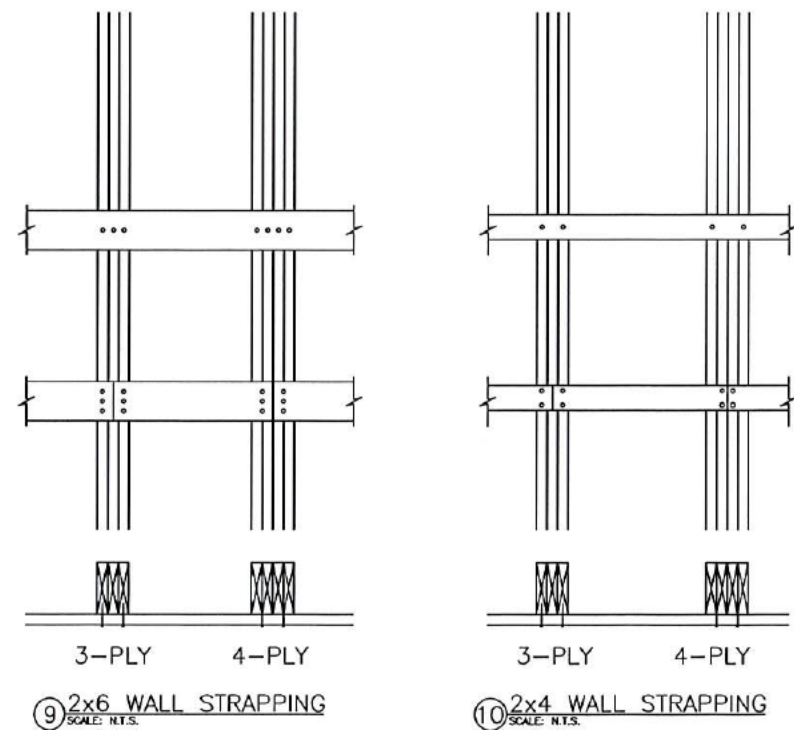
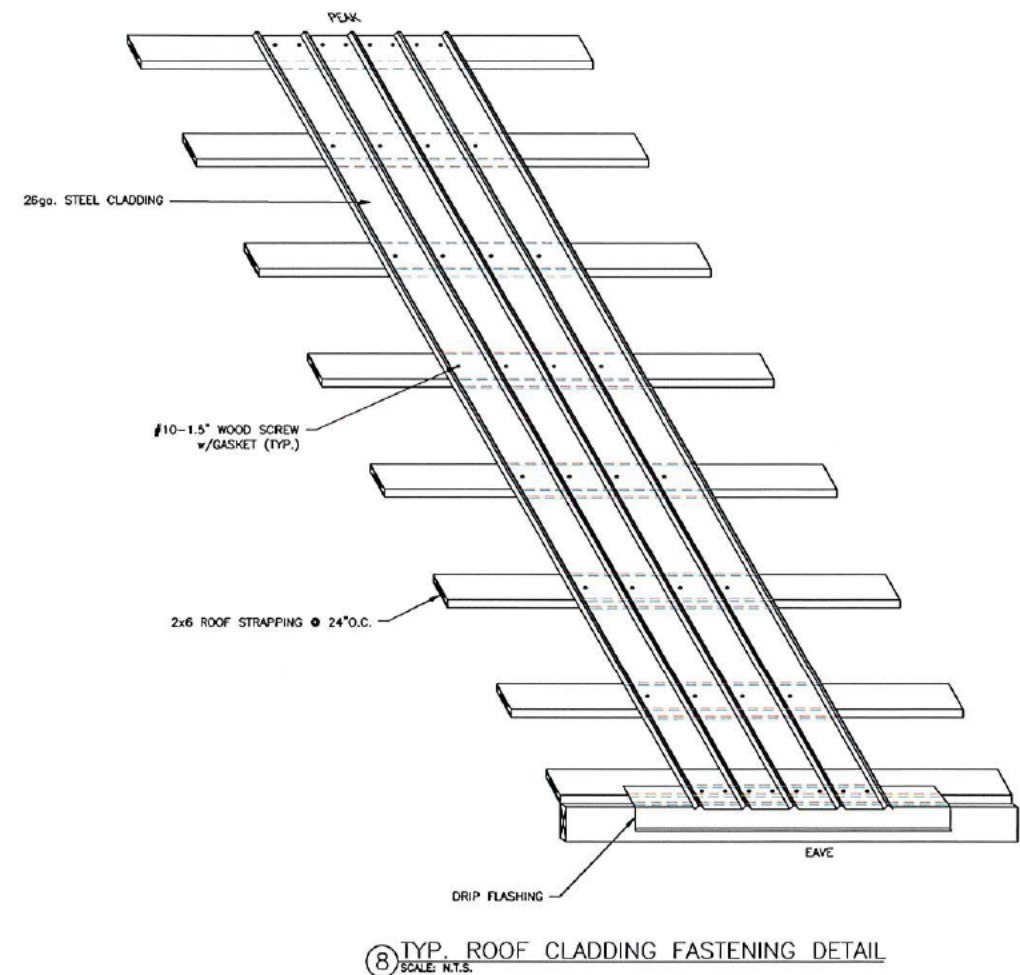
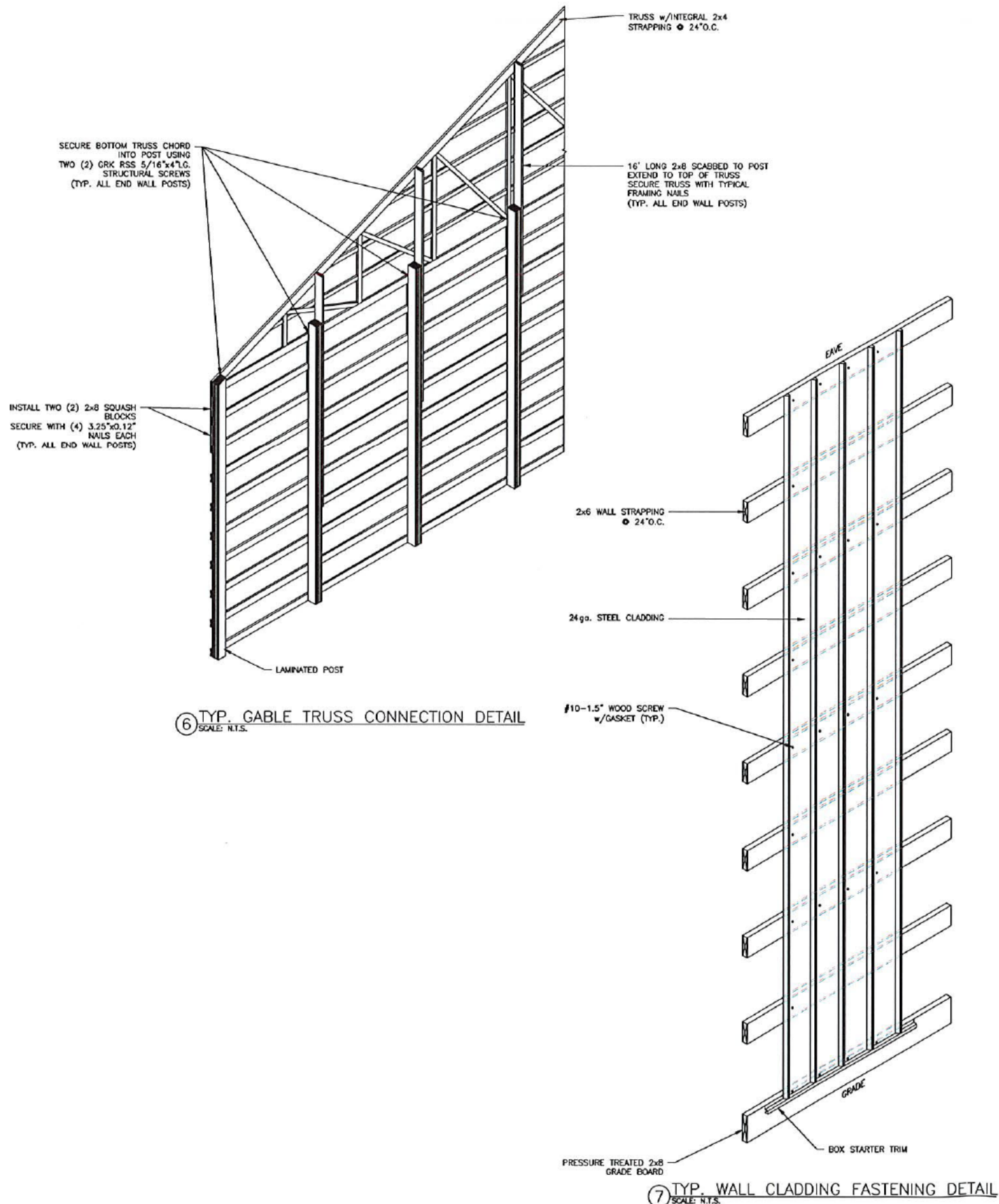
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

DWG. NO.

S1.1





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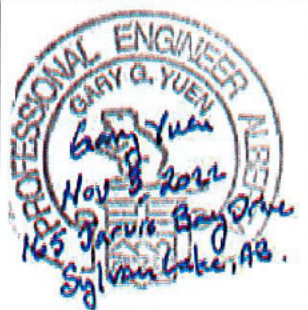
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

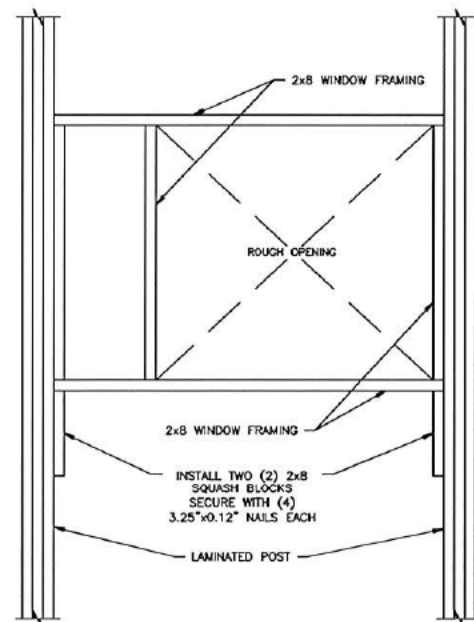
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

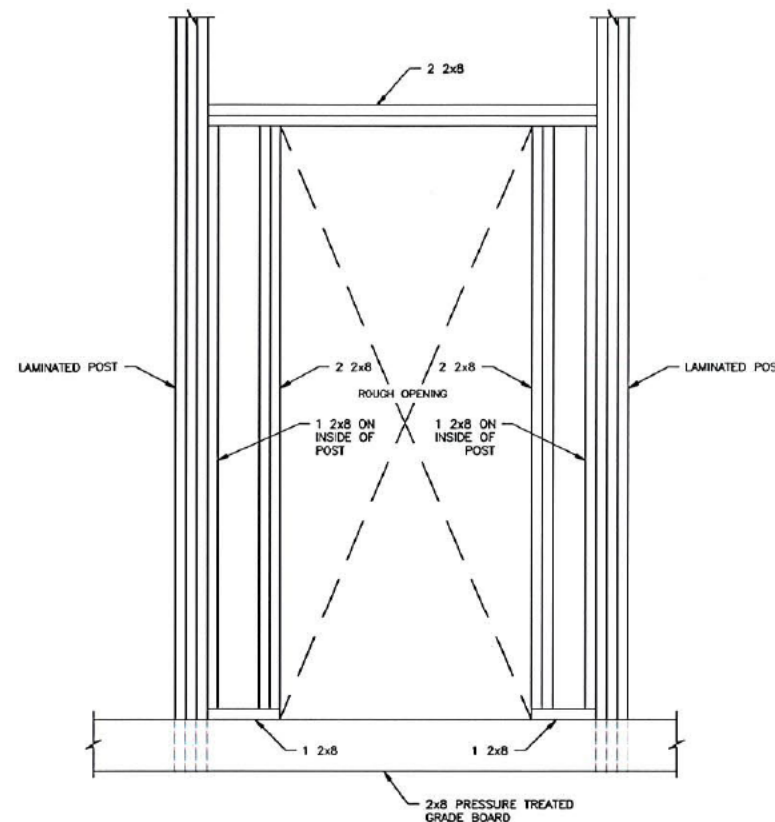
DWG. NO.

S1.2



NOTE: STRAPPING NOT SHOWN FOR CLARITY

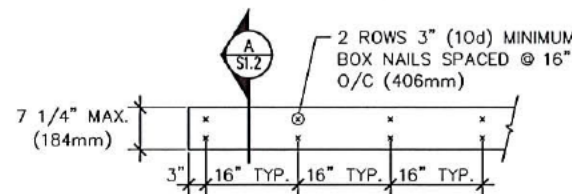
1 TYP. WINDOW FRAMING DETAIL  
SCALE: N.T.S.



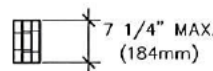
NOTE: STRAPPING NOT SHOWN FOR CLARITY

2 TYP. MAN DOOR FRAMING DETAIL  
SCALE: N.T.S.

FOR MULTI-PLY WOOD BEAMS UP TO AND INCLUDING DEPTHS OF 7 1/4" (184mm)



13 MULTI-PLY WOOD BEAM NAILING PATTERNS  
SCALE: N.T.S.

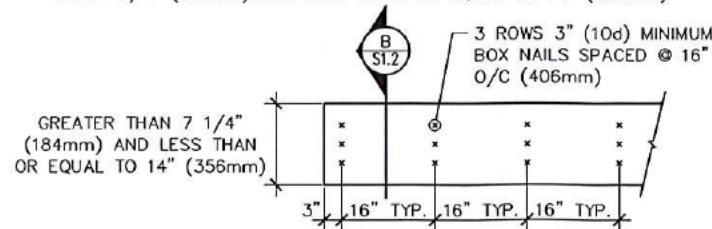


SECTION-TYPICAL NAILING PATTERN FOR MULTI-PLY TOP  
LOADED WOOD BEAMS UP TO 7 1/4" (184mm) DEPTH

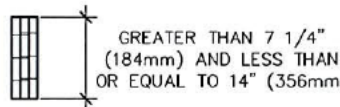
13A SCALE: N.T.S.

NOTE: NAILING PATTERN APPLIES ONLY TO FULLY 'TOP LOADED' BEAMS.  
SIDE LOADED BEAMS TO BE REVIEWED BY THE ENGINEER.

FOR MULTI-PLY WOOD BEAMS UP TO AND INCLUDING DEPTHS GREATER  
THAN 7 1/4" (184mm) AND LESS THAN OR EQUAL TO 14" (356mm)



14 MULTI-PLY WOOD BEAM NAILING PATTERNS  
SCALE: N.T.S.

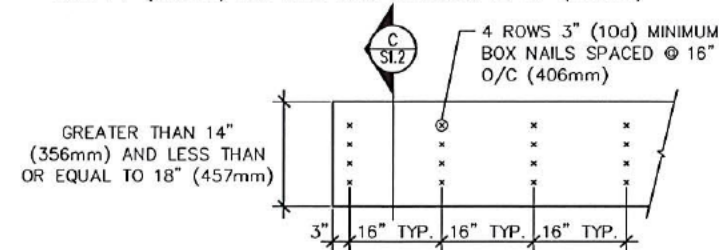


SECTION-TYPICAL NAILING PATTERN FOR MULTI-PLY TOP  
LOADED WOOD BEAMS GREATER THAN 7 1/4" (184mm)  
DEPTH AND LESS THAN OR EQUAL TO 14" (356mm)

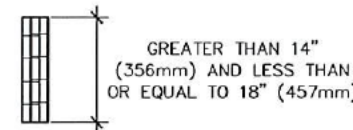
14B SCALE: N.T.S.

NOTE: NAILING PATTERN APPLIES ONLY TO FULLY 'TOP LOADED' BEAMS.  
SIDE LOADED BEAMS TO BE REVIEWED BY THE ENGINEER.

FOR MULTI-PLY WOOD BEAMS UP TO AND INCLUDING DEPTHS GREATER  
THAN 14" (356mm) AND LESS THAN OR EQUAL TO 18" (457mm)



15 MULTI-PLY WOOD BEAM NAILING PATTERNS  
SCALE: N.T.S.



SECTION-TYPICAL NAILING PATTERN FOR MULTI-PLY TOP  
LOADED WOOD BEAMS GREATER THAN 14" (356mm)  
DEPTH AND LESS THAN OR EQUAL TO 18" (457mm)

15C SCALE: N.T.S.

NOTE: NAILING PATTERN APPLIES ONLY TO FULLY 'TOP LOADED' BEAMS.  
SIDE LOADED BEAMS TO BE REVIEWED BY THE ENGINEER.

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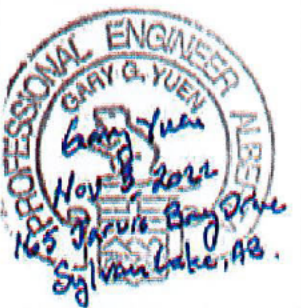
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

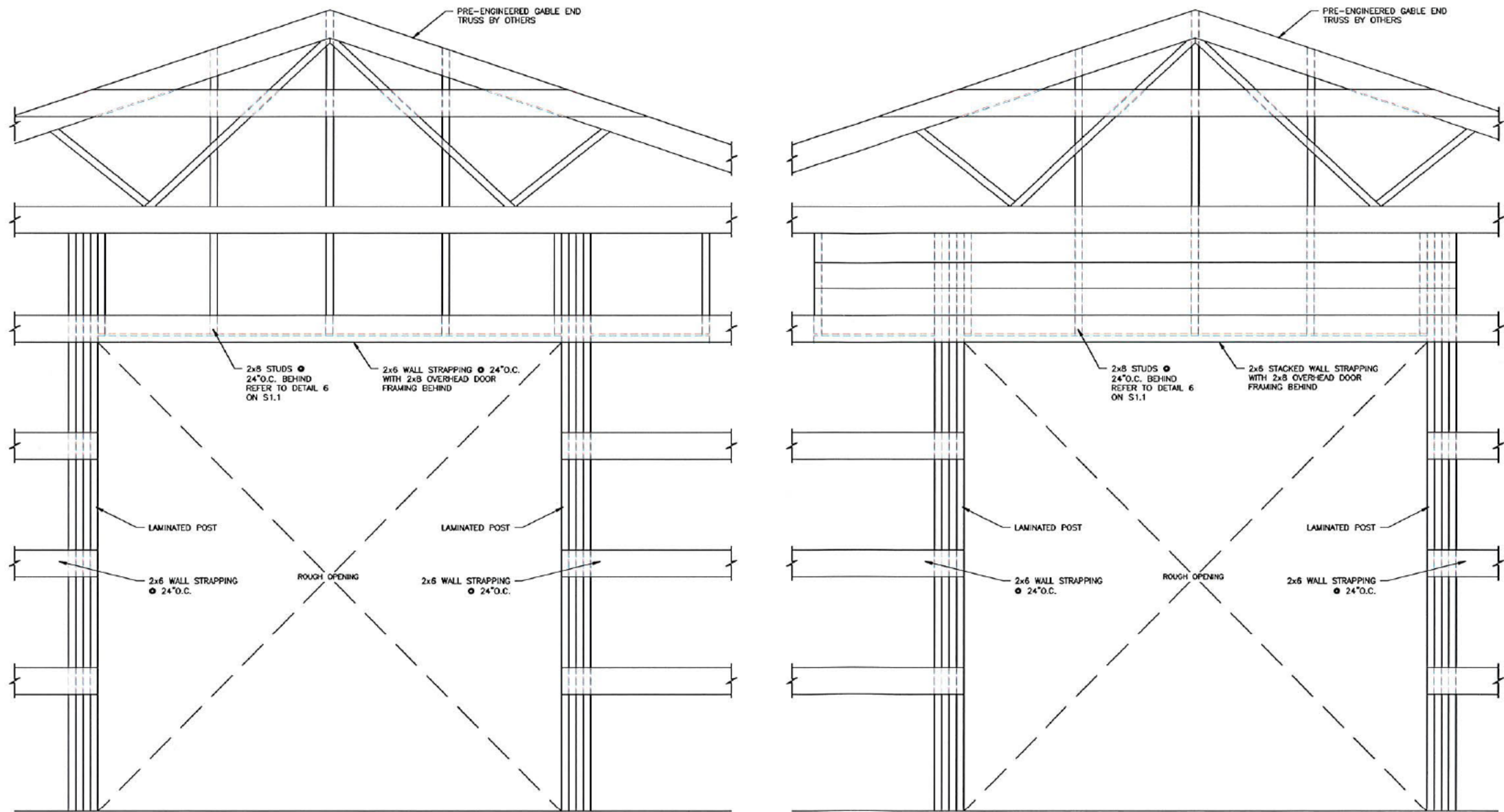
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

DWG. NO.

S1.3



NOTE: REFER ALSO TO DETAIL 6 ON S1.1

16 TYP. OVERHEAD DOOR FRAMING DETAIL AT GABLE END WALLS  
SCALE: N.T.S.



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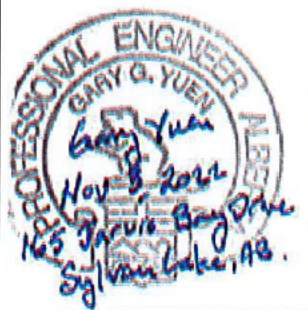
403-334-5956 CUTFORTHDS@OUTLOOK.COM

REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

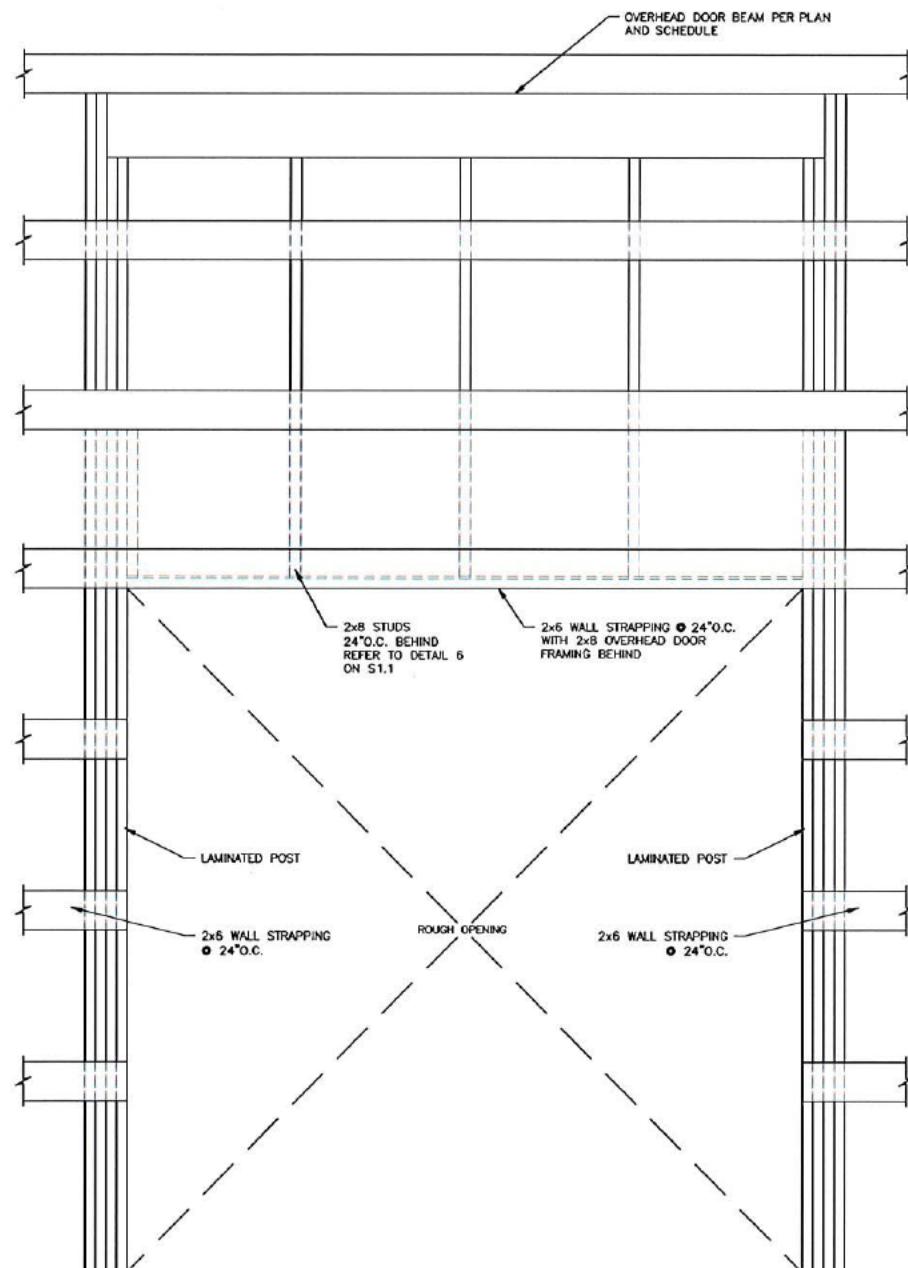
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

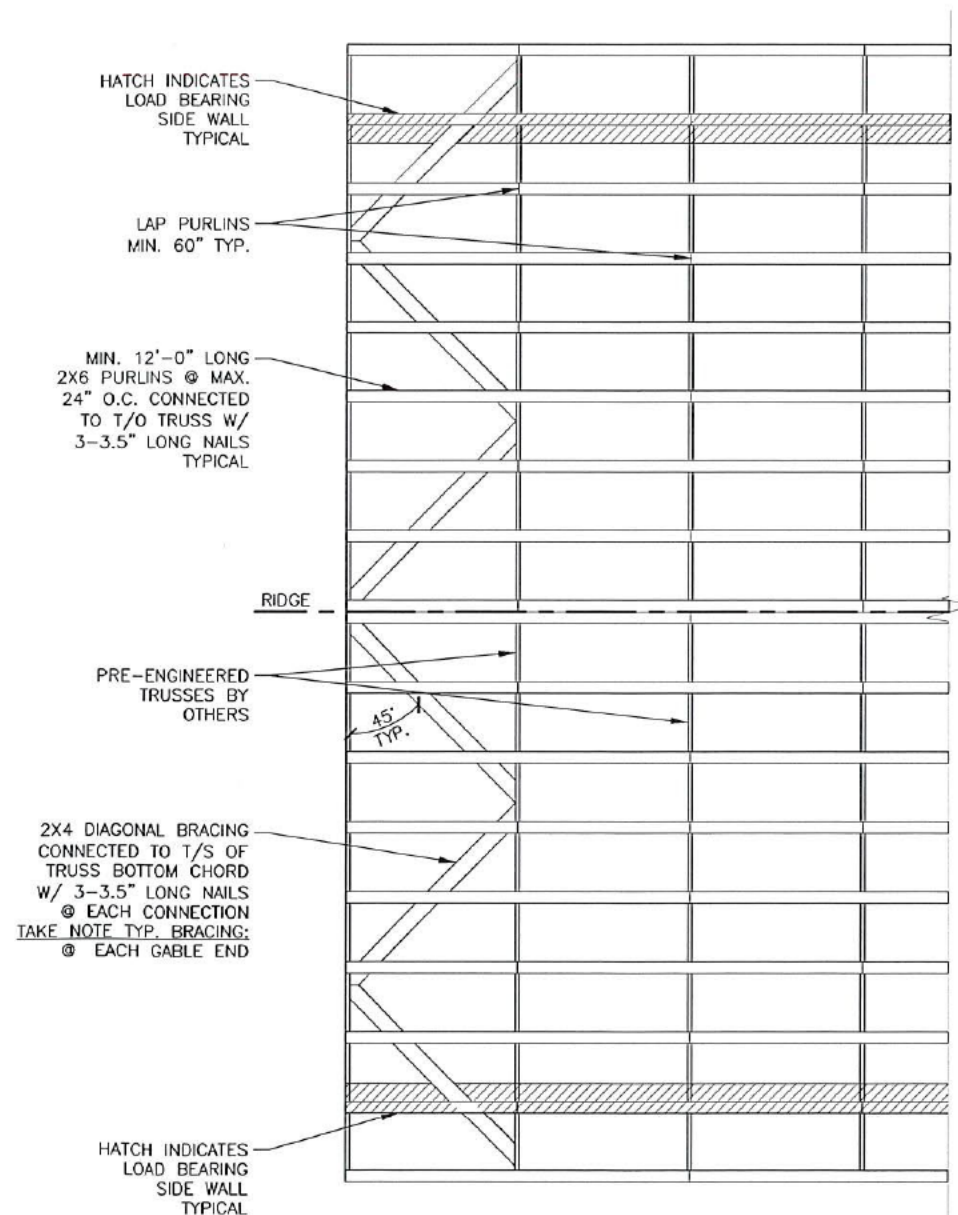
DWG. NO.

S1.4



NOTE: REFER ALSO TO DETAIL 6 ON S1.1

17 TYPICAL OVERHEAD DOOR FRAMING DETAIL @ LATERAL/SIDE WALLS  
SCALE: N.T.S.



18 TYPICAL BOTTOM CHORD ROOF BRACING DETAIL  
SCALE: N.T.S.



Shrub/Groundcover Concept

Groundcovers



Kinnikinnick (Bearberry)



Alpine Carpet Juniper



Low-Scape Aronia



Snowflake Phlox



Common Yarrow

Naturalization Shrubs



Red Osier Dogwood (Summer)



Beaked Hazelnut



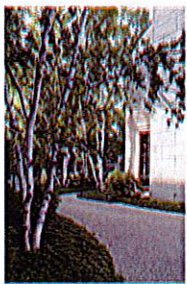
Red Osier Dogwood (Winter)



Saskatoon (Serviceberry)



Poplar/Birch

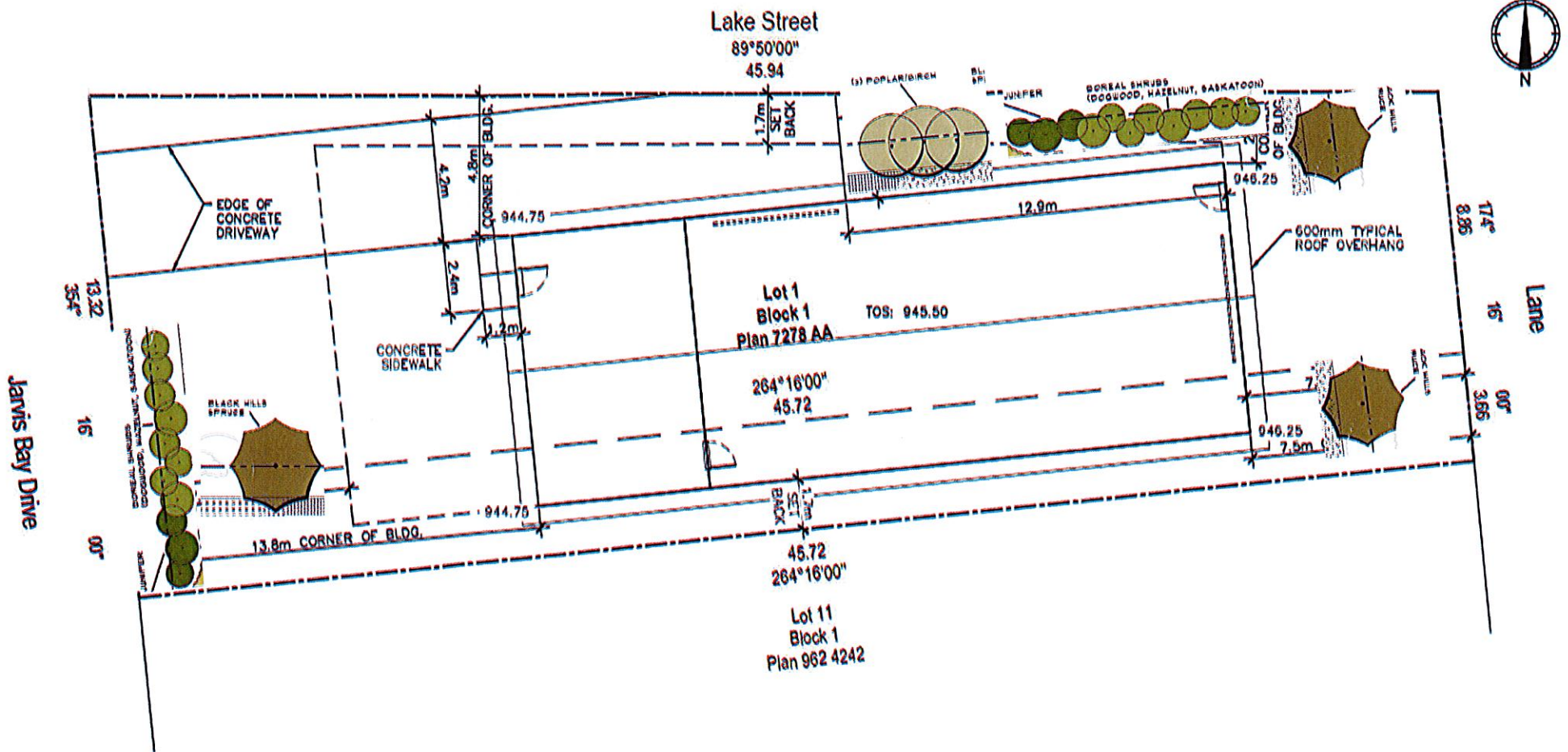


Mountain Ash (Multi-stem variety)



Black Hills Spruce

165 Jarvis Bay Drive



REVISIONS/NOTES

28 Trees/Shrubs

Landscaping to be consistent with 166 Jarvis Bay Drive

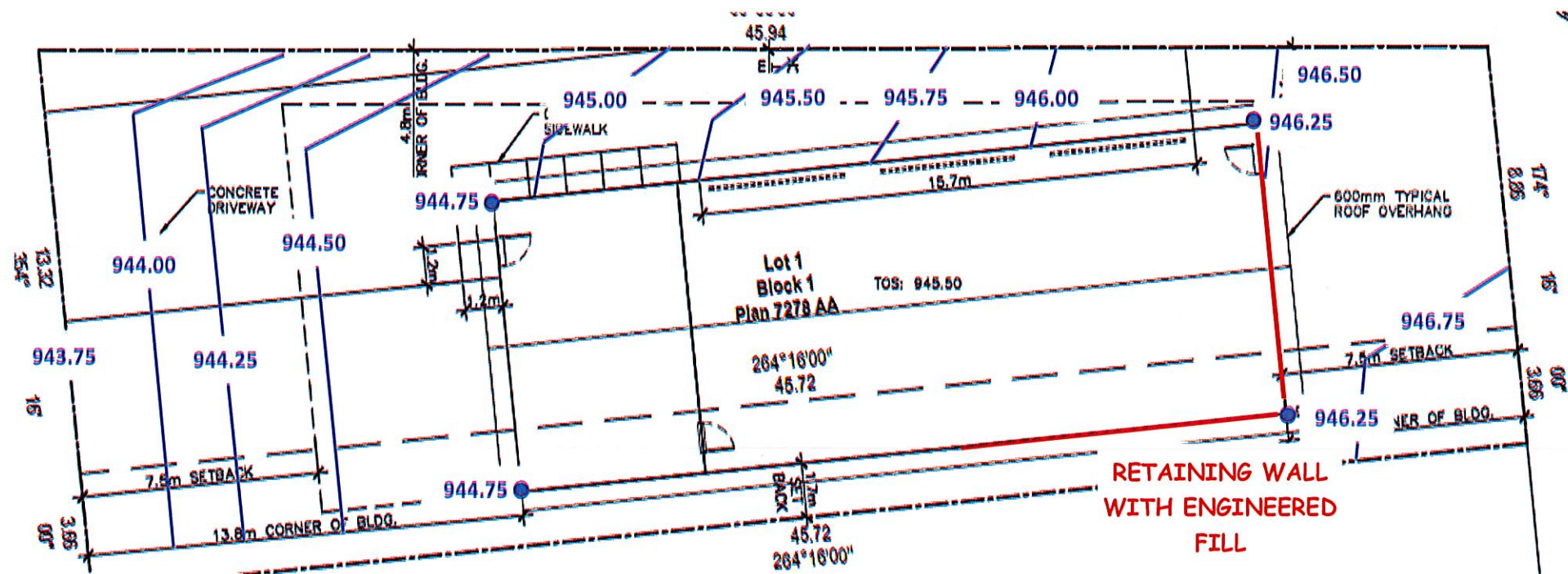
PROJECT

165 Jarvis Bay Drive

DRAWING

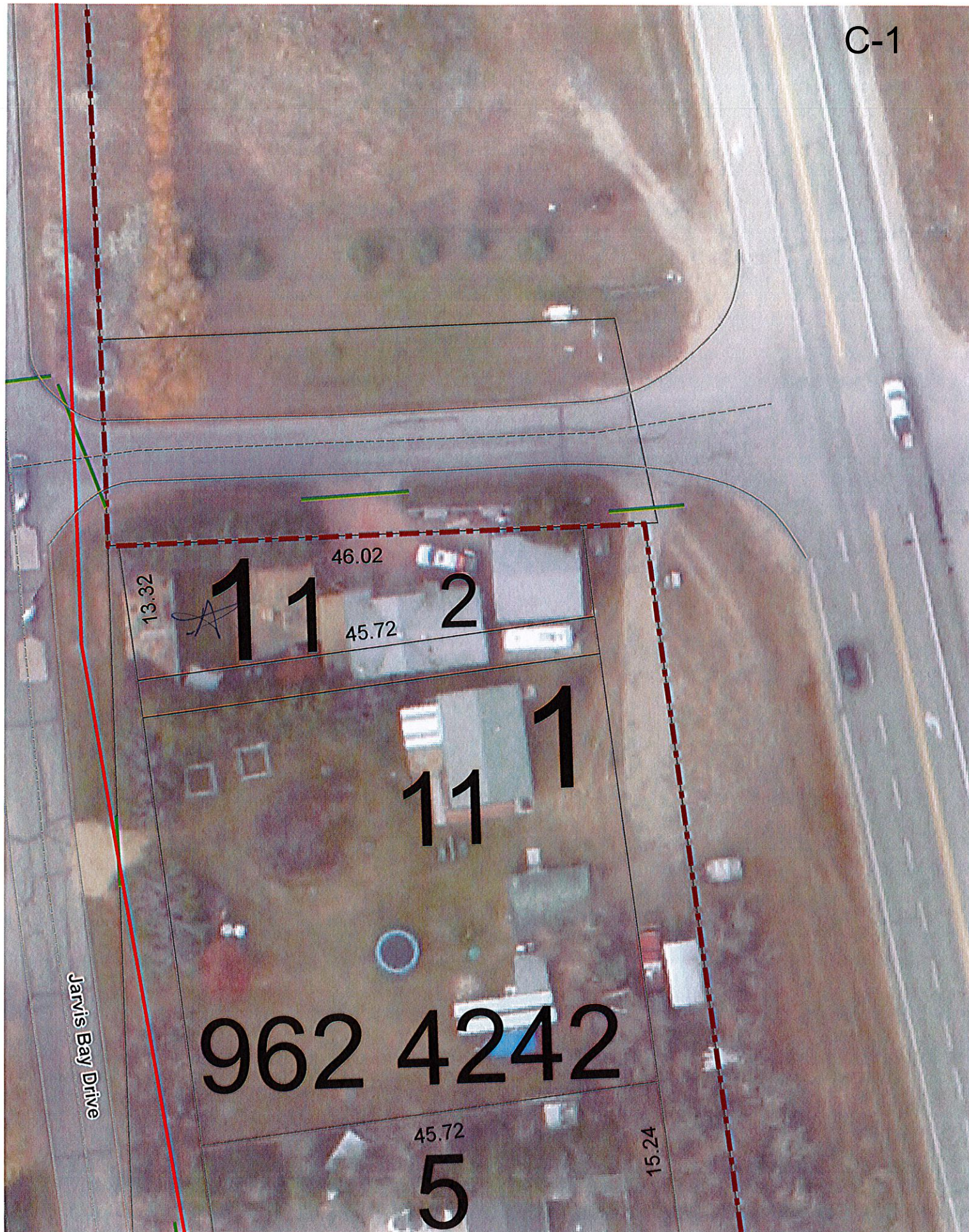
SHRUB/GROUNDCOVER  
CONCEPT #1



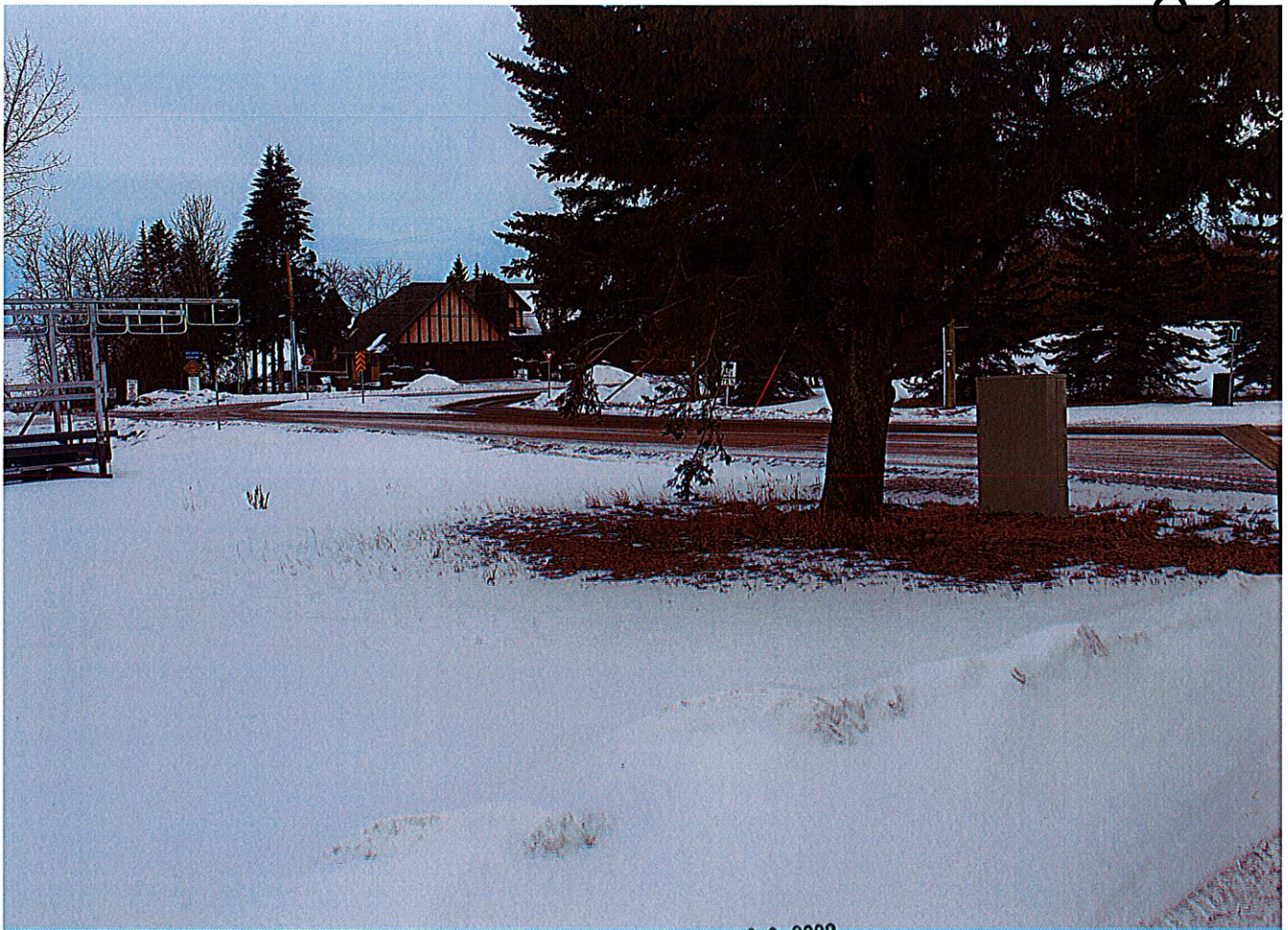


REVISIONS/NOTES	PROJECT	DRAWING
	165 Jarvis Bay Drive	Drainage Plan









FEB 09 2023





C-1

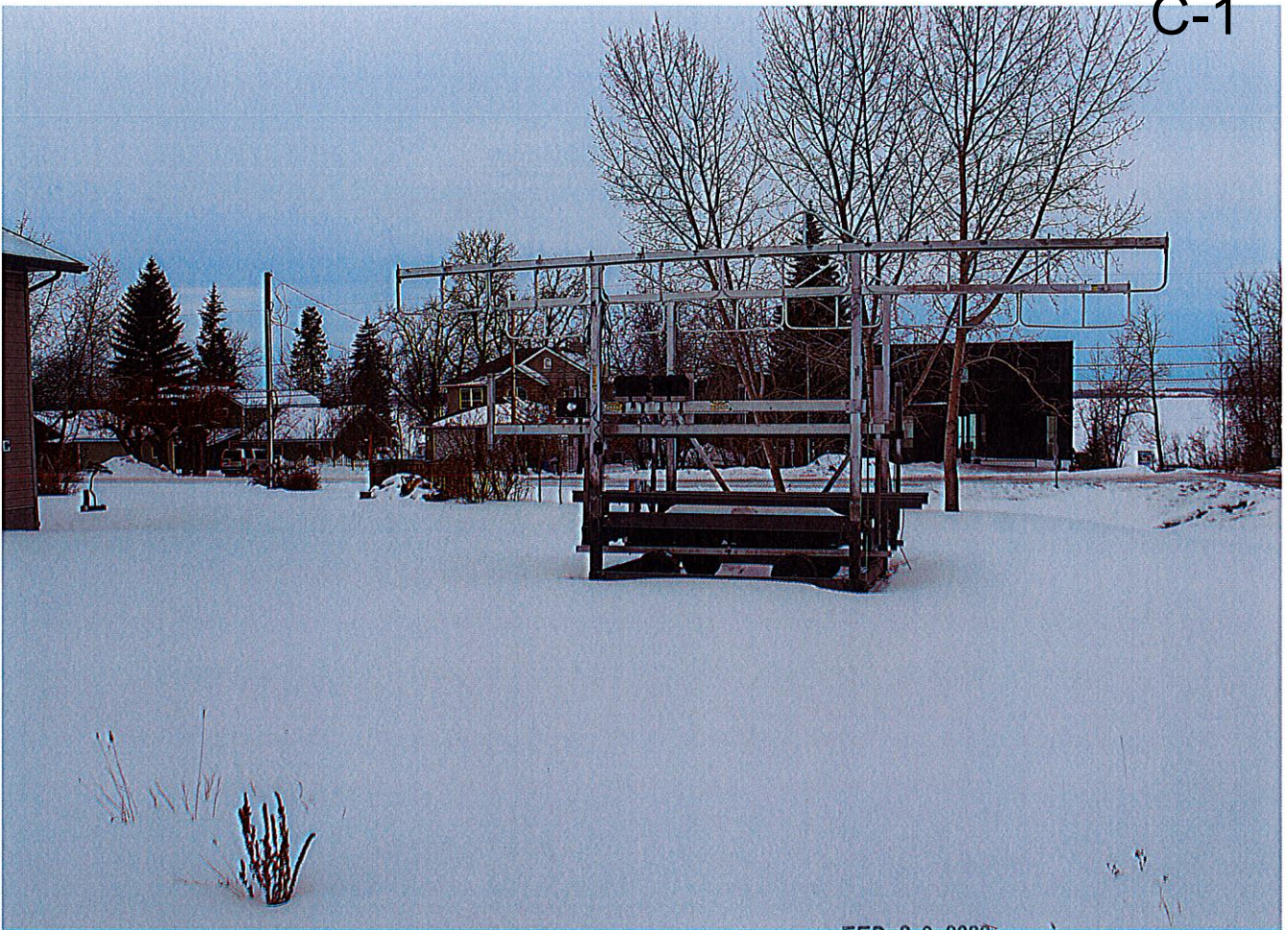


FEB 09 2023

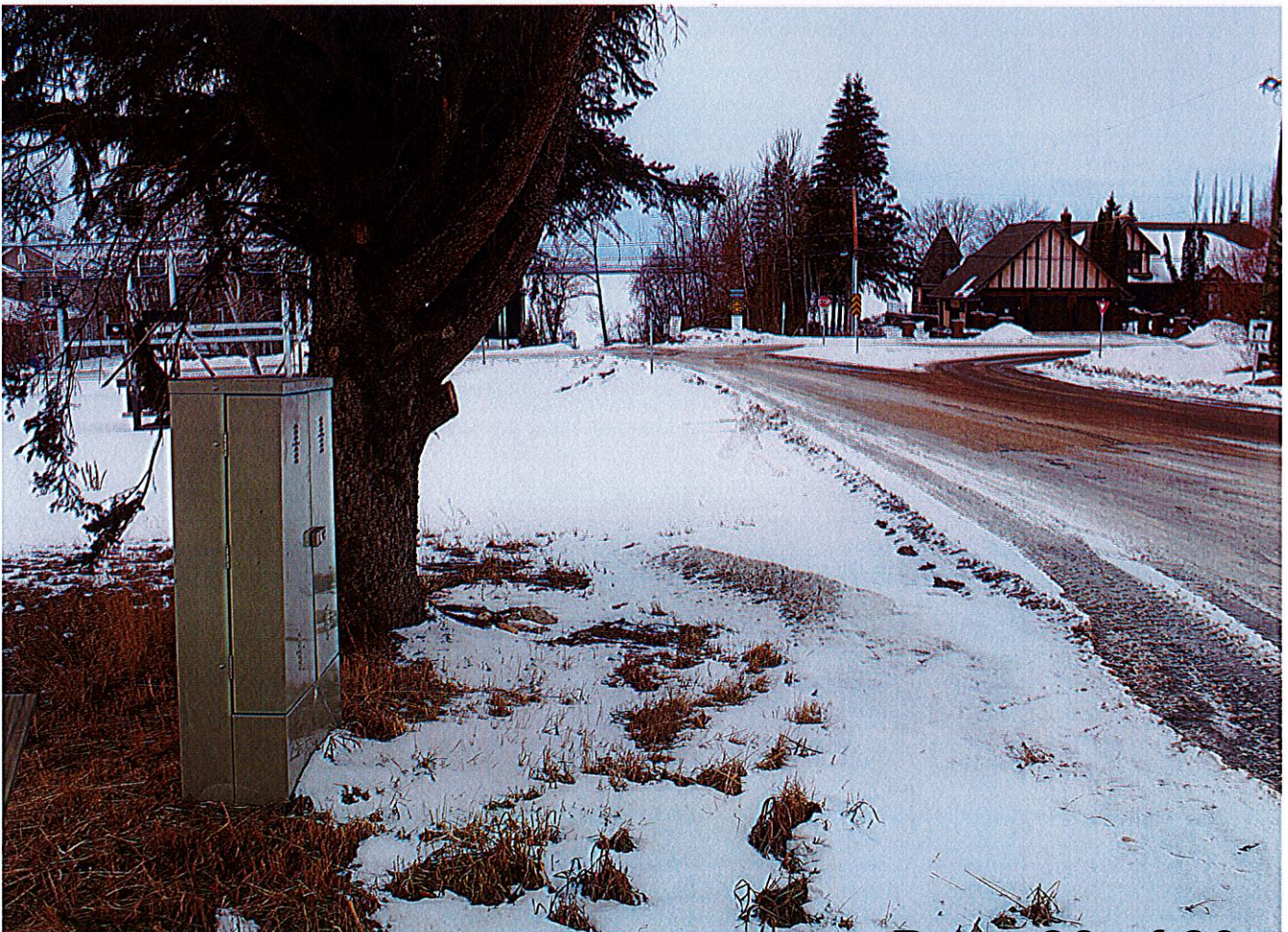




C-1



FEB 09 2023





C-1

FEB 09 2023

