

**MUNICIPAL PLANNING COMMISSION AGENDA
SUMMER VILLAGE OF JARVIS BAY
SUMMER VILLAGES ADMINISTRATION OFFICE
AUGUST 15, 2022 @ 9:00 A.M.**

A. CALL TO ORDER

B. ADOPTION OF AGENDA

C. DEVELOPMENT ITEMS

- 1) 39 Jarvis Bay Drive
- 2) 234 Jarvis Bay Drive

D. ADJOURNMENT

Summer Village of Jarvis Bay – Municipal Planning Commission**August 15, 2022****Agenda Item****39 Jarvis Bay Drive (Lot 20, Block 1, Plan 2350EO)****Development Permit Application****Background:**

An application was submitted by the registered owners for a garage with guest house located on the property of 39 Jarvis Bay Drive (Lot 20, Block 1, Plan 2350EO) in the Summer Village of Jarvis Bay. This property is located in the R District (Residential).

The proposed garage with guest house meets the yard setbacks and is within the maximum height. The proposed lot coverage would be 49.78% under the maximum 50%. The Land Use Bylaw states that accessory building's combined footprints shall be no larger than 8% of the parcels total area, with the proposed development the footprint would be at the maximum. The two existing sheds on the property would be removed and there will be no landscaping changes other than replacing any damaged grass with new grass due to the development, no trees will be removed. Access to the garage with a vehicle will be from beside the dwelling and the Municipal land behind the property will not be used.

Discussion:

This application is before MPC for the following reason:

- Guest House is listed a discretionary use, therefore the decision must come from the Municipal Planning Commission.

Recommendation:

After reviewing the application and all relevant planning documents, it is the recommendation of administration to approve the application. The proposed development is within the Land Use Bylaw requirements and does not require any variances, along with administration is recommending a condition listed below, that the rear yard gate access to Municipal Land is to be removed, replaced with a fence and vegetation is to be planted along the eastern side of the property line. This is to ensure that Municipal Land is not used for lot access. Adjacent landowners have been notified of the proposed development and no response has been provided to administration.

Conditions:

If approved, Administration would recommend the following conditions:

August 4, 2022

- An accessory building erected or placed on a parcel shall not be used as a dwelling unit.
- Electrical power from the property line to any buildings situated on this parcel to be constructed underground.
- The exterior of an accessory building must be finished to match or compliment the exterior finish of the main building.
- In situations where a detached dwelling is being rented out and there is a guest house on the parcel, the guest house shall not be rented out to a separate party than those renting the detached dwelling.
- Height of the accessory building shall not exceed 7.62m (25ft.).
- Guest house means an accessory building containing sleeping facilities for temporary usage only and may have a bathroom but shall not have a kitchen or other cooking facilities.
- Final as build real property report from an Alberta Land Surveyor at completion of landscaping that includes parcel coverage.
- All parcels shall be graded to ensure that storm water is directed to a drainage ditch without crossing adjacent land, except as permitted by the Development Authority. All maintenance and upkeep shall be the responsibility of the property owner.
- Completions Deposit of \$3,000.00.
- Landscaping to be done according to the landscaping plan.
- Municipal Land abutting the rear of the lot shall not be used as access to the lot.
- Rear yard gate access to Municipal Land to be removed, replaced with a fence and vegetation to be planted along the eastern side of the property line.
- The two existing sheds shall be removed.

Authorities:

For a discretionary use in any district:

- The Municipal Planning Commission may approve an application for a Development Permit:
 - With or without conditions;
 - Based on the merits of the proposed development, including it's relationship to any approved statutory plan, non-statutory plan, or approved policy, affecting the site;
 - Where the proposed development conforms in every respect to this Land Use Bylaw; or
- May refuse an application for a development permit based on the merits of the proposed development, even though it meets the requirements of the Land Use Bylaw; or
- Subject to provisions of section 2.4 (2), the Municipal Planning Commission shall refuse an application for a development permit if the proposed development does not conform in every respect to the Land Use Bylaw.

August 4, 2022

Decision:

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (Section 642 of the MGA), or
2. Deny the application stating reasons why (Section 642(4) of the MGA).

June 24th, 2022

Attention: Kara Kashuba – Development Officer, Summer Villages

Re: 39 Jarvis Bay Drive, Lot 20 – Letter of Intent

[REDACTED] and I, the owners of the property at 39 Jarvis Bay Drive, are proposing to build a Garage/accessory building in the back of our lot. This structure will include a functional space above the main floor level which is to be used as a bunk house/extra sleeping quarters.

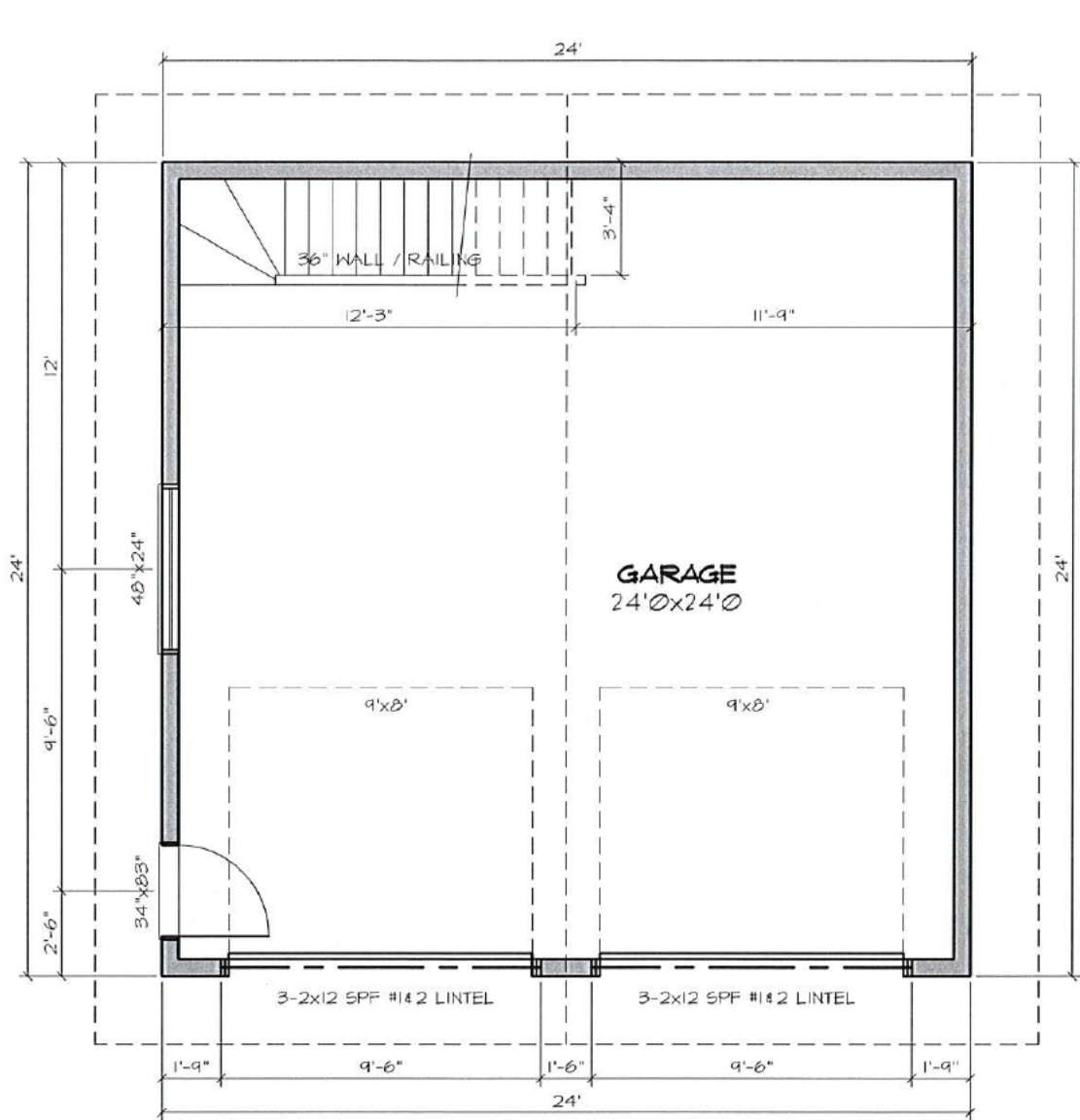
We would like to get approval with the development application regarding the excess height for the garage. The proposed height is below the by-law requirements pertaining to a bunk house/Guest house, yet higher than just a regular garage. The design of this structure is to match the looks of the house that was built in 2019. By matching both the house and garage, this will enhance the property and give it a unified look.

Here is some additional information pertaining to the lot and proposed garage:

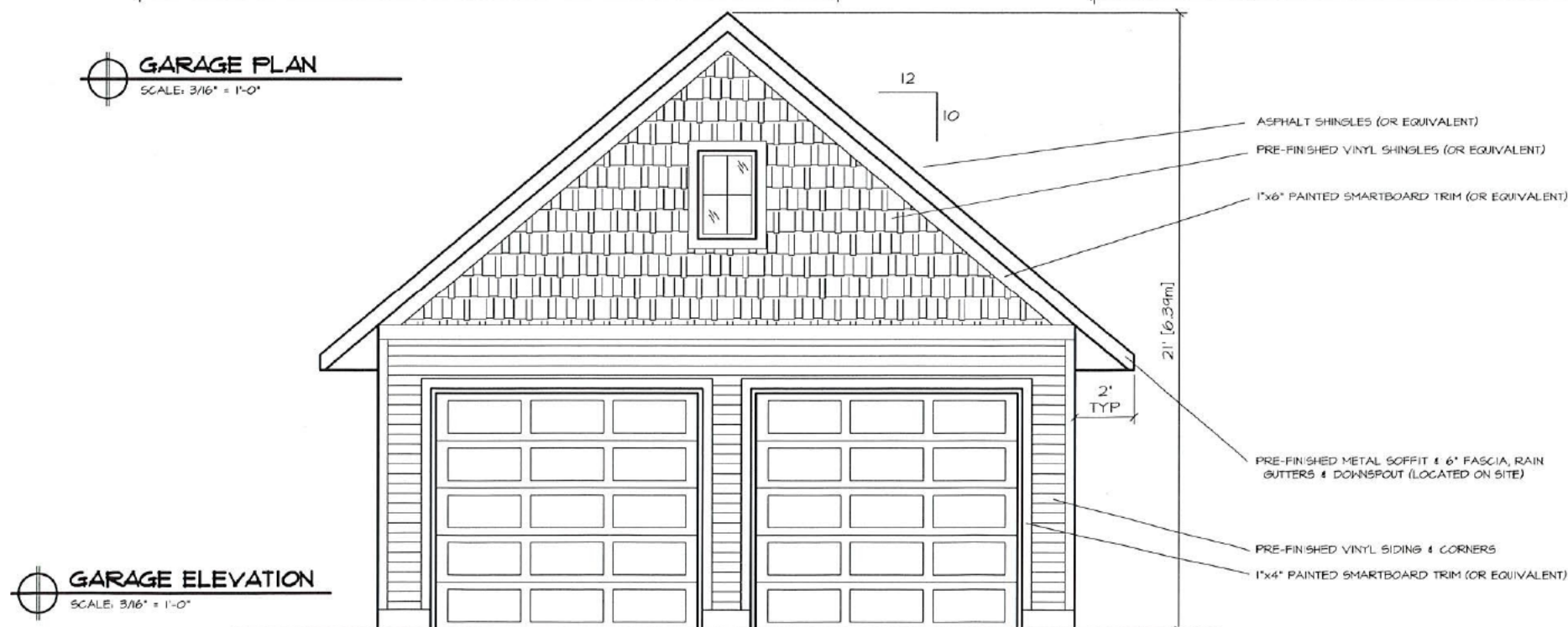
- Since there is a retaining wall down both sides and partially in the back. Drainage will be maintained as is, which has no impact on the neighboring yards due to the retaining walls.
- As is noted with the residence currently. There was a huge amount of landscaping done when the house was completed. We take great pride in having a very well-maintained yard. So, any area that is damaged due to the construction of the garage, will be relandscaped and fixed. This will only pertain to turf/grass in the yard, as that is all that will be removed or damaged.
- The design of the garage has been done to match the house. So, the height of the garage was made to match the roof pitch of the house. The outside of the garage will also be completed to match the outside of the house. The result will be a very attractive design.
- The second floor will be built so that it can be used as an extra sleeping area if needed.

Any questions please feel free to contact us.

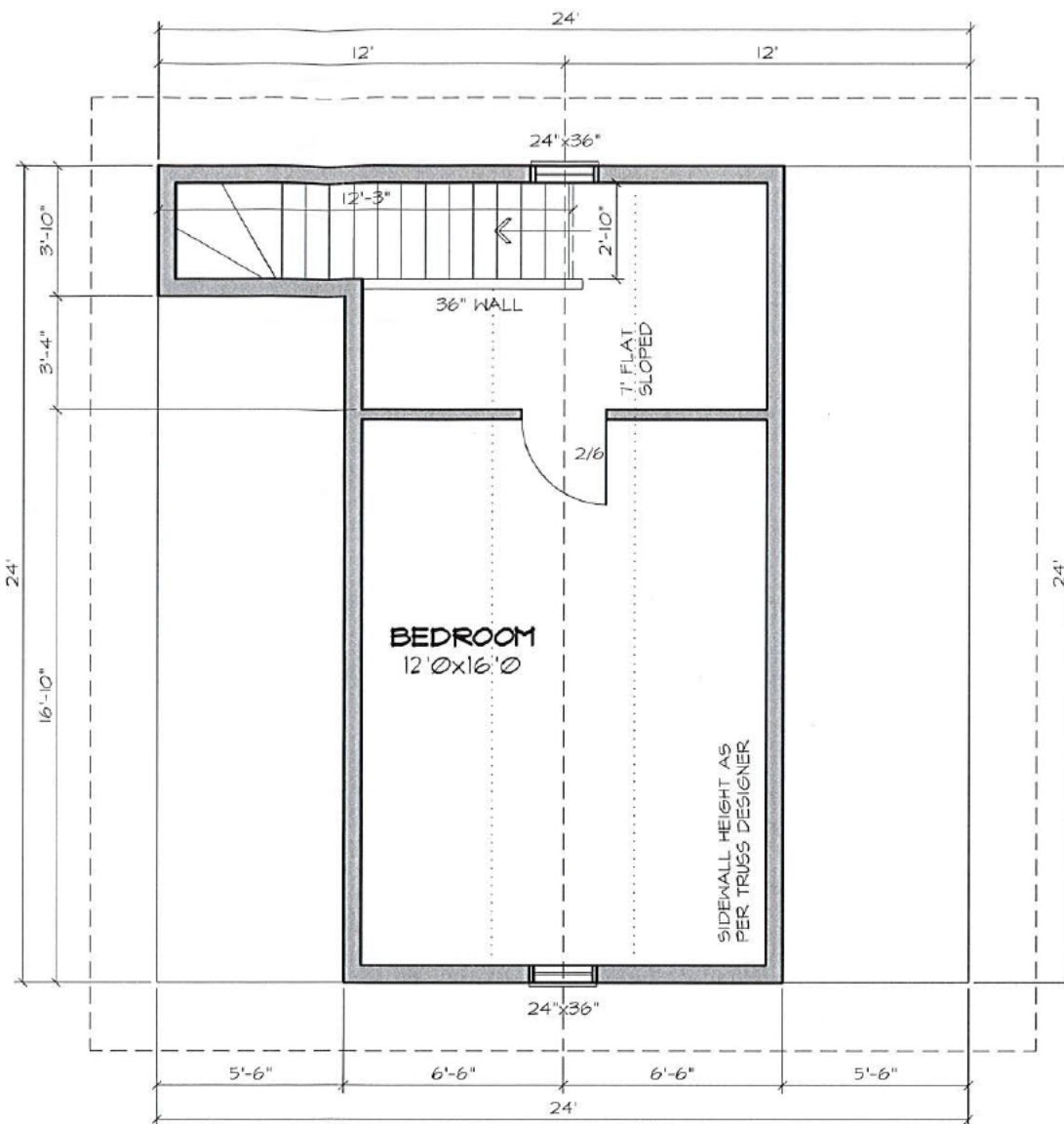
[REDACTED]



GARAGE PLAN
SCALE: 3/16" = 1'-0"



GARAGE ELEVATION
SCALE: 3/16" = 1'-0"



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ELEVATION NOTES:

COLOR, TEXTURE, PATTERN & MANUFACTURER OF EXTERIOR FINISH TO BE
AS PER ARCHITECTURAL CONTROLS & OWNER'S SPECIFICATIONS.
PRE-FINISHED METAL FLASHING TO BE INSTALLED ABOVE ALL EXPOSED
HORIZONTAL TRIM, WINDOWS & DOORS.

CONSTRUCTION NOTES:

THE OWNER, CONTRACTOR & SUB-TRADES ARE RESPONSIBLE FOR THE FOLLOWING:
REVIEW ENTIRE SET OF DRAWINGS PRIOR TO COMMENCING CONSTRUCTION AND REPORT ANY ERRORS, OMISSIONS OR GENERAL DISCREPANCIES TO DPdesign inc., OWNER AND CONTRACTOR PRIOR TO CONSTRUCTION. PROFESSIONAL LIABILITY OF DPdesign inc. IS LIMITED TO THE REVISIONS OF DRAWINGS & REPRODUCTION OF SAME REQUIRED DUE TO SUCH FOUND ERRORS, OMISSIONS OR DISCREPANCIES.
DO NOT SCALE DRAWINGS - USE GIVEN DIMENSIONS OR CONTACT DESIGNER FOR CLARIFICATION. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS NOTED OTHERWISE. DIMENSIONS SHOWN ARE TYPICALLY TO OUTSIDE FACE OF EXTERIOR FRAMING OR CONCRETE, FACE OF STUDS, AND CENTRE OF WINDOWS AND BEAMS UNLESS NOTED OTHERWISE. WALLS STUDS ARE 2x6 (EXTERIOR) AND 2x4 (INTERIOR) UNLESS NOTED OTHERWISE. ALL ROOM SIZES ARE APPROXIMATE.
THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH ENGINEER FLOOR & ROOF TRUSS DRAWINGS BY OTHERS, AND DOOR/WINDOW MANUFACTURER'S DRAWINGS.
THE MATERIALS SPECIFIED AND STANDARD CONSTRUCTION PROCEDURES ON THIS DRAWING SET ARE AS RECOMMENDED BY DPdesign inc. - THE ACTUAL MATERIALS/STANDARDS USED ON THE STRUCTURE SHALL BE AS PER THE CONTRACT BETWEEN THE OWNER & CONTRACTOR.
ENSURE BUILDING LOCATION CONFORMS TO APPLICABLE BUILDING CODES, ALL LOCAL SETBACKS, BUILDING RESTRICTIONS, ARCHITECTURAL GUIDELINES AND APPLICABLE LAND-USE BY-LAWS.
LOCATE ALL UTILITIES BEFORE COMMENCING CONSTRUCTION; CONFIRM ALLOWABLE CLEARANCES BETWEEN UTILITY LINES & NEW CONSTRUCTION WITH EACH UTILITY PROVIDER.
ENSURE CONSTRUCTION METHODS & MATERIALS CONFORM TO ALL APPLICABLE BUILDING CODES, ORDINANCES & ARCHITECTURAL CONTROLS. BUILDING ENVELOPE / AIR BARRIER SYSTEM AS PER A.B.C. 4.36.2.
LOCATIONS OF ALL ELECTRICAL, HVAC EQUIPMENT TO BE CO-ORDINATED WITH OWNER, CONTRACTOR & AFFECTED SUB-TRADES. ALL SYSTEMS TO BE DESIGNED BY OTHERS. FINAL MECHANICAL ROOM LAYOUT TO BE CO-ORDINATED WITH ALL TRADES INVOLVED & AS PER APPLICABLE CODES & EQUIPMENT SUPPLIER'S SPECIFICATIONS. SMOKE ALARMS TO BE INTERCONNECTED & LOCATED AS PER A.B.C. 4.10.4.3. CARBON MONOXIDE DETECTORS TO BE INTERCONNECTED & LOCATED AS PER A.B.C. 4.32.3.9.
ALL PENETRATIONS IN ROOF, WALLS & HVAC SHAFTS ARE TO BE SEALED WITH U.L. APPROVED MATERIALS & BUILDING CODE APPROVED METHODS.
ENSURE BEDROOM WINDOWS MEET MINIMUM EGRESS REQUIREMENTS. CONFIRM WINDOW GRILLE SPECIFICATIONS WITH OWNER AND/OR CONTRACTOR & REFER TO WINDOW MANUFACTURER / SUPPLIER'S SPECIFICATIONS FOR FINAL WINDOW/DOOR ROUGH OPENING SIZES. CONFIRM SHAPE/STYLE OF WINDOWS WITH THESE DRAWINGS.
ADJUST GRADING TO ENSURE ADEQUATE SITE DRAINAGE & MEETS APPLICABLE BY-LAW AND/OR SUBDIVISION REQUIREMENTS.
FINAL FOUNDATION DEPTH TO BE SITE-CONFIRMED BY SOILS ENGINEER & GENERAL CONTRACTOR, WATER-TABLE-HEIGHT & DEPTH OF UNDERGROUND UTILITIES FOUND, AND TO MEET CITY REQUIREMENTS.
ALL WOOD ITEMS IN CONTACT WITH CONCRETE OR SOIL ARE TO BE PWF GRADE.
SERVICES OF A SOILS ENGINEER SHOULD BE ACQUIRED TO CONFIRM SOIL STABILITY & FOUNDATION TYPE, DIMENSIONS & REINFORCEMENT. DO NOT PLACE FOOTINGS ON FROZEN OR INAPPROPRIATE SOILS.
PRE-FINISHED METAL FLASHING TO BE INSTALLED ABOVE ALL EXPOSED HORIZONTAL TRIM, WINDOWS & DOORS.
ENSURE WALLS & CEILING BETWEEN GARAGE & HOUSE ARE CONSTRUCTED & SEALED AS TO NOT ALLOW VEHICLE EXHAUST TO ENTER HOUSE. DOOR FROM GARAGE TO HOUSE C/H HEATHER-STRIPPING & SELF-CLOSING DEVICE.

THIS PROJECT IS DESIGNED EXCLUSIVELY FOR			
Residence			
LOT	BLOCK	PLAN	THIS PLAN IS FOR SINGLE USE ONLY AT THE ADDRESS LISTED
20		2350 EO	
ADDRESS			
39 Jarvis Bay Drive, Sylvan Lake, AB			

PROJECT			
DETACHED GARAGE - rev3			
GARAGE PLAN			
SCALE	DRAWN BY	PAGE	FILE
3/16" = 1'-0"	DWP	G1 / 2	1716
6/24/2022 3:44 PM			

CONSTRUCTION SPECIFICATIONS:

ROOF

- 1) ROOF CONSTRUCTION - INSULATED
ASPHALT SHINGLES (OR EQUIVALENT) & FELT
ROOFING UNDERLAY
PEEL & STICK MOISTURE/ICE BARRIER @ VALLEYS
& EAVES
1/16" OSB SHEATHING w/ H-CLIPS
ENGINEERED 10:12 ATTIC TRUSSES (AS PER TRUSS
SYSTEM DESIGNER / SUPPLIER)
MINIMUM R50 BATT INSULATION
6mm POLY VAPOUR BARRIER
1/2" CEILING-DENSITY GYPSUM BOARD or 3/8" OSB
SHEATHING
PROVIDE INSULATION STOP IN EACH TRUSS SPACE
c/w 1" AIR SPACE
PROVIDE ROOF VENTS TO PROVIDE 1 sq.ft
VENTING PER 300 sq.ft INSULATED CEILING AREA
(AS PER A.B.C. 9.1.9.1)
- 2) EAVE & FASCIA
REFER TO ELEVATIONS FOR OVERHANG SIZE
2x6 (OR AS SPECIFIED) PWF HEADER c/w
PRE-FINISHED METAL FASCIA, VENTED SOFFIT,
EAVESTROUGH, DOWNSPOUTS & FLASHING AT
EDGE OF ROOF SHEATHING
NON-VENTED SOFFIT ON SIDE OF BUILDING WHEN
WITHIN 4' OF PROPERTY LINE, AS PER A.B.C.
9.10.15.5)

WALLS

- 1) EXTERIOR WALL
PRE-FINISHED VINYL SIDING (OR AS PER
ELEVATION) AS PER A.B.C. 9.27
AIR BARRIER / BUILDING WRAP
3/8" OSB SHEATHING
2x6 SPF #1&2 STUDS @ 16" o/c
R22 BATT INSULATION
6mm POLY VAPOUR BARRIER
1/2" GYPSUM BOARD, TAPED & SANDED w/
TEXTURED FINISH (OR EQUIVALENT)
INCREASE TO 1/2" TYPE 'X' GYPSUM BOARD INSIDE
OF WALL ASSEMBLY, PLUS 1/2" GYPSUM BOARD
BENEATH VINYL SIDING TO ACHIEVE 45 min. F/R
WHERE REQUIRED FOR FIRE RATING, AS PER
A.B.C. 9.10.15.5)
- 2) GARAGE / HOUSE COMMON-WALL
1/2" GYPSUM BOARD, TAPED & SANDED w/ PAINT
FINISH
2x4 SPF #1&2 STUDS @ 16" o/c
R12 BATT INSULATION
6mm POLY VAPOUR BARRIER
1/2" GYPSUM BOARD, TAPED & SANDED w/ PAINT
FINISH
CONSTRUCT AS TO PREVENT VEHICLE FUMES FROM
ENTERING HOUSE

FLOORS

- 1) FLOOR CONSTRUCTION
3/4" T&G OSB DECKING, GLUED & SCREWED
10:12 ATTIC TRUSS (AS PER TRUSS SYSTEM
DESIGNER / SUPPLIER)
1/2" CEILING-DENSITY GYPSUM BOARD or 3/8" OSB
SHEATHING
- 2) GARAGE SLAB
4" CONCRETE SLAB (32 MPa - TYPE 10 OR
BETTER) r/w 10M BARS @ 24" o/c TIED
TOGETHER - THICKEN SLAB AROUND PERIMETER
DOWEL 24" 10M BARS @ 24" o/c INTO FOUNDATION
WALL TO SUPPORT SLAB, SIDEWALK AND
DRIVEWAY (SUPPORT BRACKETS BOLTED TO
FOUNDATION AS REQUIRED)
6mm POLY VAPOUR BARRIER (AS PER A.B.C.
9.25.3)
12" COMPACTED GRANULAR FILL (SUB-BASE TO BE
UNDISTURBED SOIL OR COMPACTED FILL)
SLOPE FLOOR TO FRONT (OR TO DRAIN IF
APPLICABLE)

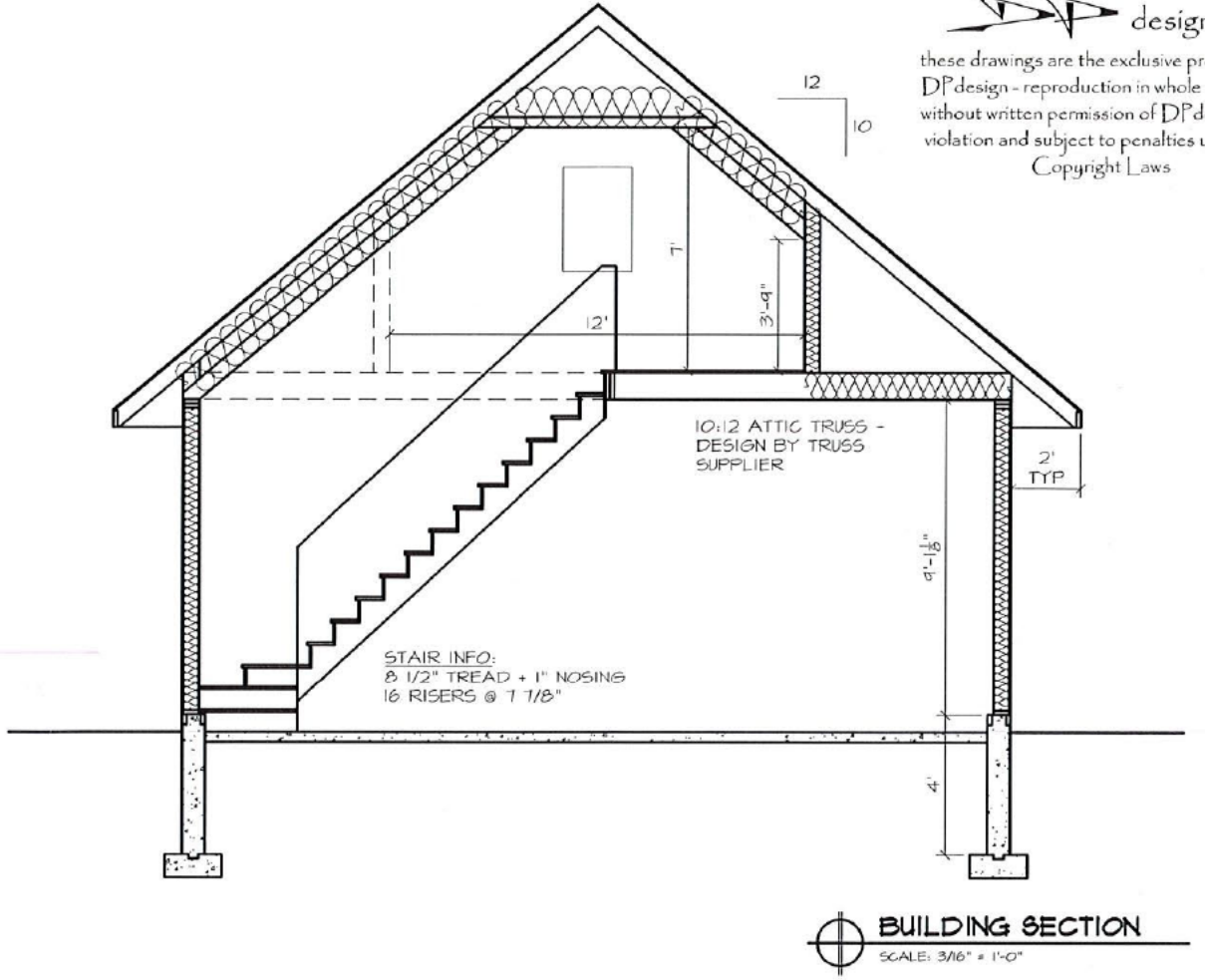
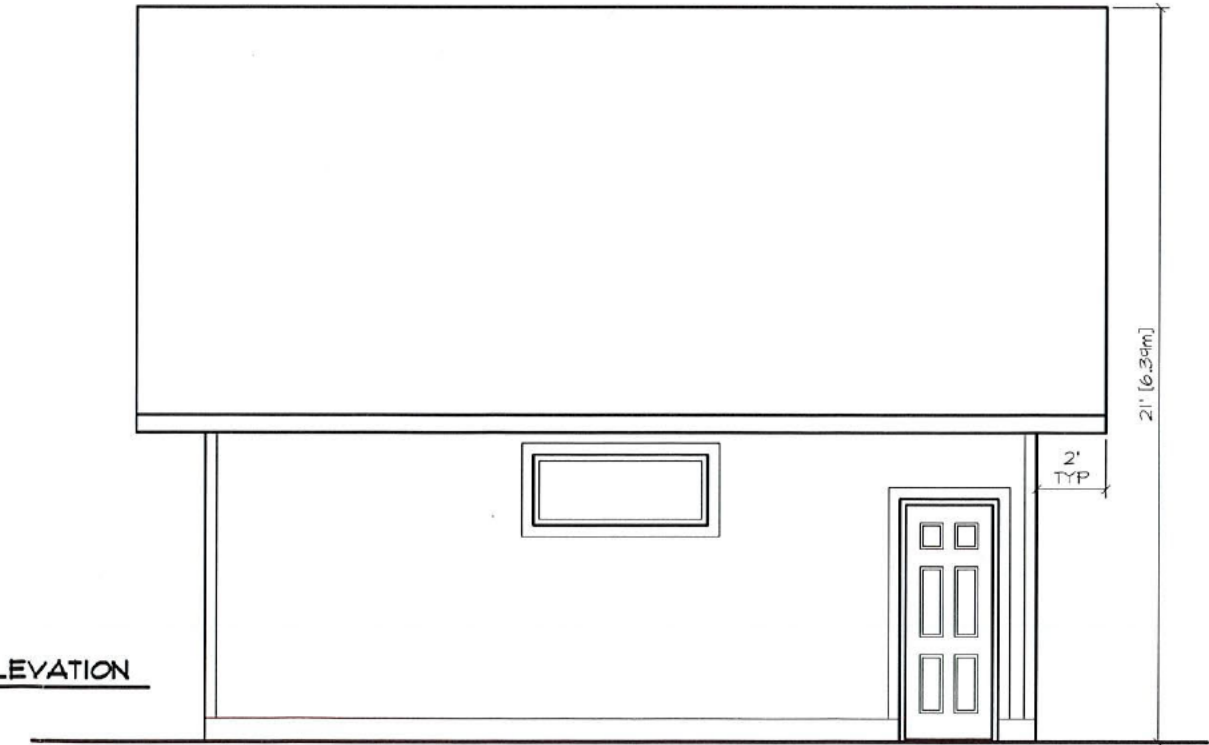
FOUNDATION

- 1) GARAGE FOUNDATION
PARGING ON EXPOSED CONCRETE
8"x48" (MINIMUM) CAST-IN-PLACE CONCRETE WALL
c/w 2x4 P.W.F. LADDER, r/w 2-10M BARS T&B
(CONTINUOUS)
WALL HEIGHT AS REQUIRED TO MAINTAIN FOOTING
FROST PROTECTION (MINIMUM 48")
GARAGE DOOR BUCK HEIGHTS AS PER SITE
CONDITIONS
- 2) STRIP FOOTING
20"x8" CAST-IN-PLACE CONCRETE r/w 3-10M
BARS T&B (CONTINUOUS) BEARING ON
UNDISTURBED SOIL OR COMPACTED GRANULAR
FILL
TIE TO FOUNDATION WALL w/ 24" VERTICAL 15M
J-HOOK DOWELS @ 24" o/c
KEEP ALL BARS 3" FROM BOTTOM OF FOOTING
4" KEEPING TILE (AS REQUIRED) TIED TO
MUNICIPAL WASTE WATER SYSTEM; COVER w/
FILTER CLOTH AND MIN. 8" WASHED ROCK

MISCELLANEOUS

- 1) BEAMS & LINTELS
2-2x10 SPF #1&2 FOR OPENINGS LESS THAN 72"
3-2x10 SPF #1&2 FOR OPENINGS 73"-84"
ENGINEERED LINTEL AS PER TRUSS SYSTEM
DESIGNER/SUPPLIER FOR OPENINGS GREATER
THAN 84", WHERE POINT LOADS BEAR ON A
LINTEL AND OVER OPENINGS IN CONCRETE
FOUNDATION WALL
FILL VOIDS WITH RIGID INSULATION ON ALL
EXTERIOR WALLS
ALL WINDOW OPENINGS IN ROOMS w/ 9'1" CEILING
HEIGHT TO BE INSTALLED AT MAX. HEIGHT
(UNLESS OTHERWISE NOTED)
ALL BEAMS GLUED & NAIL LAMINATED AS
SPECIFIED BY ALBERTA BUILDING CODE
BEAM POCKET SIZES AS PER FLOOR SYSTEM
SUPPLIER'S DRAWINGS
ALLOW FOR 2" RIGID INSULATION BEHIND ALL
BEAMS/BUILT-UP POSTS ON EXTERIOR WALLS &
BEAM POCKETS IN FOUNDATION

 **GARAGE ELEVATION**
SCALE: 3/16" = 1'-0"

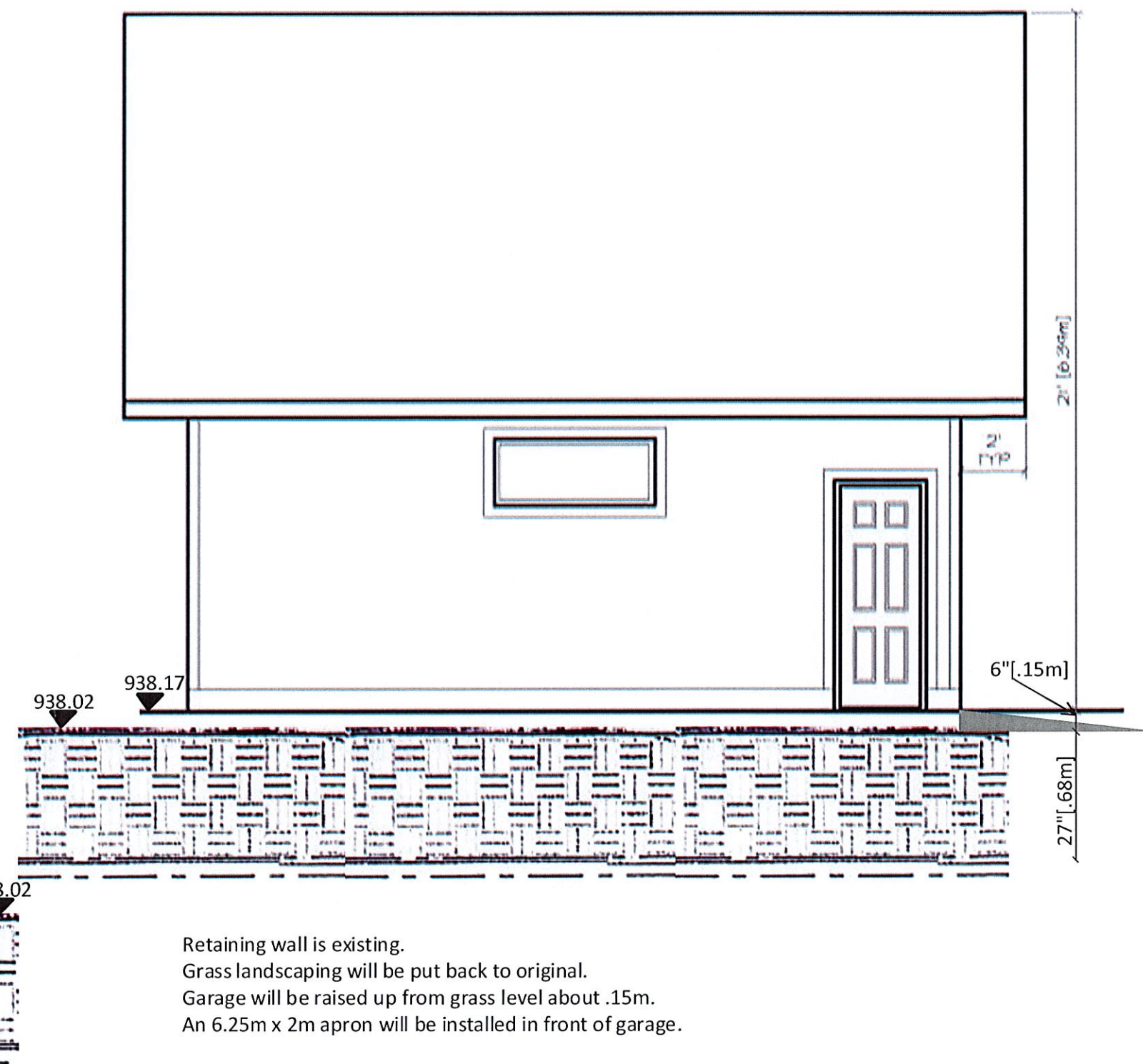
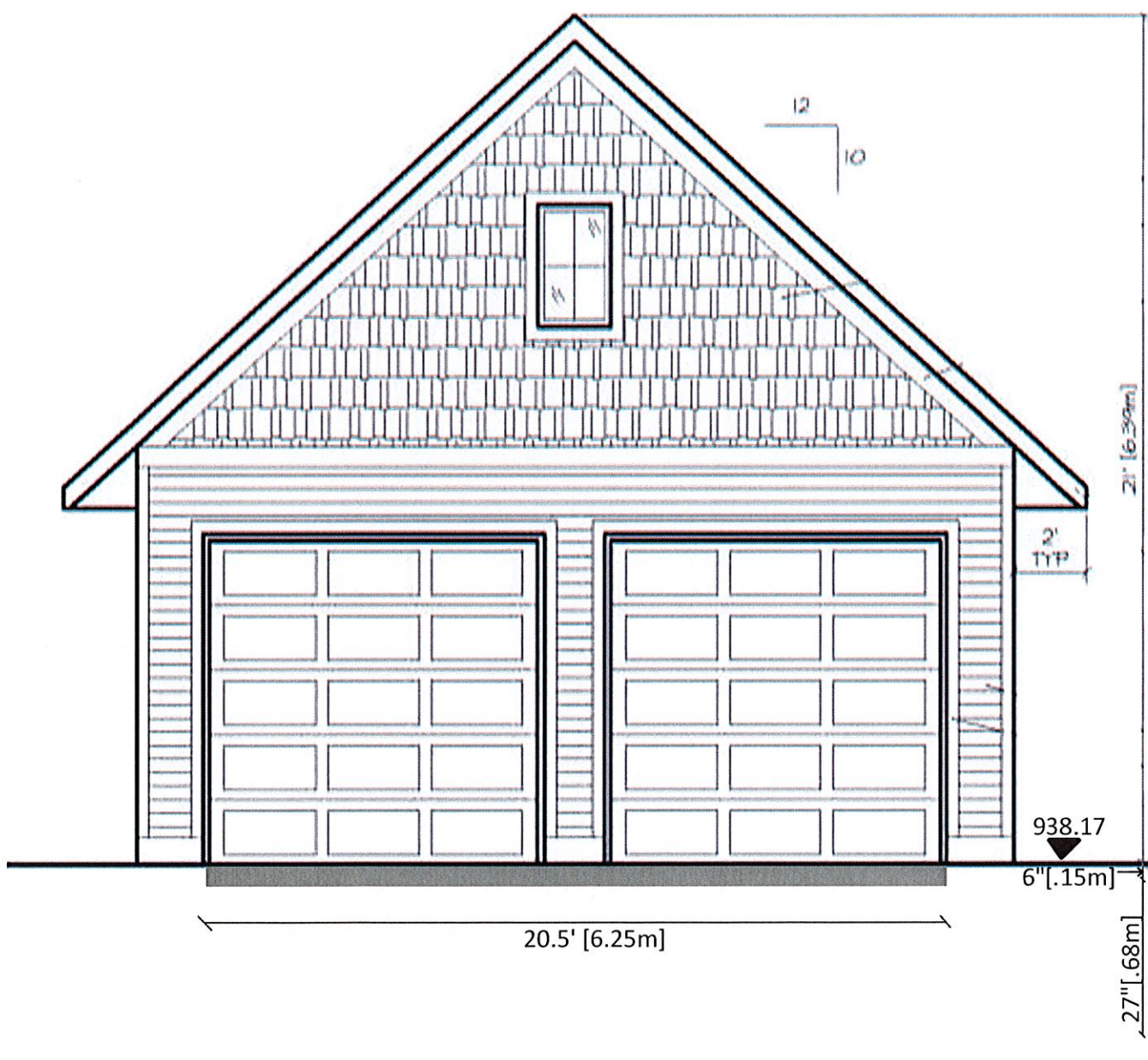


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THIS PROJECT IS DESIGNED EXCLUSIVELY FOR
Residence
AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM DPdesign inc. c.2021
LOT 20 BLOCK PLAN 2350 EO
ADDRESS 39 Jarvis Bay Drive, Sylvan Lake, AB

PROJECT
DETACHED GARAGE - rev3
GARAGE PLAN
SCALE 3/16" = 1'-0"
FILE 1716
PAGE G2 / 2
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Retaining wall is existing.
Grass landscaping will be put back to original.
Garage will be raised up from grass level about .15m.
An 6.25m x 2m apron will be installed in front of garage.

PLAN UPDATE INFORMATION

Date(s) of original survey: December 13th, 2018, March 22nd, 2019 & August 6th, 2019
 Date(s) of survey update: August 27th, 2020
 Addition(s): Patio, Gravel Driveway, Brick Retaining Walls & Encroachment Information
 Removed: N/A
 Revised: ALS Information, Title Information & Movable Shed Locations

LOT 20 AREA NOTES:

Lot Area	=	602.4 m ²
Foundation Area	=	123.5 m ²
Covered Porch	=	24.7 m ²
Gravel Area	=	58.8 m ²
Brick Area	=	26.9 m ²
Lot Coverage	=	38.8 %

Proposed garage
 = 53.51 m²
 Apron = 12.50 m²
 New lot coverage
 = 49.78 %

BRICK RETAINING WALL
 ENCROACHES 2.73
 ONTO BOULEVARD

BRICK RETAINING WALL
 ENCROACHES 6.06
 ONTO BOULEVARD

0 2 4 8 12 metres
 Scale 1:200

DISCLAIMER
 AUGUSTA FIRST CALL 1-800-247-3447
 THIS PLAN REPRESENTS THE BEST INFORMATION AVAILABLE AT THE TIME OF SURVEY. COMPASS GEOMATICS LTD. AND ITS EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND PIPES, CONDUITS, OR FACILITIES, WHETHER SHOWN ON OR OMITTED FROM THIS PLAN. AN ADDITIONAL SEARCH FOR SPECIFIC BURIED FACILITIES USING ALL RESOURCES MUST BE PERFORMED JUST PRIOR TO CONSTRUCTION.

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

OF LOT 20, PLAN 2350 EO

WITHIN THE SUMMER VILLAGE OF JARVIS BAY, ALBERTA

NOTES

The municipal address of the property is 39 Jarvis Bay Drive
 Title information is based on title no. 152 238 611
 Property is subject to: No registrations affecting the extent of title
 Date of title search: August 28th, 2020
 Date of survey: December 13th, 2018, March 22nd, 2019, August 6th, 2019 and August 27th, 2020
 Distances are in metres and decimals thereof and are all check measured at the time of survey.
 Dimensions shown relate to perpendicular distances from property boundaries to exterior walls unless shown otherwise.
 Eave dimensions are to the line of the fascia.
 All fences shown are within 0.20 metres of property line unless noted otherwise.

LEGEND

Statutory Iron Post Found •
 Iron Bar Found ♦
 Calculated Point x
 Reference Point x
 Countersunk c.s.
 Fence Corner Post FCP
 Found Fd.
 Mark Mk.
 Marker Post Mp.
 Statutory Iron Post I.
 Foundation Fdn.
 Radial (R)
 Fence Line shown thus: —

CERTIFICATION: I hereby certify that this Report and Plan of Survey was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly, within these standards and as of the date of this report, I am of the opinion that:

1. the plan satisfies the boundaries of the property, the improvements as defined in Part O, Section 8 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the site to the property;
2. the improvements are entirely within the boundaries of the property, except Brick Retaining Walls;
3. no visible encroachments exist on the property from any improvements situated on an adjoining property;
4. no visible encroachments exist on registered easements or rights-of-way affecting the extent of the property.

PURPOSE: This Report and Plan of Survey have been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a land conveyance, support of a subdivision application, a mortgage application, a submission to the municipality for a compliance certificate, etc. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown. Unless shown otherwise, property corner markers have not been placed during the survey for this report.

This Plan of Survey should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user.

The information shown on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.



Dated at Red Deer, Alberta

October 6th, 2020

Jordan K. Westera, A.L.S.
 of COMPASS GEOMATICS LTD., 2020

This document is not valid unless it bears an original signature (in blue ink) and Compass Geomatics Ltd. permit stamp (in red ink).

Existing Sheds
 to be removed.

Document Prepared for: [REDACTED]

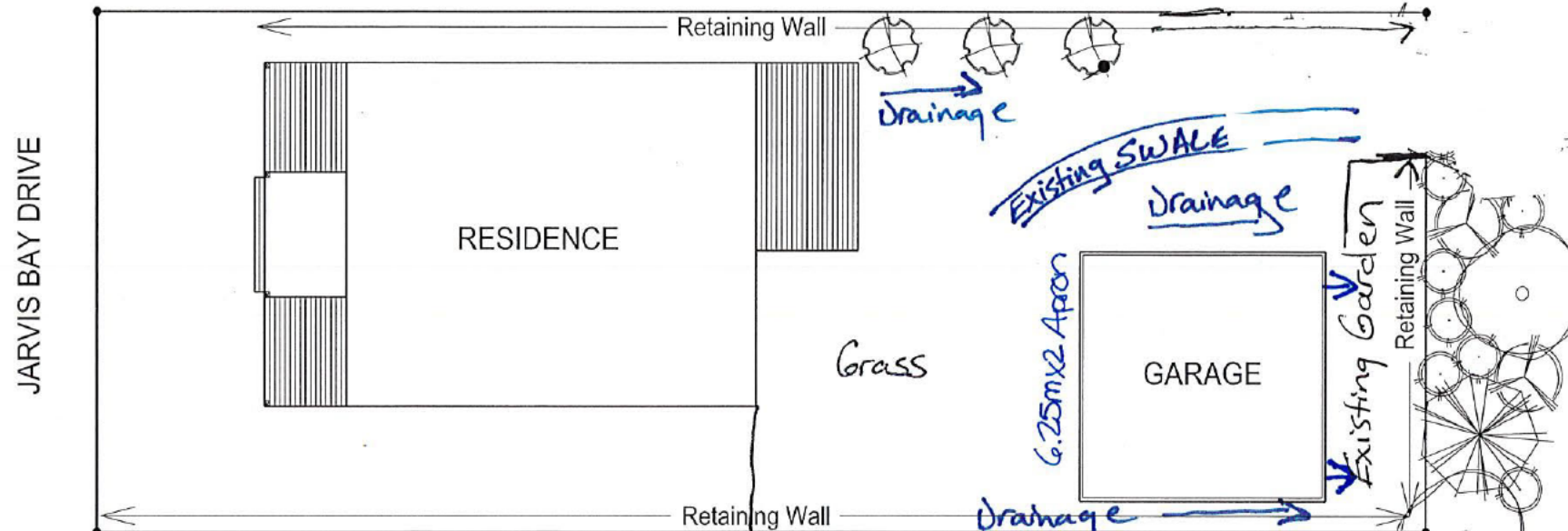
COMPASS
 Geomatics Ltd.

11-4508 62nd Street
 Red Deer, Alberta T4N 5T3
 Office (403) 358-0111 Fax (403) 358-0114
 www.compassgeomatics.ca

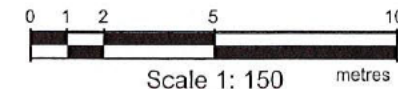
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CNTG-KF/PL-PC

1 of 1



- No changes
 - No existing plant material will be removed
- Just turf, will relandscape turf area once Garage is complete
- there will be no changes to existing drainage plan



LEGAL DESCRIPTION
LOT 20, BLOCK, PLAN 2350EO
MUNICIPAL ADDRESS
39 JARVIS BAY DRIVE
SYLVAN LAKE, ALBERTA

RESIDENCE
39 JARVIS BAY DRIVE, SYLVAN LAKE, AB.

ARRISCAPE
Landscape Design & Consultation
89 Alberts Close, Ab. T4R 3J7
Phone 403-506-8733 Email: doug.evans@reddeer.ca

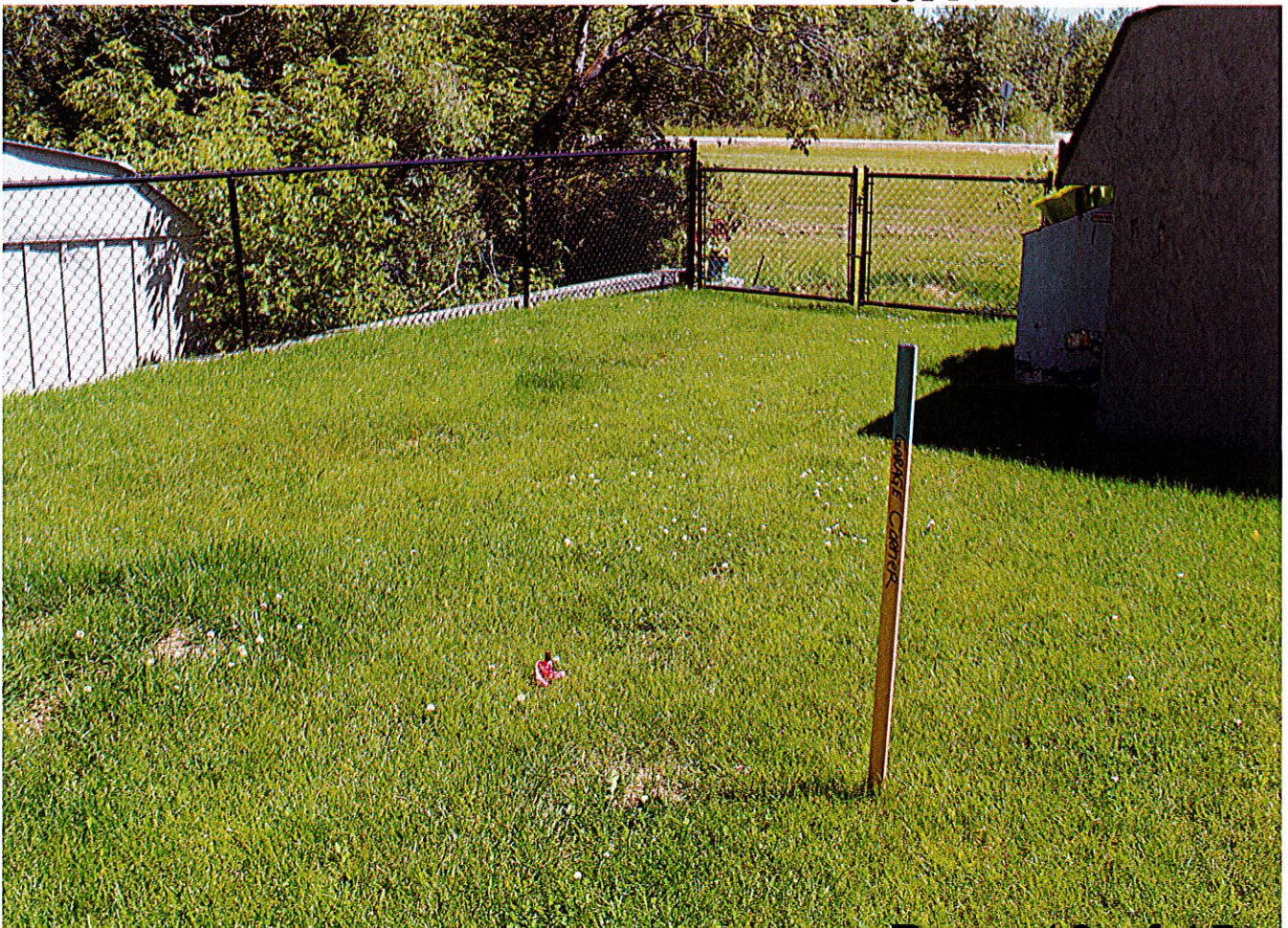
LANDSCAPE PLAN

Scale 1:150
Date: 04/26/2018
Drawn by: DE
Project no: 5/18
Revision no.

1.0



JUL 20 2022





JUL 20 2022





JUL 20 2022

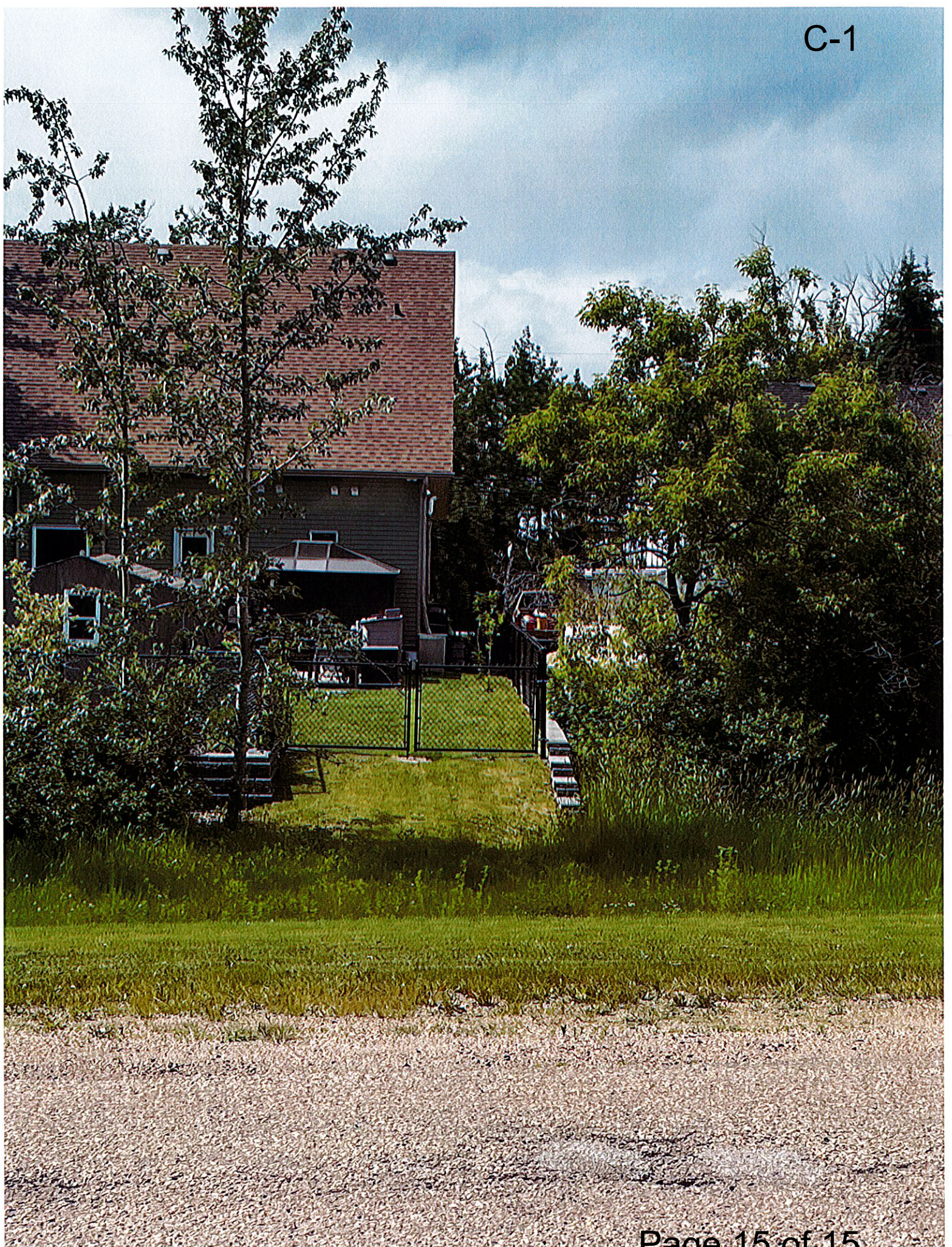




JUL 20 2022







Summer Village of Jarvis Bay – Municipal Planning Commission**August 15, 2022****Agenda Item****234 Jarvis Bay Drive (Lot 10A, Block 2, Plan 6735NY)****Development Permit Application****Background:**

An application was submitted on behalf the registered owners for a garage with guest house located on the property of 234 Jarvis Bay Drive (Lot 10A, Block 2, Plan 6735NY) in the Summer Village of Jarvis Bay. This property is located in the R District (Residential).

The proposed garage with guest house meets the yard setbacks and is within the maximum height. The proposed lot coverage would be 42.2% under the maximum 50%. The Land Use Bylaw states that accessory building's combined footprints shall be no larger than 8% of the parcels total area, with the proposed development the footprint would be at 3.8%. The landscaping, drainage, grades and dwelling have previously been approved under a separate development permit and the dwelling is currently being constructed.

Discussion:

This application is before MPC for the following reason:

- Guest House is listed a discretionary use, therefore the decision must come from the Municipal Planning Commission.

Recommendation:

After reviewing the application and all relevant planning documents, it is the recommendation of administration to approve the application. The proposed development is within the Land Use Bylaw requirements and does not require any variances. Adjacent landowners have been notified of the proposed development and no response has been provided to administration.

Conditions:

If approved, Administration would recommend the following conditions:

- An accessory building erected or placed on a parcel shall not be used as a dwelling unit.
- Electrical power from the property line to any buildings situated on this parcel to be constructed underground.

August 3, 2022

- The exterior of an accessory building must be finished to match or compliment the exterior finish of the main building.
- In situations where a detached dwelling is being rented out and there is a guest house on the parcel, the guest house shall not be rented out to a separate party than those renting the detached dwelling.
- Height of the accessory building shall not exceed 7.62m (25ft.).
- Guest house means an accessory building containing sleeping facilities for temporary usage only and may have a bathroom but shall not have a kitchen or other cooking facilities.
- Final as build real property report from an Alberta Land Surveyor at completion of landscaping that includes parcel coverage.
- All parcels shall be graded to ensure that storm water is directed to a drainage ditch without crossing adjacent land, except as permitted by the Development Authority. All maintenance and upkeep shall be the responsibility of the property owner.
- Completions Deposit of \$5,000.00.
- Landscaping to be done according to the landscaping plan.

Authorities:

For a discretionary use in any district:

- The Municipal Planning Commission may approve an application for a Development Permit:
 - With or without conditions;
 - Based on the merits of the proposed development, including it's relationship to any approved statutory plan, non-statutory plan, or approved policy, affecting the site;
 - Where the proposed development conforms in every respect to this Land Use Bylaw; or
- May refuse an application for a development permit based on the merits of the proposed development, even though it meets the requirements of the Land Use Bylaw; or
- Subject to provisions of section 2.4 (2), the Municipal Planning Commission shall refuse an application for a development permit if the proposed development does not conform in every respect to the Land Use Bylaw.

Decision:

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (Section 642 of the MGA), or
2. Deny the application stating reasons why (Section 642(4) of the MGA).

August 3, 2022



July 6, 2022

Kara Kashuba
Development Officer
Summer Village of Jarvis Bay
2 Erickson Drive
Sylvan Lake, Alberta T4S 1P5

Dear Kara,

Please accept this application for development for a detached garage-guest house for Barb and Don Allan at 234 Jarvis Bay Drive.

This two-story building will be constructed on the site as per the plot plan attached. It will be constructed as per the plans attached, in a traditional Craftsman style. The exterior walls will feature hardboard siding, extensive stonework, and timber frame detailing. The roofing will be asphalt shingles.

Vehicles and garden equipment will be stored in the garage portion. The two-bedroom guest suite will be used for short-term stays for guests of the homeowners. There is no kitchen. A bar area with fridge, sink, and storage as a guest amenity.

Please feel free to get in touch if you have any questions.

Thanks very much for your assistance. It's much appreciated,

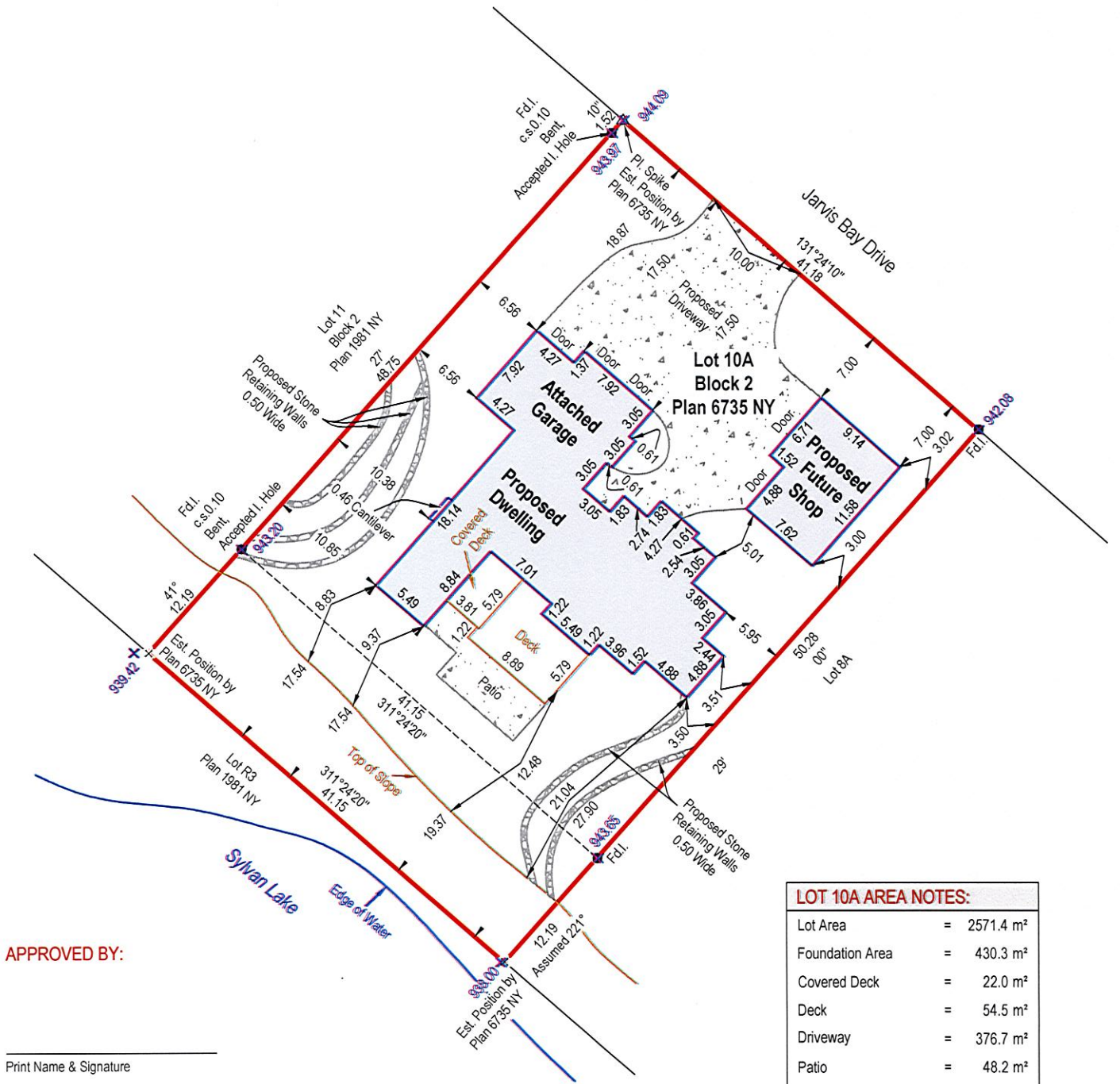
Susan Knopp

Design • Build
Established 1983

Bowood Inc. • #7 - 4608 - 62 Street • Red Deer, Alberta • T4N 6T3
Phone (403) 346-1908 • Fax (403) 342-4882
Email: bowoodhomes@telus.net
www.bowoodhomes.com

PLOT PLAN
SHOWING PROPOSED
LOCATION OF BUILDING(S)

Civic Address: 234 Jarvis Bay Drive
Summer Village of Jarvis Bay, Alberta
Legal Description: Lot 10A, Block 2, Plan 6735 NY



APPROVED BY:

Print Name & Signature

NOTES:

- Distances are in metres and decimals thereof. Measurements are shown to the outside face of the proposed building foundation wall at ground level.
- The above ground and buried facilities have not been located and are not shown on this plan. It is the responsibility of the owner(s) and contractor to have the facilities located prior to construction.
- Lot boundaries have been calculated from located survey evidence.
- Elevations have been derived from Precise Point Positioning.
- Existing Grades shown thus 670.00

LOT 10A AREA NOTES:	
Lot Area	= 2571.4 m ²
Foundation Area	= 430.3 m ²
Covered Deck	= 22.0 m ²
Deck	= 54.5 m ²
Driveway	= 376.7 m ²
Patio	= 48.2 m ²
Stone Retaining Walls	= 55.6 m ²
Future Shop	= 98.5 m ²
Lot Coverage	= 42.2 %



LAND USE DISTRICT
R -Residential District

REVISION SUMMARY

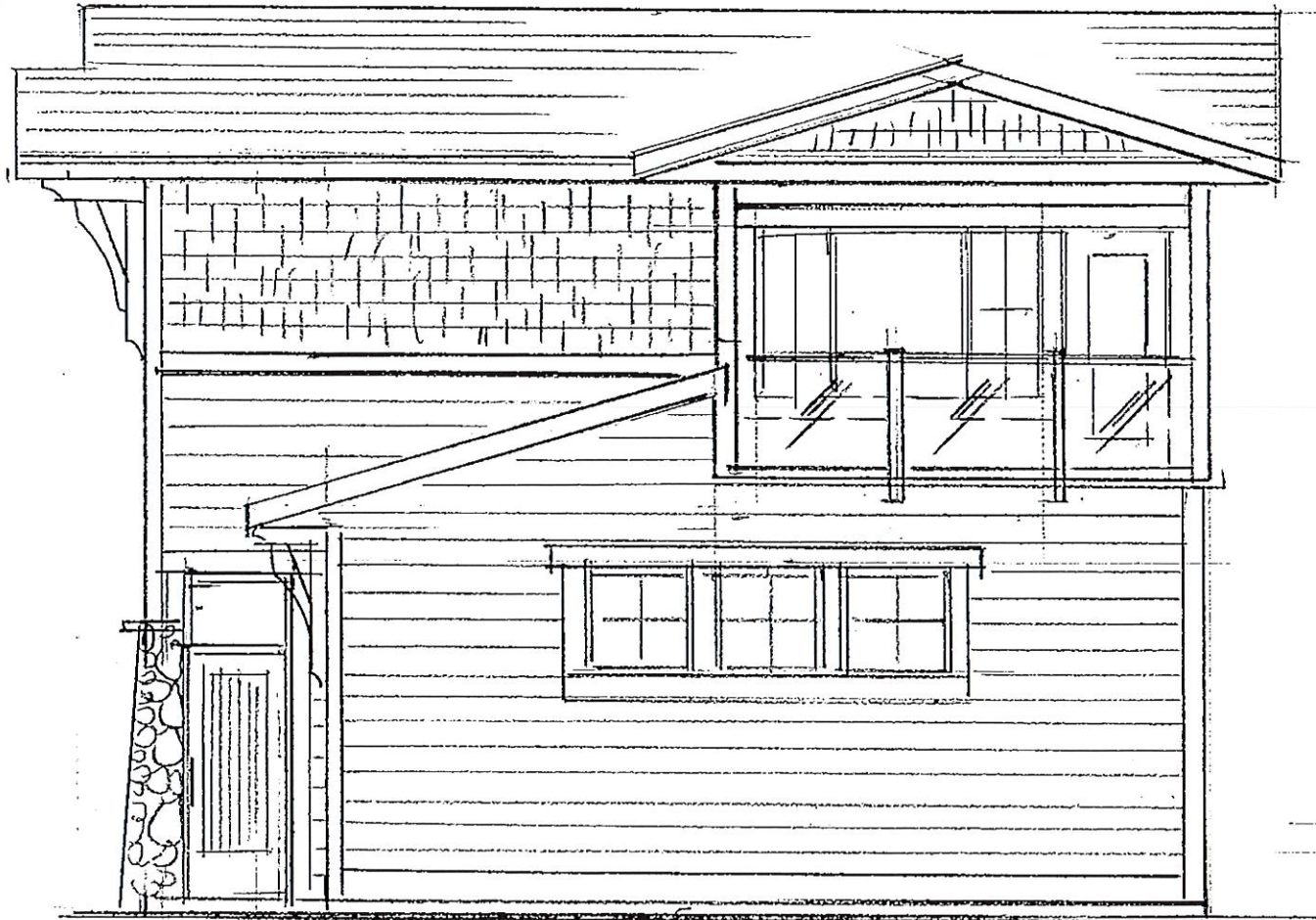
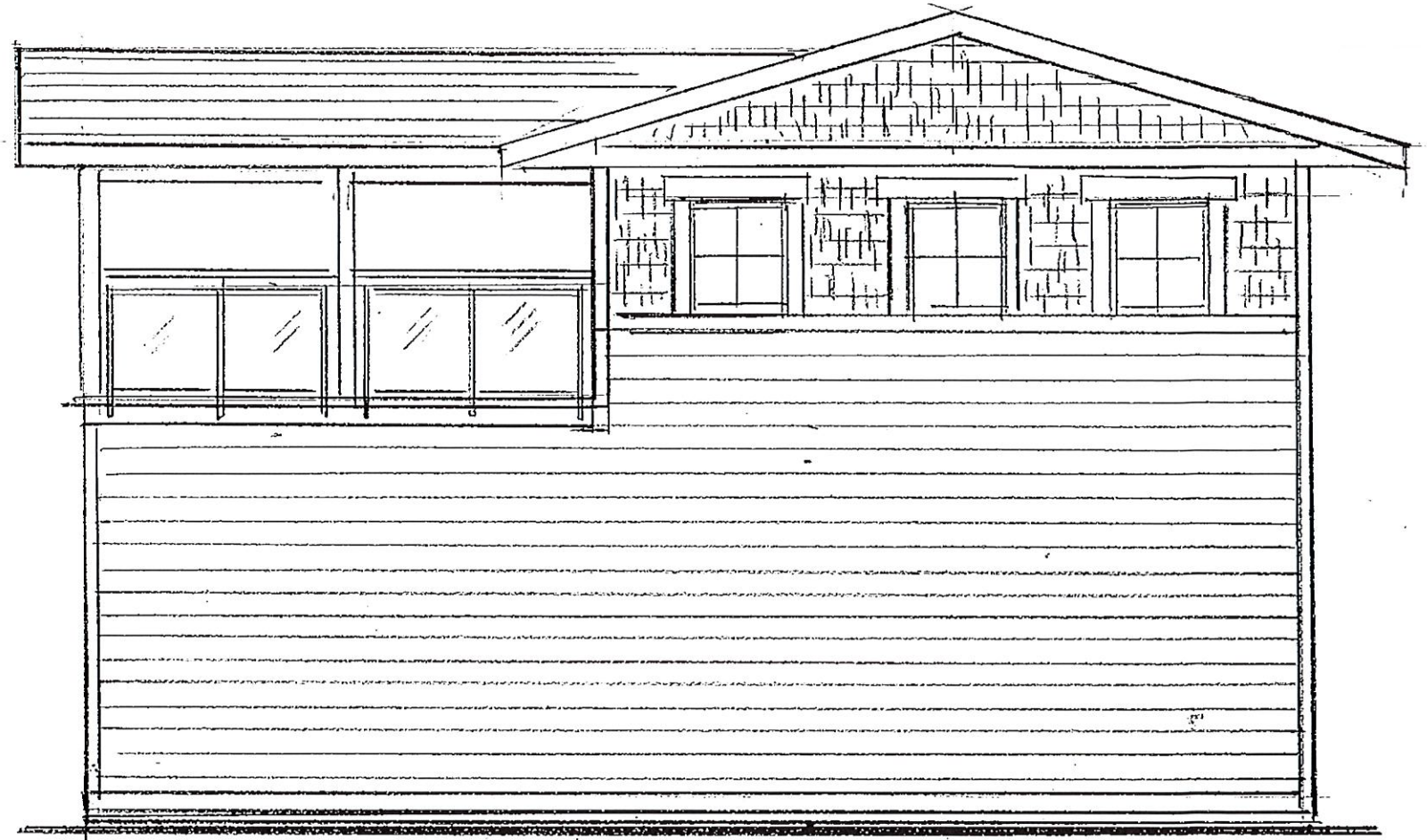
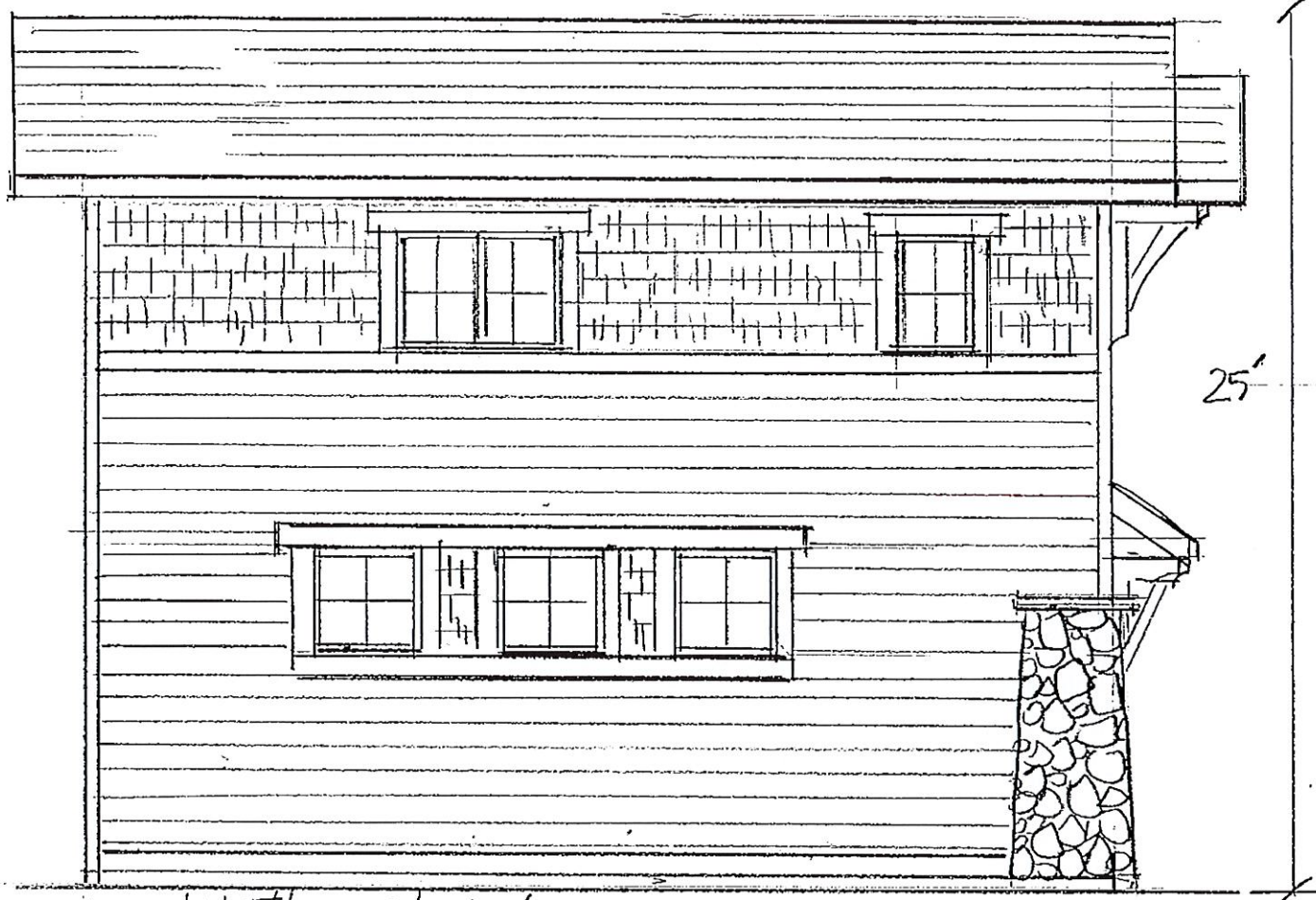
3	Add Retaining Walls (07/14/22) PC/JW
2	Amend Dwelling Location and Shop (05/12/22) PC/JW
1	Add Elevations (02/07/22) PC/JW
0	Original Issue (01/20/22) PC/JW

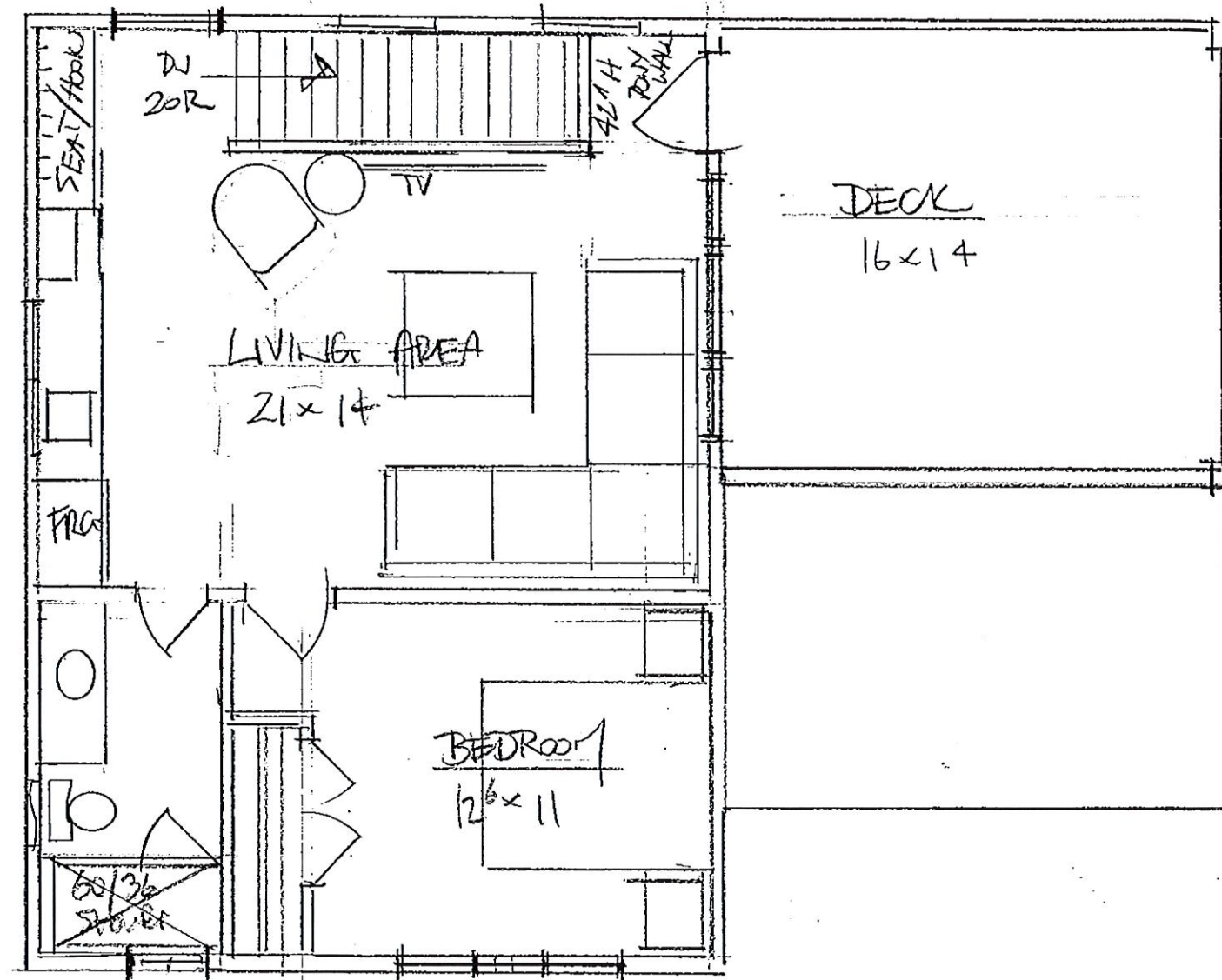
CLIENT
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REV.	PAGE
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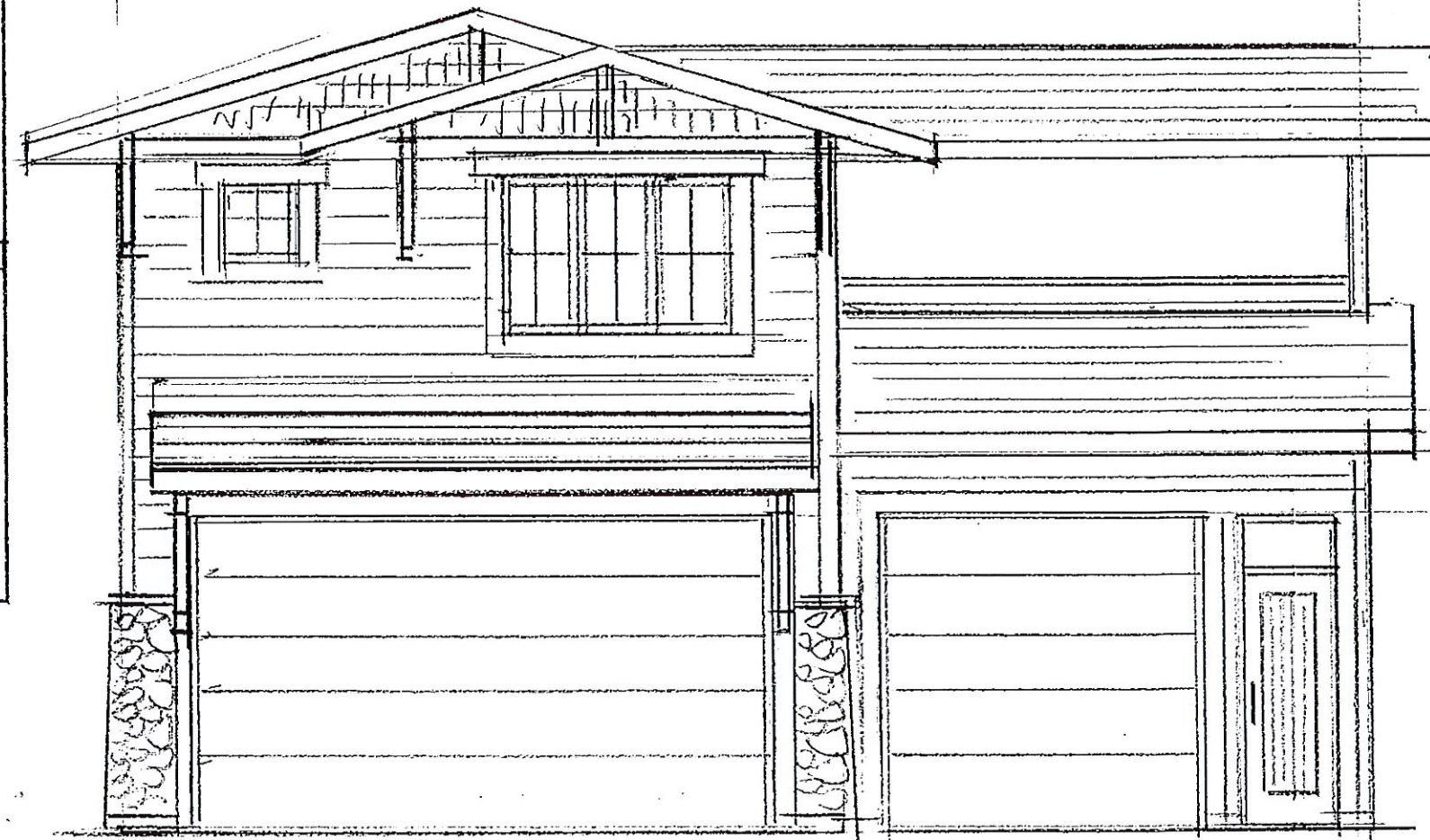
COMPASS
Geomatics Ltd.
11-4608 62nd Street
Red Deer, Alberta T4N 6T3
Office (403) 356-0111 Fax (403) 356-0114
www.compassgeomatics.ca

ALBERTA LAND SURVEYORS' ASSOCIATION
PERMIT NUMBER
P266
Compass Geomatics Ltd.

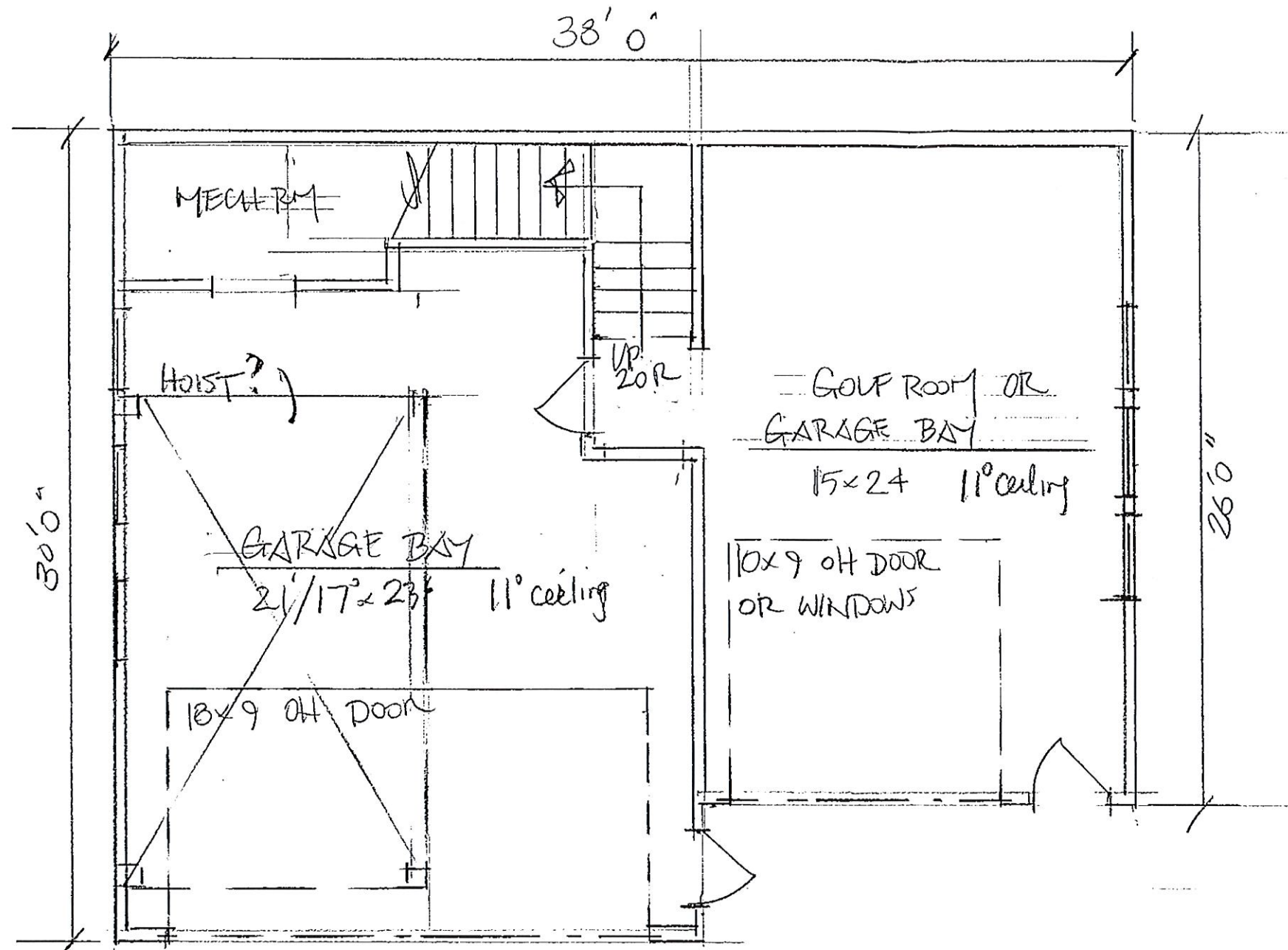




UPPER FLOOR PLAN $\frac{3}{16}'' = 1'0''$



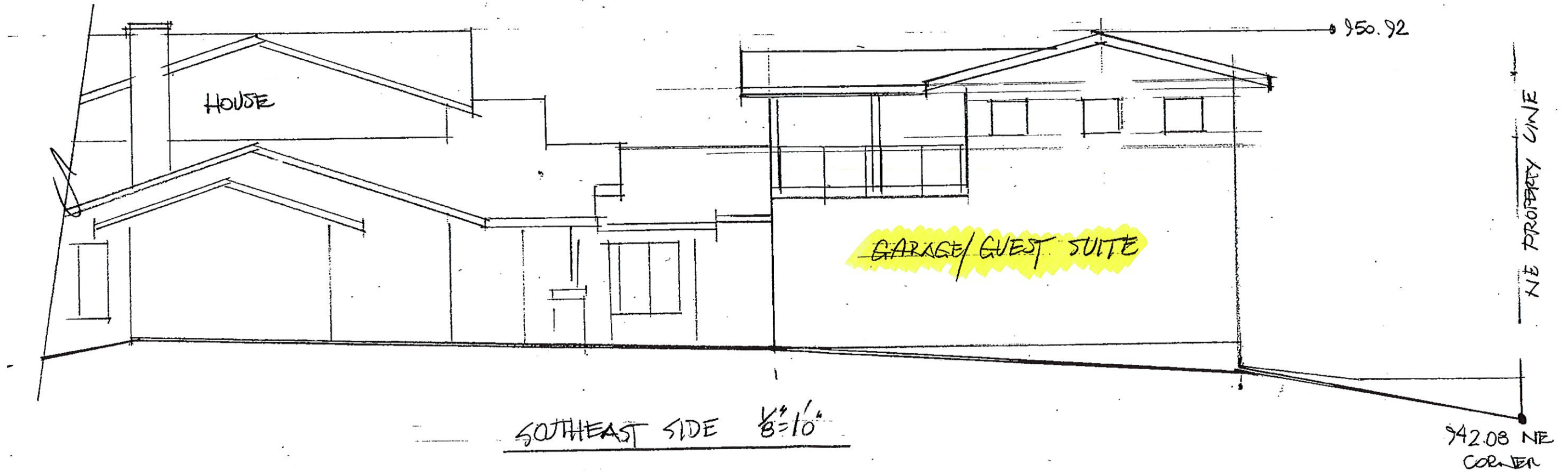
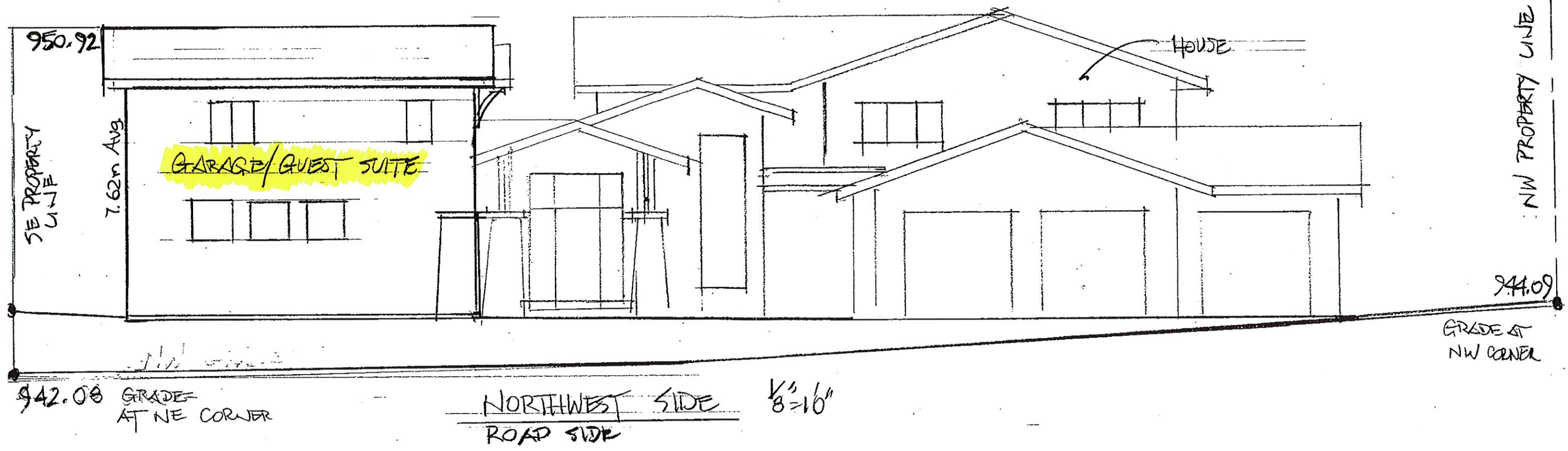
WEST VIEW $\frac{3}{16}'' = 1'0''$

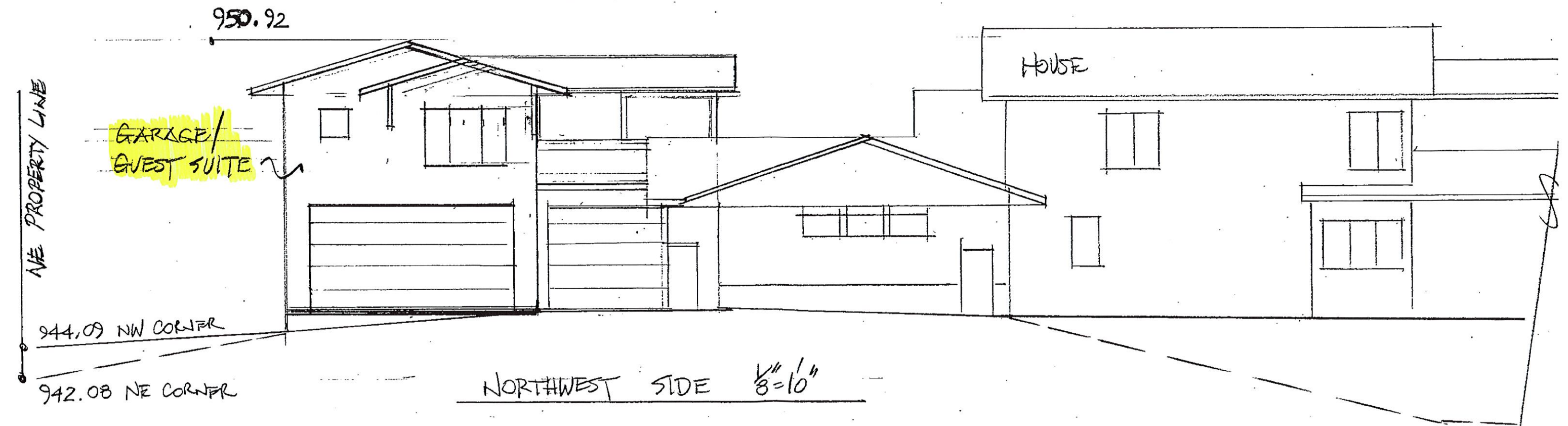
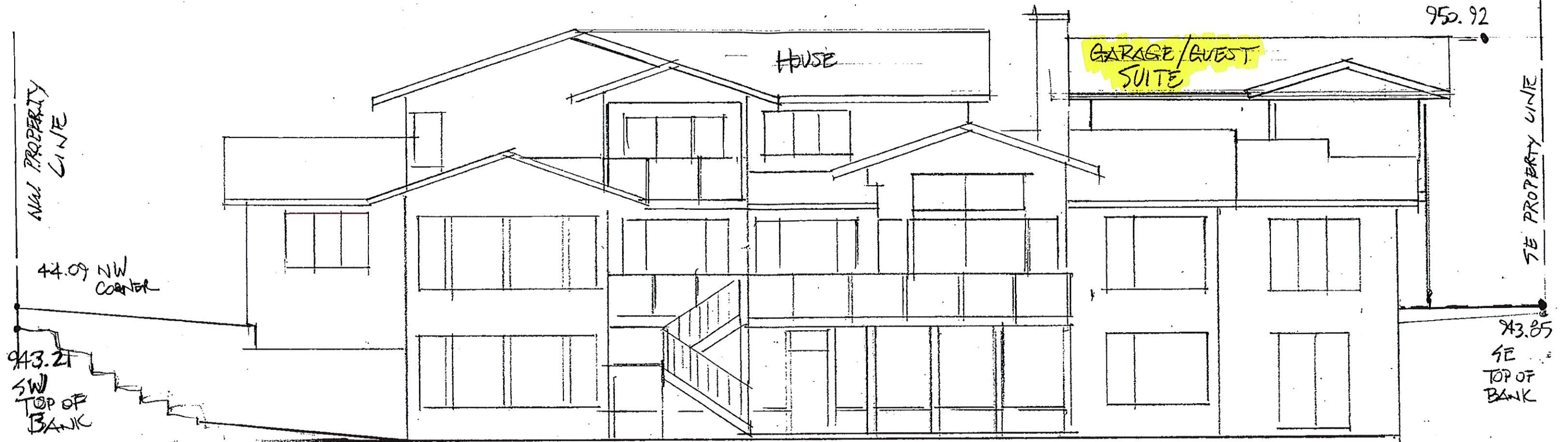


MAIN FLOOR PLAN $\frac{3}{16}'' = 1'0''$

ALLAN DETACHED GARAGE AND GUEST SUITE

CONCEPT TWO • MARCH 22, 2022



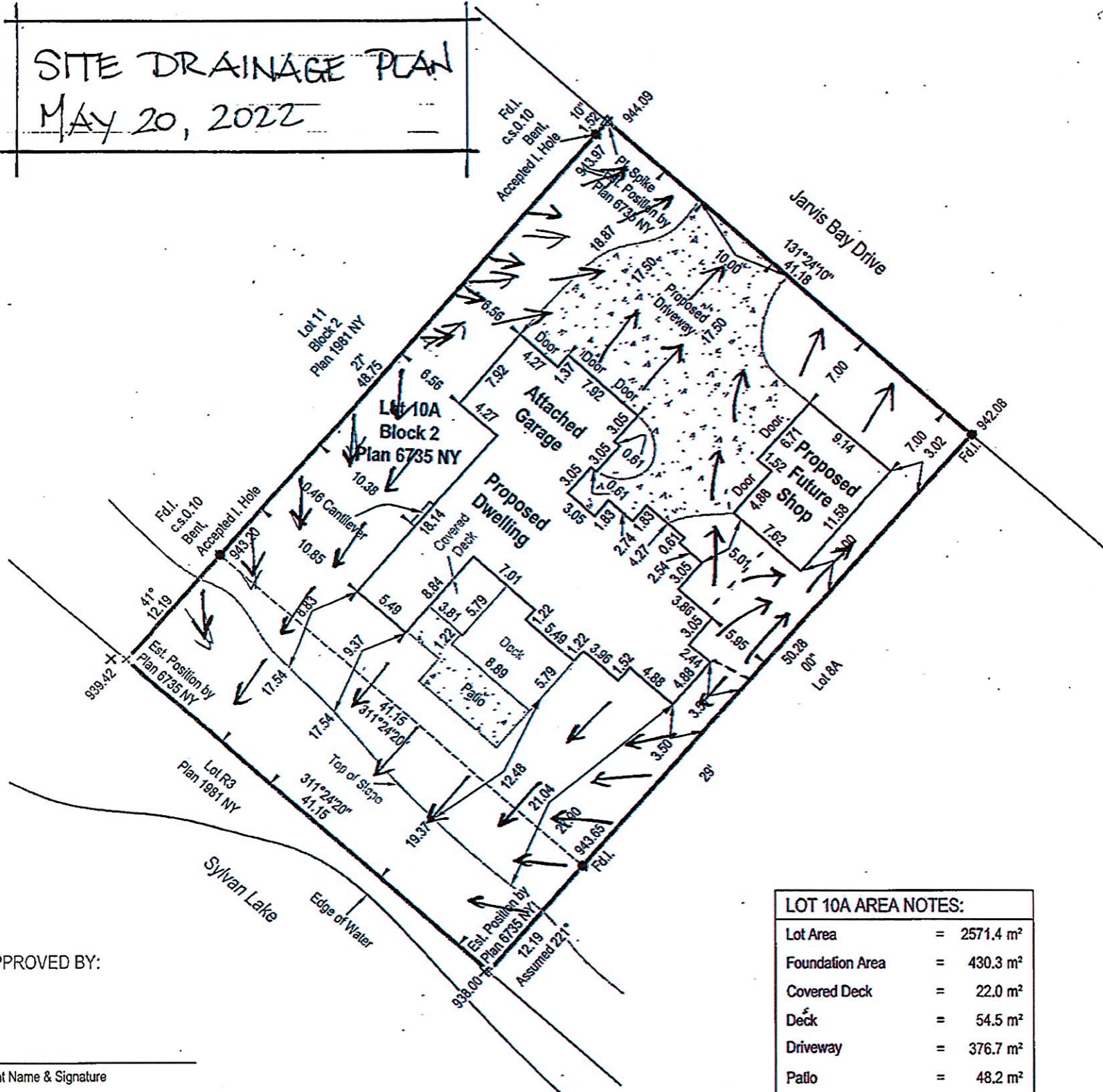


PLOT PLAN
SHOWING PROPOSED
LOCATION OF BUILDING(S)

Civic Address: 234 Jarvis Bay Drive
Summer Village of Jarvis Bay, Alberta
Legal Description: Lot 10A, Block 2, Plan 6735 NY



SITE DRAINAGE PLAN
MAY 20, 2022

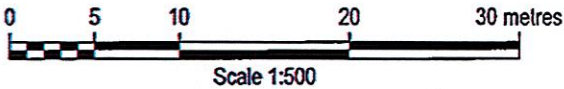


APPROVED BY:

Print Name & Signature

LOT 10A AREA NOTES:	
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Foundation Area	= 430.3 m ²
Covered Deck	= 22.0 m ²
Deck	= 54.5 m ²
Driveway	= 376.7 m ²
Patio	= 48.2 m ²
Future Shop	= 98.5 m ²
Lot Coverage	= 40.1 %

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LAND USE DISTRICT
R -Residential District

REVISION SUMMARY	
△	Amend Dwelling Location and Shop (05/12/22) PC/JW
△	Add Elevations (02/07/22) PC/JW
△	Original Issue (01/20/22) PC/JW

CLIENT
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