

**SUMMER VILLAGE OF JARVIS BAY  
SUBDIVISION AND DEVELOPMENT APPEAL BOARD AGENDA  
DENIAL OF DEVELOPMENT PERMIT FOR DWELLING WITH GARAGE  
APRIL 18, 2023 @ 10:00 a.m.**

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- |     |   |                 |
|-----|---|-----------------|
| 1.  | Call to Order                             | Chairman        |
| 2.  | Purpose of Hearing/Confirmation of Notice | Secretary       |
| 3.  | Polling for Objections to members         | Secretary       |
| 4.  | Background of appeal (appeal letter)      | CAO             |
| 5.  | Duties & Jurisdiction                     | CAO             |
| 6.  | Hearing Procedures                        | Chairman        |
| 7.  | Background from Development Officer       | Kara Hubbard    |
| 8.  | Appellant Statement & Presentation        | Donovan Nielson |
| 9.  | Questions from the board                  |                 |
| 10. | Written letters supporting development    | CAO             |
| 11. | Speakers supporting development           |                 |
| 12. | Questions from the board to speakers      |                 |
| 13. | Written letters opposing development      | CAO             |
| 14. | Speakers opposing development             |                 |
| 15. | Questions from board to speakers          |                 |
| 16. | Rebuttal Statement from Appellant         | Donovan Nielson |
| 17. | Development Officer Summary               | Kara Hubbard    |
| 18. | Additional questions from Board to anyone |                 |
| 19. | Conclusion of Hearing                     |                 |

An appeal was received, one on March 20, 2023, appealing the denial of a development permit for a dwelling with attached garage by the Municipal Planning Commission on February 28, 23023, in the Summer Village of Jarvis Bay.

Under the provisions of the *MGA*, the Subdivision and Appeal Board may deny the appeal and uphold the permit; or allow the appeal and deny the permit; or allow the appeal and approve the permit with or without variations to the permit.

NOTICE BEING GIVEN by mail on March 23, 2023, to the appellant/applicant and owners of property located within 200' radius of the proposed development and published on the Municipal website.



**MUNICIPAL PLANNING COMMISSION AGENDA  
SUMMER VILLAGE OF JARVIS BAY  
SUMMER VILLAGES ADMINISTRATION OFFICE  
FEBRUARY 28, 2023 @ 9:00 A.M.**

**A. CALL TO ORDER**

**B. ADOPTION OF AGENDA**

**C. DEVELOPMENT ITEMS**

1) 165 Jarvis Bay Drive

**D. ADJOURNMENT**

## **Summer Village of Jarvis Bay – Municipal Planning Commission**

**February 28, 2023**

### **Agenda Item**

**165 Jarvis Bay Drive (Lot 1&2, Block 1, Plan 7278AA)**

### **Development Permit Application**

#### **Background:**

The registered owner of 165 Jarvis Bay Drive (Lot 1&2, Block 1, Plan 7278AA), in the village of Jarvis Bay is applying for a dwelling with variances required. This property is located in the R District (Residential District) and the property currently is a vacant lot. The proposed dwelling meets the height and setback requirements. The proposed parcel coverage is 49.1% and under the maximum 50%. Tree replanting is proposed to take place which will replace the 27 trees removed during demolition.

#### **Discussion:**

This application is before MPC for the following reasons:

- The design, character and appearance of any building to be erected must be acceptable to the Development Authority having due regard to the character of existing development in the district. In administrations opinion a variance is required.
- Driveways on corner parcels shall be setback from the street intersection not less than 6m (19.69ft.). The proposed driveway setback is 1.7m (5.57ft.). Variance of 4.3m (11.12ft.) is required.

#### **Recommendation:**

It is administrations recommendation to deny the dwelling with the variances requested, while the applicant has made amendments to the application to change roof pitch, garage door sizes, changes to the siding materials and addition of outside canopies off the building, in our opinion the proposed structure does not align with the character of the existing development in the village. Where a structure is designed with the shop being more than twice the size of the living space, the principal use of the structure is not low density residential, which is the purpose of the R-A District. Adjacent landowners have been notified of the proposed variance requests and opposed response has been received.

#### **Conditions:**

February 16, 2023

If approved, Administration would recommend the following conditions:

- All parcels shall be graded to ensure that storm water is directed to a drainage ditch without crossing adjacent land, except as permitted by the Development Authority. All maintenance and upkeep shall be the responsibility of the property owner. A lot grade certificate will be required at completion to ensure that proper drainage on the property exists.
- The height of the dwelling shall not exceed 10m (32.81ft.) in building height measured from grade.
- Final as build real property report from an Alberta Land Surveyor at completion of landscaping that includes parcel coverage.
- Replanting of trees/shrubs and existing trees to remain according to landscaping plan.
- The number of driveways shall be limited to one and this shall be off of the West side of Jarvis Bay Drive. The existing driveway off of the North side of the property shall be removed.
- Electrical power from the property line to any building shall be constructed underground.

### **Authorities:**


The MPC may:

- Grant a variance to reduce the requirements of any use of the LUB and that use will be deemed to comply with LUB.
- Approve application even though the proposed development does not comply or is a nonconforming building if:
  - o It would not unduly interfere with the amenities of the neighborhood, or
  - o Materially interfere with or affect the use, enjoyment, or value of neighboring parcels of land, And
  - o It conforms with the use prescribed for that land or building in the bylaw.
- Consider a Variance only where warranted by the merits or the proposed development and in response to irregular lot lines, parcel shapes or site characteristics which create difficulties in siting structures within the required setback or in meeting the usual bylaw requirements, except there shall be no variance for Parcel Coverage or Building Height.

### **Decision:**

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (*Section 642 of the MGA*), or
2. Deny the application stating reasons why (*Section 642(4) of the MGA*).




January 23, 2023

Kara Hubbard  
Development Office  
Summer Village of Jarvis Bay  
#2 Erickson Drive  
Sylvan Lake AB T4S 1P5

Dear Kara,

Re: **Development Permit Application for Dwelling  
165 Jarvis Bay Drive**

An application has been made by  for the development of the now bare lot located at 165 Jarvis Bay Drive. The application is in full compliance with the zoning bylaws and we have taken steps to address all questions and concerns raised by the Summer Village. As a final step, a letter of intent has been requested for the development of the property.

The property is being developed for use as a dwelling with an attached garage for storage of vehicles and seasonal lake equipment. The use of the property is in alignment with the zoning outlined by the Village. The development has been professionally designed and will be constructed by experienced contractors. The character of the dwelling is based on an urban barn style. Special steps have been taken to add to the character of the neighbourhood. This includes increasing the pitch of the roof to 12:12 from the standard 4:12, and upgrading the siding to a hardie board style premium siding product. The landscaping has been designed to be consistent with the natural habitat in the area and will ensure that the development blends into the natural landscape.

The garage is being located on the east side of the property to isolate the property from the immediate vicinity of the highway. The location of the property and the size and shape of the lot pose unique development challenges due to lack of privacy and noise from the road. Locating the garage on the east side will increase the quality of the dwelling. This development will reduce the overall impact of the highway on the community and will reduce the associated noise for the immediate neighbours.

Please contact the undersigned if you have any questions.

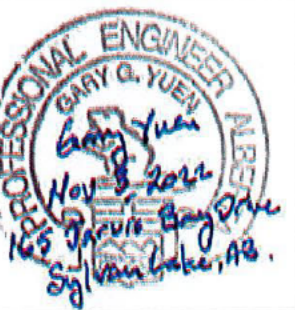
Respectfully,



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REVISIONS:
A.1/A.3 IFR 08/09/2022
A.4 IFBP 11/07/2022
A.5 IFBP 12/15/2022



PROJECT:

**RESIDENCE  
& SHOP**

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

DRAWING:

COVER

DWG. NO.

A0.0

**RESIDENCE & SHOP**

30'x80'x16' BUILDING



**NOTES:**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ENGINEER IN WRITING.

THE CUSTOMER/CONTRACTOR SHALL NOT ALTER THE CONSTRUCTION FROM THAT WHICH IS CONTAINED IN THIS SEALED DRAWING SET WITHOUT PRIOR APPROVAL OF THE ENGINEER WHO'S SEAL APPEARS HEREON. THE OWNER MUST PROVIDE THE CONTRACTOR WITH A COPY OF ALL PERMITS ISSUED WITH RESPECT TO THIS PROPERTY.

**DRAWING REVISIONS:**

- A.1 ISSUED FOR REVIEW
- A.2 ISSUED FOR REVIEW
- A.3 ISSUED FOR REVIEW
- A.4 ISSUED FOR BUILDING PERMIT
- A.5 ISSUED FOR BUILDING PERMIT

**DRAWING SCHEDULE:**

COVER	A0.0
SITE PLAN	A0.1
GENERAL NOTES	A1.0
GENERAL NOTES CONT.	A1.1
SCHEDULES	A1.2
POST LAYOUT & POST DETAIL	A2.0
MAIN FLOOR PLAN	A2.1
UPPER FLOOR FRAMING PLAN	A2.2
UPPER FLOOR PLAN	A2.3
ROOF PLAN	A2.4
EXTERIOR ELEVATIONS	A3.0
EXTERIOR ELEVATIONS	A3.1
BUILDING SECTION	A4.0
BUILDING SECTION	A4.1
TYPICAL DETAILS	S1.0
TYPICAL DETAILS	S1.1
TYPICAL DETAILS	S1.2
TYPICAL DETAILS	S1.3
TYPICAL DETAILS	S1.4



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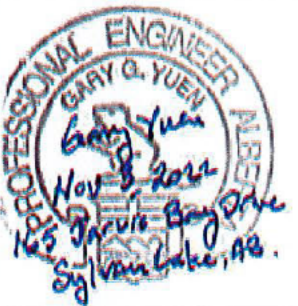
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



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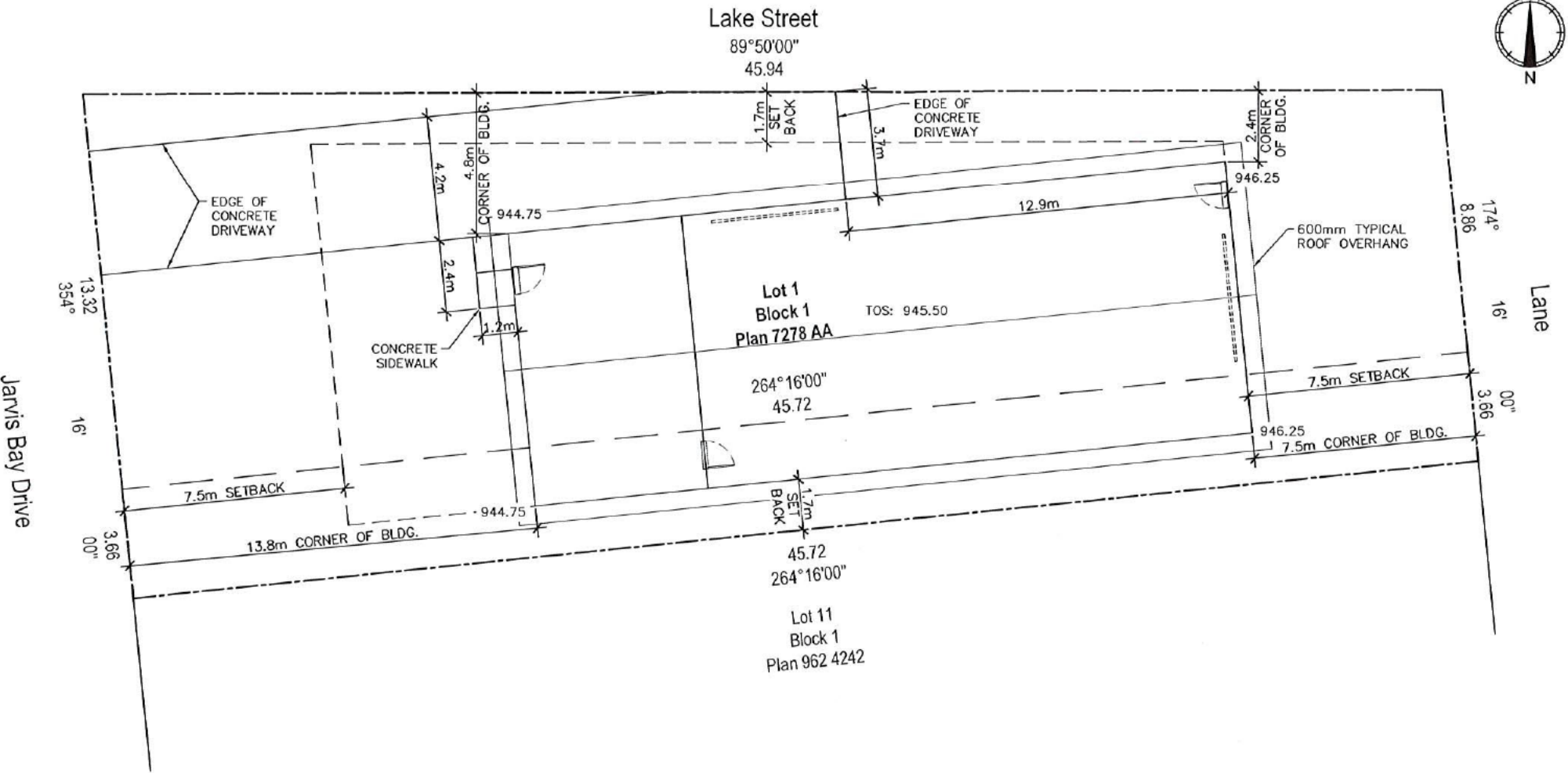
DRAWING:

SITE PLAN

DWG. NO.

A0.1

SITE INFORMATION		
<b>MUNICIPAL ADDRESS:</b> 165 JARVIS BAY DRIVE SUMMER VILLAGE OF JARVIS BAY, ALBERTA	<b>LAND USE DISTRICT/ZONE:</b> R - RESIDENTIAL	<b>NOTES:</b> ALL SIDEWALKS TO BE BROOMED FINISHED CONCRETE ALL GRADES TO SLOPE AWAY FROM BUILDING
<b>LEGAL DESCRIPTION:</b> LOT 1 AND THE NORTH 12 FT OF LOT 2 BLOCK 1 PLAN 7278AA	<b>SITE COVERAGE:</b> SITE AREA: 674 SQ.M. BUILDING AREA: 223 SQ.M. CONCRETE AREA: 108 SQ.M. (INCLUDES SIDEWALK & DRIVEWAY) TOTAL AREA: 331 SQ.M. SITE COVERAGE: 49.1%	



1 SITE PLAN  
A0.1 SCALE: 1:200



**GENERAL NOTES**

- 1) The contractor is to field confirm all dimensions prior to commencing work, and to notify the engineer of any discrepancies.
- 2) The design is in accordance with the latest National Building Code (NBC-2019 AE).
- 3) Design Loads (service):
  - Ground Snow Load (Ss) = 1.9 kPa (39.7 psf)
  - Rain Load (Sr) = 0.1 kPa (2.1 psf)
  - Roof Live Load (Top Chord) = 1.62 kPa (33.8 psf) plus snowdrift
  - Roof Live Load (Bottom Chord) = 0.48 kPa (10.0 psf)
  - Roof Dead Load (Top Chord) = 0.24 kPa (5.0 psf)
  - Roof Dead Load (Bottom Chord) = 0.34 kPa (7.0 psf)
  - Wind (1/10 hourly pressure) = 0.30 kPa (6.3 psf)
  - Wind (1/50 hourly pressure) = 0.41 kPa (8.6 psf)
  - Upper Floor Live Load = 1.92 kPa (40 psf)
  - Upper Floor Dead Load = 0.57 kPa (12 psf)

**DRAWING NOTES**

DRAWINGS ARE NOT TO BE SCALED BUT ARE TO BE USED TO DETERMINE THE GENERAL LAYOUT. ALL DIMENSIONAL DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE ENGINEER.

**CAST IN PLACE CONCRETE NOTES**

- 1.1 CONCRETE: CONFORM WITH CAN-CSA A23.1 REQUIREMENTS AND THOSE SHOWN IN THE CONCRETE MIX SCHEDULE AS FOLLOWS:

**CONCRETE MIX SCHEDULE**

LOCATION	MIN. COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	CEMENT TYPE	EXPOSURE CLASS	AIR CONTENT (%)
FOOTINGS (INTERIOR)	25	GU	N/A	N/A
SLAB ON GRADE (NOT EXPOSED TO FREEZE THAW)	20	GU	N/A	N/A
SLAB ON GRADE (EXPOSED TO FREEZE/THAW)	32	GU	C-2	4-7
SIDEWALKS, CURBS AND PAVING SLABS	32	GU	C-2	5-8

- 1.2 DESIGN CONCRETE MIXES TO SUIT REINFORCEMENT DETAILS SHOWN ON THE PLACEMENT DRAWINGS. PROVIDE SMALLER AGGREGATES OR SELF CONSOLIDATING CONCRETE IN AREAS OF HIGHER REINFORCEMENT DENSITY.
- 1.3 ALL CONCRETE SHALL BE NORMAL DENSITY U.N.O.
- 1.4 ADMIXTURES THAT CONTAIN CHLORIDES SHALL NOT BE USED.
- 1.5 EXTERIOR AND INTERIOR CONCRETE SUBJECTED TO FREEZE/THAW CYCLES, SALT, ETC. INCLUDING WALLS SHALL BE AIR ENTRAINED.
- 1.6 PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS IN ELEMENTS RETAINING EARTH OR EXPOSED TO WEATHER.
- 1.7 THE USE OF CHLORIDES SUCH AS DEICING SALTS IS PROHIBITED FOR MELTING ICE PRIOR TO PLACEMENT OF CONCRETE.
- 1.8 PROVIDE CRACK CONTROL JOINTS BY SAW CUTTING THE SLAB ON A 12' X 12' GRID. SAW CUTS TO BE 1/8" X 1" DEEP; AND SAWCUT WITHIN THE FIRST 8 TO 18 HOURS AFTER PLACING CONCRETE, BUT NOT MORE THAN 24 HOURS.

**FOUNDATION NOTES**

- 1.1 REMOVE ALL TOP SOIL, ORGANICS, FROZEN SOIL, WET AND/OR WEAK SOILS.
- 1.2 FOUND ALL FOOTINGS IN NATURALLY CONSOLIDATED UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SAFELY SUSTAINING AN ASSUMED UNFACTORED BEARING PRESSURE OF 96 kPa (2000 PSF) FOR STRIP AND SPREAD FOOTINGS.
- 1.3 A WET UNIT WEIGHT OF RETAINED SOIL (CLAY) OF 2100 kg/m<sup>3</sup> HAS BEEN ASSUMED.
- 1.4 THE MINIMUM SOIL COVER ABOVE FOOTINGS FOR FROST PROTECTION IS 4.5 FEET (1370 mm) AND 7 FEET (2130 mm) BELOW FINISHED GRADE FOR HEATED AND UNHEATED STRUCTURES RESPECTIVELY.
- 1.5 FOOTINGS SHALL BE CENTERED UNDER COLUMNS AND WALLS U.N.O.
- 1.6 NO FOOTINGS OR SLABS SHALL BE PLACED ON OR AGAINST SUB-GRADE CONTAINING FREE WATER, FROST OR ICE.
- 1.7 THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUB-GRADE BEFORE AND AFTER CASTING CONCRETE UNTIL THE FULL BUILDING ENCLOSURE IS COMPLETED AND HEATED.
- 1.8 FOUNDATION INSULATION SHALL CONSIST OF EXTRUDED POLYSTYRENE WITH A MINIMUM COMPRESSIVE STRENGTH OF 0.24 MPa (35 psi) U.N.O.
- 1.9 IN LOCATIONS WHERE EXISTING MECHANICAL SERVICES INTERFERE WITH NEW FOOTINGS, ESTABLISH TOP OF FOOTING MINIMUM 8" (200 mm) BELOW INVERT ELEVATION.
- 1.10 INSULATION IS SHOWN WHERE REQUIRED FOR PROTECTION OF THE FOUNDATIONS FROM DAMAGE DUE TO FROST ACTION ONLY.

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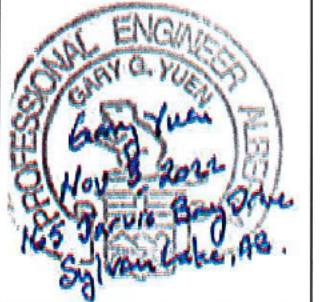
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**REVISIONS:**

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022

**PROJECT:**

**RESIDENCE  
& SHOP**  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

DRAWING:

GENERAL  
NOTES

DWG. NO.

A1.0



**REINFORCING STEEL NOTES**

- 1.1 ALL REINFORCING BARS SHALL BE MANUFACTURED AND MEET THE REQUIREMENTS OF CSA STANDARD G 30.18-M92. BILLET STEEL BARS FOR CONCRETE REINFORCEMENT.
- 1.2 REINFORCING STEEL TO BE DEFORMED BARS WITH A MINIMUM YIELD STRENGTH OF 60 ksi (400 MPa).
- 1.3 SPLICES, BENDS AND PLACEMENT OF REINFORCING BARS SHALL CONFORM TO CAN/CSA-A23.1-M94 AND CAN3 A23.3-M94.
- 1.4 REINFORCING STEEL IS TO BE DETAILED, BENT AND PLACED IN ACCORDANCE WITH R.S.I.C. REINFORCING STEEL MANUAL OF STANDARD PRACTICE. SUBMIT SHOP DRAWINGS INDICATING ALL DETAILS OF REINFORCING STEEL PLACEMENT.
- 1.5 ALL REINFORCEMENT SHALL BE SECURELY HELD IN PROPER POSITION WHILE POURING CONCRETE. CONTRACTOR SHALL PROVIDE CHAIRS, SPACER BARS, SUPPORT BARS AND OTHER ACCESSORIES TO SUPPORT REINFORCING. ALL THE WIRE, CHAIRS AND BAR SUPPORTS FOR FOUNDATIONS AND FOR EXPOSED CONCRETE SHALL BE NON-METALLIC OR COATED.
- 1.6 TACK WELDING OF REINFORCEMENT IS NOT PERMITTED. WELDED SPLICES IN REINFORCING BARS WILL ONLY BE PERMITTED IF EXPLICITLY SHOWN ON THE STRUCTURAL DRAWINGS OR IF WRITTEN APPROVAL IS GIVEN BY THE CONSULTANT.
- 1.7 PROVIDE CLASS 'B' TENSION LAP SPLICES U.N.O. ALL SPICE LOCATIONS SHALL BE TO THE APPROVAL OF THE CONSULTANT.
- 1.8 APPROVED REBAR COUPLERS MAY BE USED AT THE CONTRACTORS OPTION TO AID PLACEMENT OF DOWELS THROUGH FORMS. MECHANICAL SPLICES SHALL DEVELOP 125% OF THE TENSILE STRENGTH OF THE REBAR.

**TIMBER CONSTRUCTION NOTES**

- 1.1 ALL WOOD MEMBERS SHALL CONFORM TO THE MINIMUM STANDARD GRADE BELOW U.N.O. ON THE ENGINEERED DRAWINGS.
  - BEAMS AND HEADERS – SPF #2 OR BETTER U.N.O.
  - POSTS AND TIMBERS – PRESSURE TREATED SPF #2 OR BETTER
  - STRAPPING, BOARDS & MISC. FRAMING – SPF #2 OR BETTER U.N.O.
- 1.2 NAILS, SPIKES, AND STAPLES TO CONFORM TO CSA STANDARD B111.
- 1.3 ALL NAILS FOR STRUCTURAL WORK SHALL BE COMMON WIRE NAILS U.N.O.
- 1.4 ALL FASTENERS (HANGERS, CLIPS, SCREWS, BOLTS, WASHERS, ETC.) IN CONTACT WITH PRESSURE TREATED WOOD TO BE STAINLESS STEEL OR HOT DIP GALVANIZED. DO NOT MIX STAINLESS STEEL AND HOT DIP GALVANIZED IN THE SAME CONNECTION.
- 1.5 MANUFACTURED WOOD JOISTS, BEAMS AND TRUSSES:
  - a) ALL MANUFACTURED WOOD JOISTS, BEAMS AND TRUSSES TO BE DESIGNED BY SUPPLIER AND THE SHOP DRAWINGS TO BE PROVIDED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. U.N.O. SHOP DRAWINGS MUST HAVE A PROFESSIONAL ENGINEER'S SEAL ON ALL PAGES. THE ENGINEER MUST BE LICENSED IN THE PROVINCE OF ALBERTA, AND SHALL BE RESPONSIBLE FOR SUPERVISION OF JOIST/TRUSS FABRICATION AND INSTALLATION (COMPLETE FLOOR/ROOF SYSTEM INCLUDING JOISTS/TRUSSES, HANGERS, BRACING ETC. TO BE DESIGNED BY SUPPLIER).
  - b) JOIST/TRUSS SUPPLIER SHALL BE RESPONSIBLE FOR ALL FRAMING FOR ADDITIONAL MECHANICAL LOADS AND OPENINGS AS REQUIRED. COORDINATE WITH THE OWNER FOR SIZE AND LOCATIONS OF ALL OPENINGS.
  - c) ACCESSORIES: ALL ACCESSORIES REQUIRED FOR ERECTION INCLUDING BRACING, BRIDGING, BLOCKING, METAL BEARING HARDWARE, ROOF TRUSS TIE DOWN ANCHORS (HURRICANE CLIPS) AND CROSS BRACING MUST BE DESIGNED AND SUPPLIED BY THE JOIST/TRUSS SUPPLIER.
  - d) LIVE LOAD DEFLECTION L/480 FOR FLOOR JOISTS AND TRUSSES (IF APPLICABLE) TO A MAXIMUM OF 3/8" (10 mm) AND L/360 FOR ROOF TRUSSES. CANTILEVER JOISTS LIVE LOAD DEFLECTION 2L/480.
  - e) LUMBER: MACHINE STRESS RATED OR LAMINATED VENEER. MOISTURE CONTENT 19% AT TIME OF MANUFACTURE.
  - f) JOIST/TRUSS SUPPLIERS ENGINEER TO PROVIDE A CERTIFICATE INDICATING THAT THE FLOOR/ROOF SYSTEM IS FABRICATED AND INSTALLED IS IN ACCORDANCE WITH THE DESIGN.
  - g) JOIST SUPPLIER SHALL BE RESPONSIBLE FOR THE DESIGN OF CONNECTIONS TO TIMBER WALLS AND OTHER MISCELLANEOUS DETAILS.
  - h) ALL MANUFACTURED JOIST PRODUCTS SHALL BE DESIGNED TO VIBRATION CRITERIA 4.1.1.6 AND 9.23.4 OF THE NATIONAL BUILDING CODE OR DESIGNED TO LOCAL CODE REQUIREMENTS, WHICHEVER IS MORE STRINGENT. FRAMING MUST BE DESIGNED TO MEET VIBRATION REQUIREMENTS.
- 1.6 ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS.

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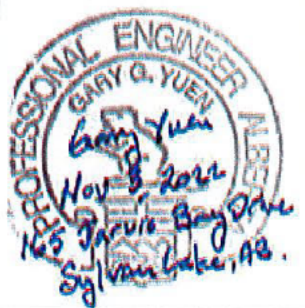
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## REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



## PROJECT:

RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

## DRAWING:

GENERAL  
NOTES CONT.

DWG. NO.

A1.1



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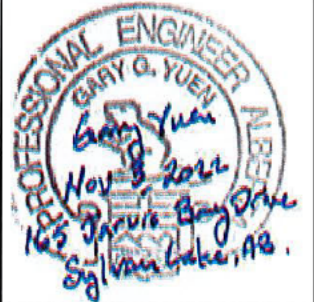
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DRAWING:

SCHEDULES

DWG. NO.

A1.2

## OPENING(S) SCHEDULE

MARK	LOCATION	QTY.	WIDTH	HEIGHT	TYPE	HINGE
D1	EXTERIOR DOOR	1	3'-0"	6'-8"	SINGLE DOOR - INSWING	LHH
D2	EXTERIOR/INTERIOR DOOR	2	3'-0"	6'-8"	SINGLE DOOR - INSWING	RHH
D3	PANTRY	1	2'-8"	6'-8"	SINGLE DOOR - OUTSWING	RHH
D4	BEDROOM	3	2'-8"	6'-8"	SINGLE DOOR - OUTSWING	LHH
D5	BATHROOM	1	2'-6"	6'-8"	SINGLE DOOR - OUTSWING	RHH
D6	BEDROOM	3	2X2'-0"	6'-8"	BI-FOLD DOORS	
D7	BATHROOM	1	1'-6"	6'-8"	LINEN CLOSET DOOR - OUTSWING	LHH
D8	SHOP OVERHEAD DOOR	1	14'-0"	9'-0"	THERMALEX OVERHEAD DOOR C/W ELECTRIC OPERATOR	
D9	SHOP OVERHEAD DOOR	1	14'-0"	14'-0"	THERMALEX OVERHEAD DOOR C/W ELECTRIC OPERATOR	
G1	EXTERIOR WALL	16	36"	30"	PVC WINDOW - SLIDER	
G2	EXTERIOR WALL	2	36"	30"	PVC WINDOW - PICTURE	

## FLOOR SCHEDULE

F-1	MAIN FLOOR
	- 6" CONCRETE SLAB-ON-GRADE (SHOP)
	15M @ 16" O.C. EACH WAY MID-DEPTH
	- 4" CONCRETE SLAB-ON-GRADE (RESIDENCE)
	10M @ 16" O.C. EACH WAY MID-DEPTH
	- 6MIL POLY VAPOR BARRIER
	- 6" LAYER 3/4" CRUSHED GRAVEL BASE

## WALL SCHEDULE

W-1	EXTERIOR WALL SHOP
	- HARDIEPLANK WALL CLADDING
	- TYVEK HOMEWRAP OR APPROVED EQUAL
	- 2X6 STRAPPING @ 24" O.C. EXTERIOR
	- 2X8 4PLY LAMINATE POSTS @ 60" O.C. (U.N.O.)
	- R28 ROXUL INSULATION
	- 6MIL POLY VAPOR BARRIER
	- 2X4 STRAPPING @ 24" O.C. INTERIOR
	- 29 GA. TUFF RIB METAL CLADDING

## FLOOR SCHEDULE

F-2	UPPER FLOOR
	- FLOOR FINISH
	- 3/4" T&G PLYWOOD SHEATHING
	- PRE-ENGINEERED FLOOR JOISTS BY OTHERS
	- 1/2" G.W.B.

## WALL SCHEDULE

W-2	EXTERIOR WALL RESIDENCE
	- HARDIEPLANK WALL CLADDING
	- TYVEK HOMEWRAP OR APPROVED EQUAL
	- 2X6 STRAPPING @ 24" O.C. EXTERIOR
	- 2X8 4PLY LAMINATE POSTS @ 60" O.C. (U.N.O.)
	- R28 SPRAY FOAM INSULATION
	- 6MIL POLY VAPOR BARRIER
	- 2X4 STRAPPING @ 24" O.C. INTERIOR
	- 1/2" G.W.B. TO INTERIOR PARTITION WALLS

## ROOF SCHEDULE

R-1	SHOP ROOF
	- 26 GA. TUFF RIB METAL CLADDING
	- 2X6 STRAPPING @ 24" O.C. EXTERIOR
	- PRE-ENGINEERED TRUSSES BY OTHERS
	- R40 BLOWN-IN INSULATION
	- 6MIL VAPOUR BARRIER
	- 29 GA. TUFF RIB METAL CLADDING

## WALL SCHEDULE

W-3	DEMISING WALL SHOP/RESIDENCE 1HR RATED
	- 29 GA. TUFF RIB METAL CLADDING (SHOP)
	- 5/8" TYPE 'X' G.W.B.
	- 2X4 STRAPPING @ 24" O.C. BOTH FACES
	- 2X8 4PLY LAMINATE POSTS @ 60" O.C. (U.N.O.)
	- R28 ROXUL INSULATION
	- 5/8" TYPE 'X' G.W.B. (RESIDENCE)

## ROOF SCHEDULE

R-2	RESIDENCE ROOF
	- 26 GA. TUFF RIB METAL CLADDING
	- 2X6 STRAPPING @ 24" O.C. EXTERIOR
	- PRE-ENGINEERED VAULTED TRUSSES BY OTHERS
	- R40 BLOWN-IN INSULATION
	- 6MIL VAPOUR BARRIER
	- 29 GA. TUFF RIB METAL CLADDING

## WALL SCHEDULE

W-4	PARTITION WALL RESIDENCE
	- 1/2" G.W.B.
	- 2-2X4 TOP PLATES
	- 2X4 STUDS @ 24" O.C.
	- 1-2X4 BOTTOM PLATE
	- 1/2" G.W.B.

## POST SCHEDULE

MARK	QTY.	DESCRIPTION	LENGTH
P1	41	4PLY 2X8 POST	24'
TOTAL	41		

## ABBREVIATION LEGEND

B/W	BETWEEN
C/W	COMES WITH OR COMPLETE WITH
I.F./O.F.	INSIDE FACE OR OUTSIDE FACE
LHH/RHH	LEFT OR RIGHT HAND HINGE
O.C.	ON CENTER
R.O.	ROUGH OPENING
TYP.	TYPICAL
U/S	UNDERSIDE
U.N.O.	UNLESS NOTED OTHERWISE



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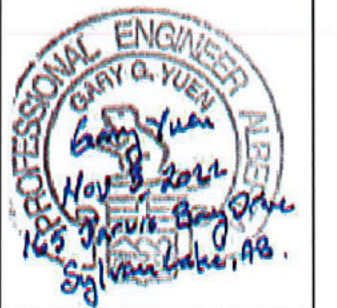
403-334-5956 CUTFORTHSD@OUTLOOK.COM

## REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



## PROJECT:

**RESIDENCE  
& SHOP**  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

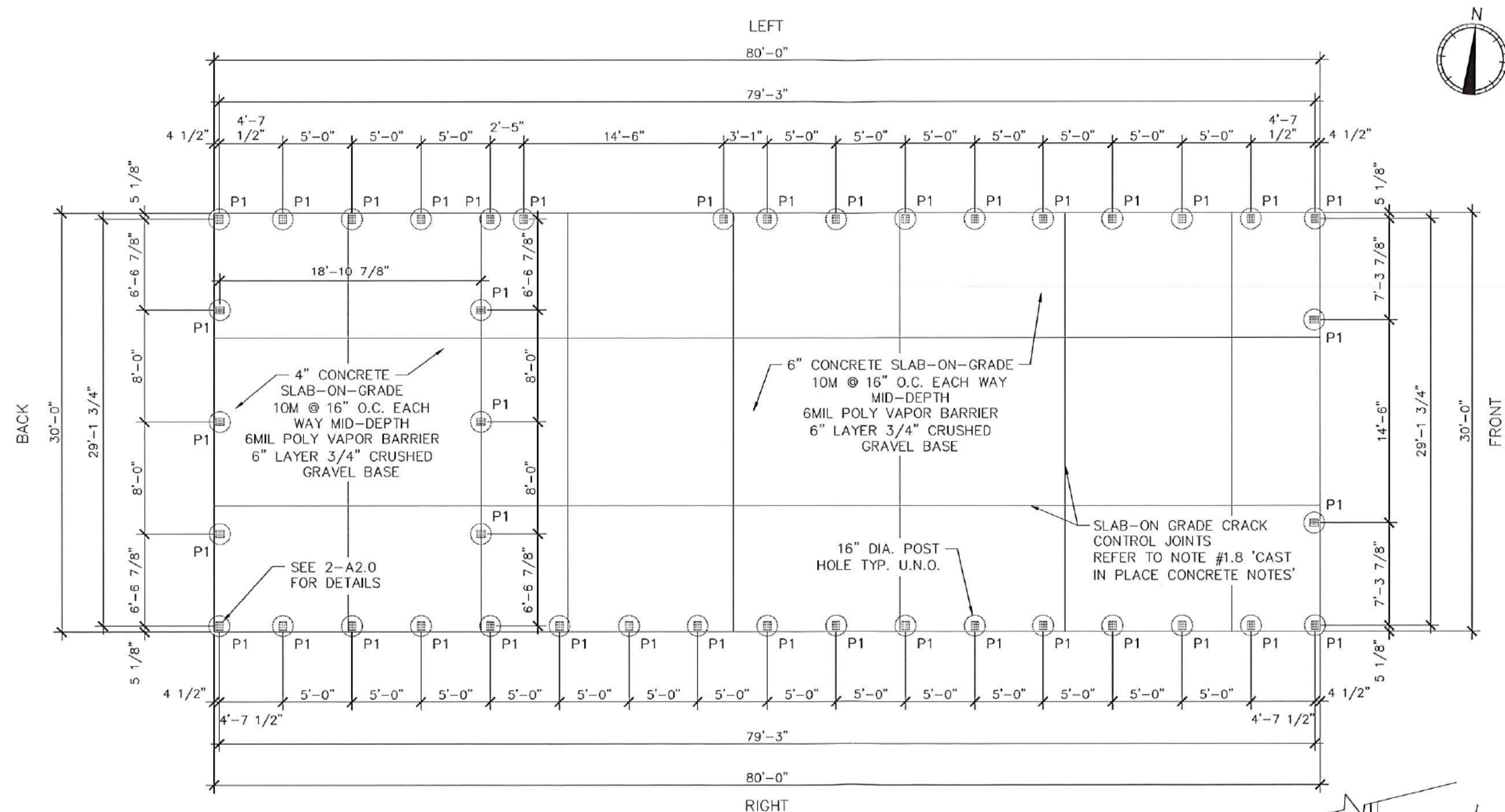
DATE: DEC 15/22

DRAWING:

POST LAYOUT  
POST DETAIL

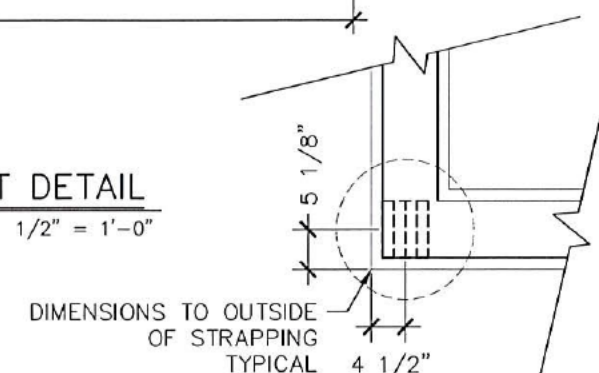
DWG. NO.

A2.0



**1 POST LAYOUT**  
A2.0 SCALE: 1/8" = 1'-0"

**2 POST DETAIL**  
A2.0 SCALE: 1/2" = 1'-0"



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CUTFORTH DRAFTING SERVICES

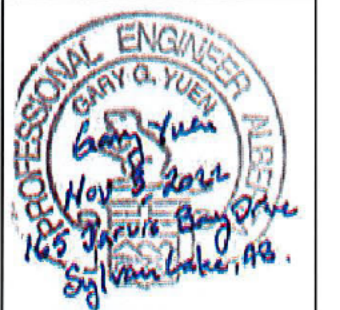
403-334-5956 CUTFORTHSDR@OUTLOOK.COM

REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

**RESIDENCE  
& SHOP**  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

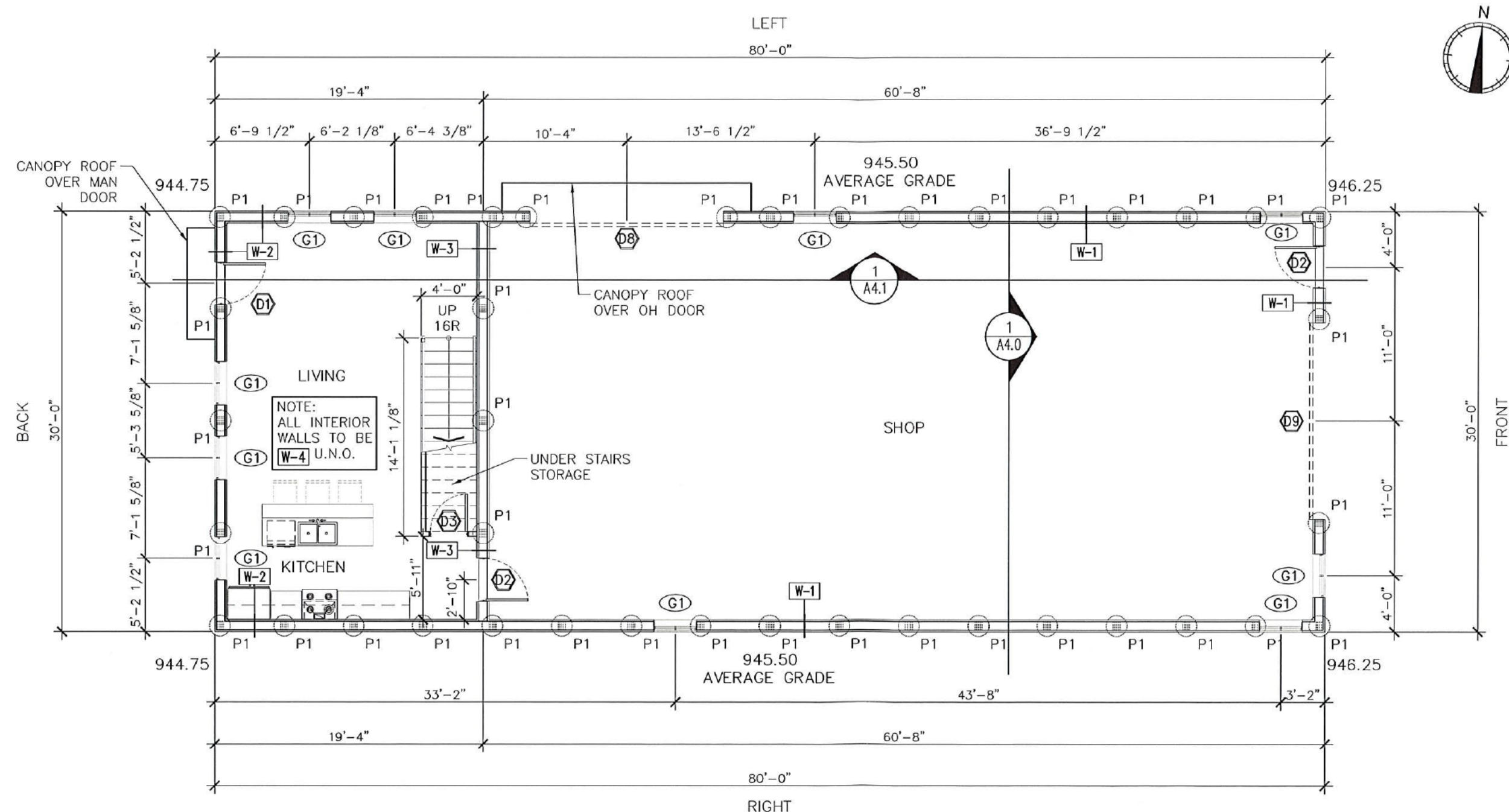
DATE: DEC 15/22

DRAWING:

**MAIN FLOOR  
PLAN**

DWG. NO.

A2.1



# 1 MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"  
RESIDENCE AREA: 580 SQ.FT. (53.8 SQ.M.)  
SHOP AREA: 1,820 SQ.FT. (169 SQ.M.)  
TOTAL AREA MAIN FLOOR: 2,400 SQ.FT. (222.9 SQ.M.)  
UPPER FLOOR AREA: 580 SQ.FT. (53.8 SQ.M.)  
TOTAL LIVABLE AREA: 1,160 SQ.FT. (107.6 SQ.M.)



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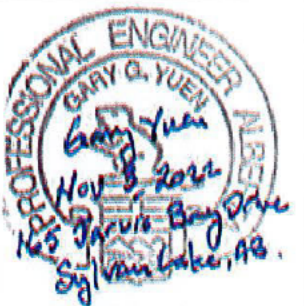
403-334-5956      CUTFORTHSDOUTLOOK.COM

REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

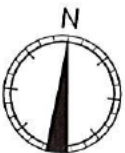
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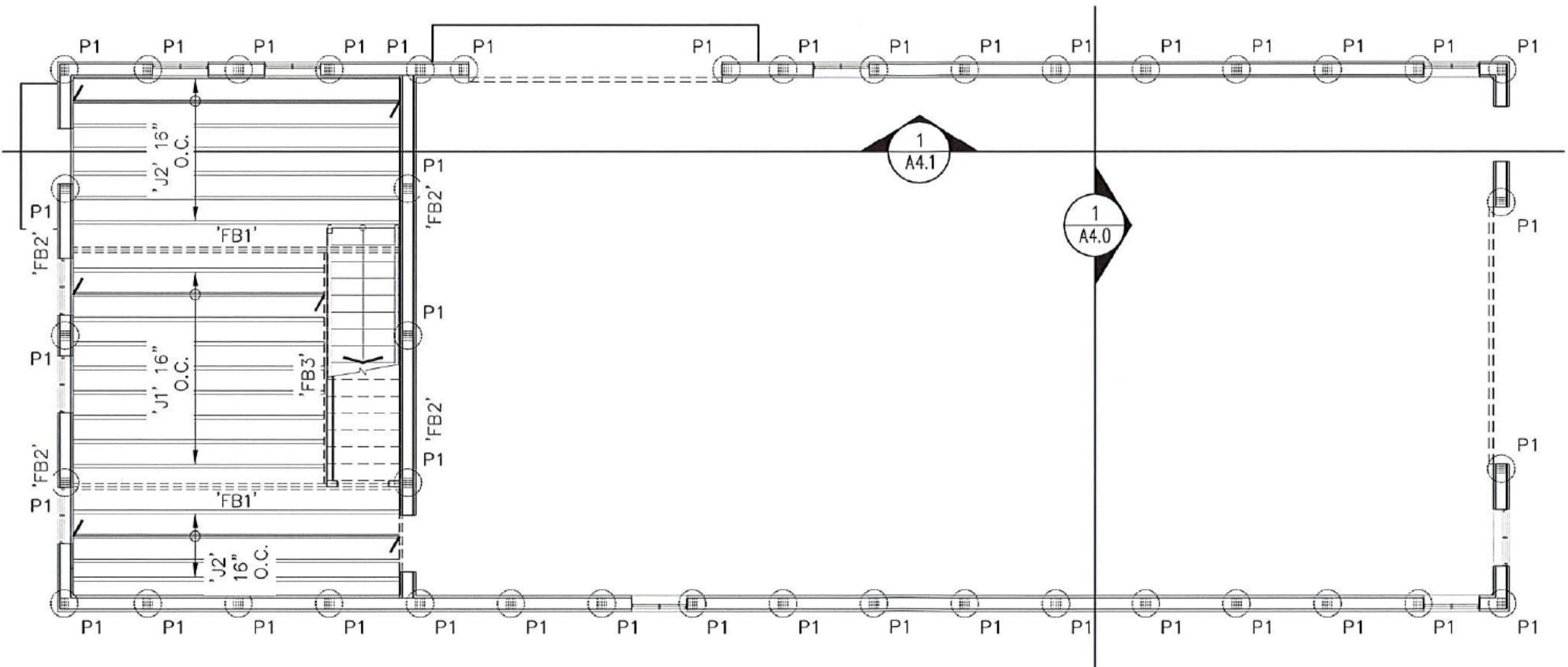
UPPER FLOOR  
FRAMING PLAN

DWG. NO.

A2.2



FLUSH BEAM/JOIST SCHEDULE		
MARK	DESCRIPTION	LENGTH
'FB1'	2PLY 1 3/4"X11 7/8" 3000fb 1.8E WESTFRASER LVL	19-00-00
'FB2'	1PLY 1 3/4"X11 7/8" 3000fb 1.8E WESTFRASER LVL	15-00-00
'FB3'	2PLY 1 3/4"X11 7/8" 3000fb 1.8E WESTFRASER LVL	13-00-00
'J1'	11 7/8" PKI20	16-00-00
'J2'	11 7/8" PKI20	20-00-00



1 UPPER FLOOR FRAMING PLAN  
A2.2 SCALE: 1/8" = 1'-0"

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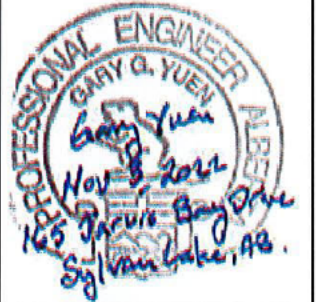
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

**RESIDENCE  
& SHOP**  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

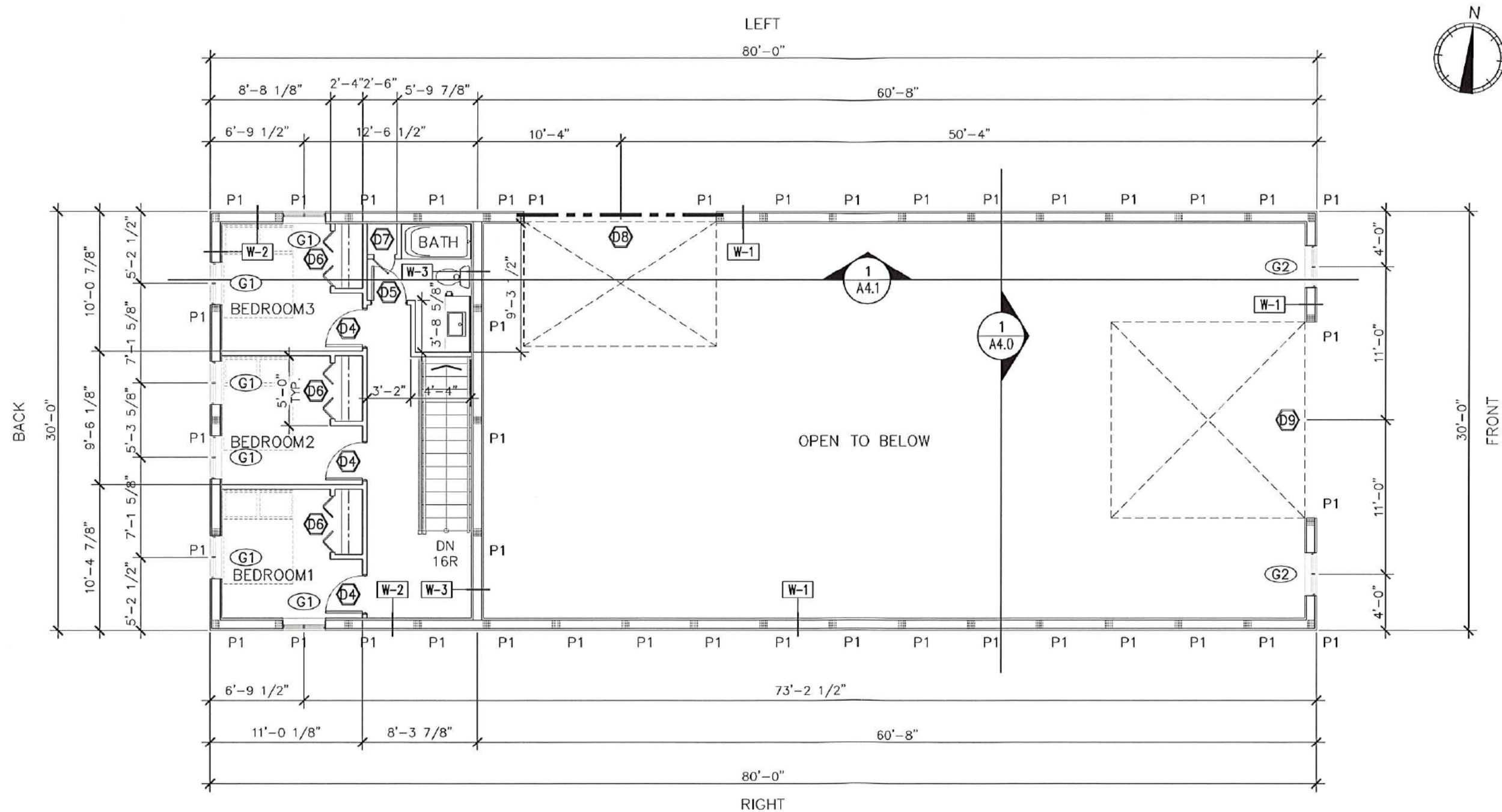
DATE: DEC 15/22

DRAWING:

UPPER FLOOR  
PLAN

DWG. NO.

A2.3



**1 UPPER FLOOR PLAN**  
A2.3 SCALE: 1/8" = 1'-0"  
RESIDENCE AREA: 580 SQ.FT. (53.8 SQ.M.)



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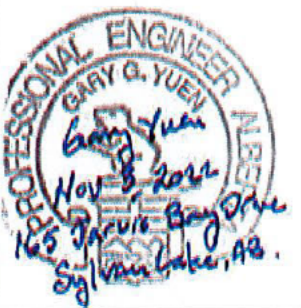
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

DRAWING:

ROOF PLAN

DWG. NO.

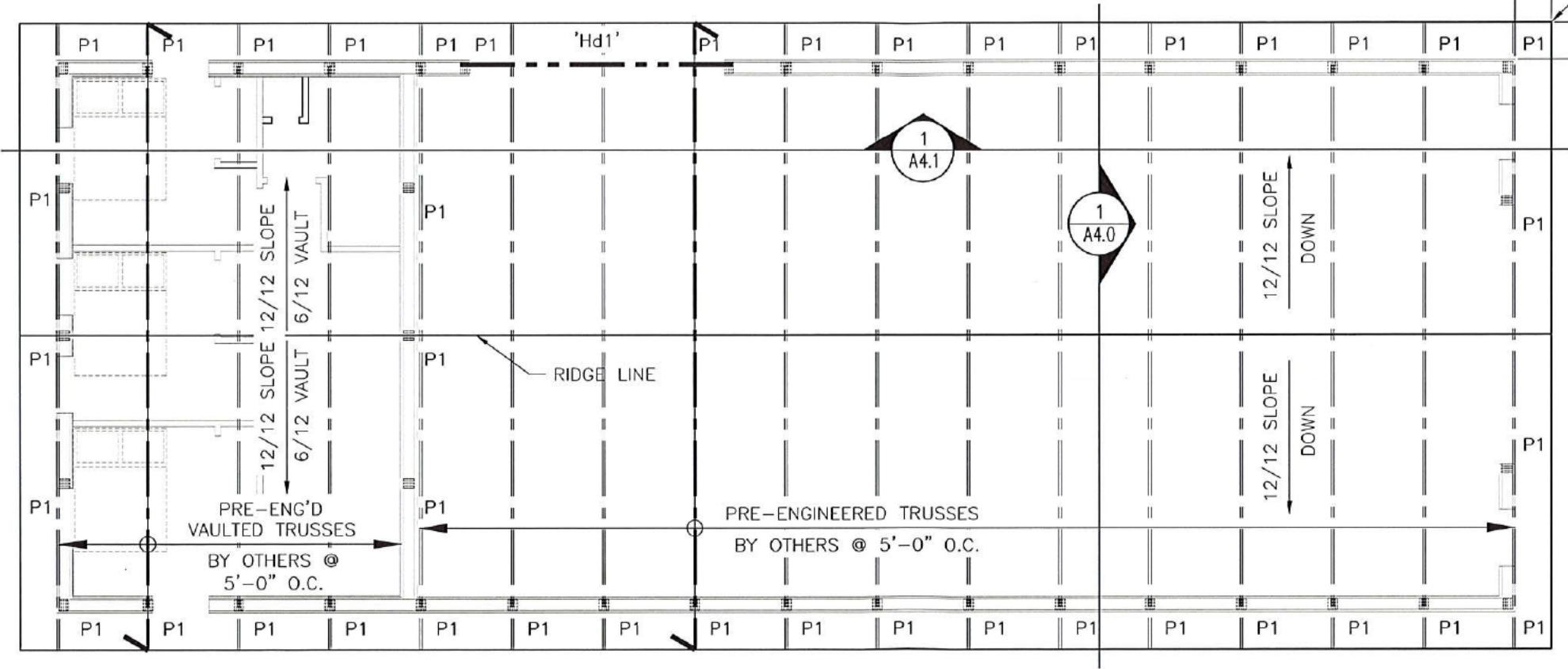
A2.4

LEFT

BEAM/HEADER SCHEDULE				
MARK	DESCRIPTION	JACK/CRIPPLE STUDS	KING STUDS	COMMENTS
'Hd1'	3PLY 1 3/4"X11 7/8" 3000Fb 1.8E WESTFRASER LVL	2-2X8 SPF #2	2-2X8 SPF #2	NORTH WALL OH DOOR LOCATION



2'-0"  
TYP.  
ROOF OVERHANG  
TYPICAL  
2'-0"  
TYP.



RIGHT

1 ROOF PLAN  
A2.4 SCALE: 1/8" = 1'-0"

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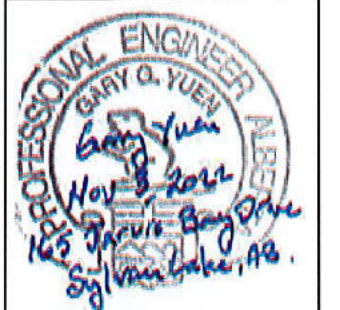
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP  
165 JARVIS BAY  
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QUOTE: 20220348e

CDS FILE: 22-219

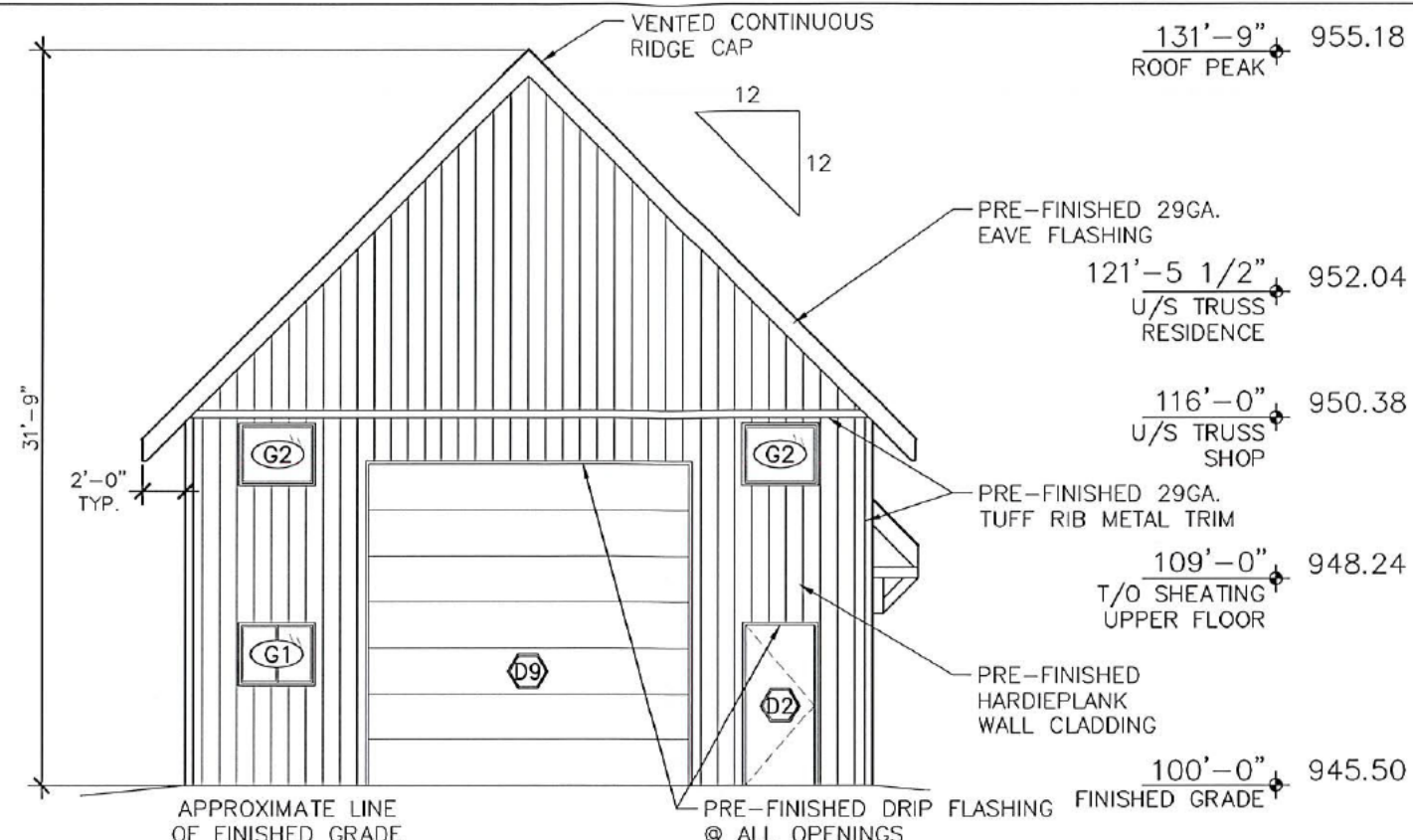
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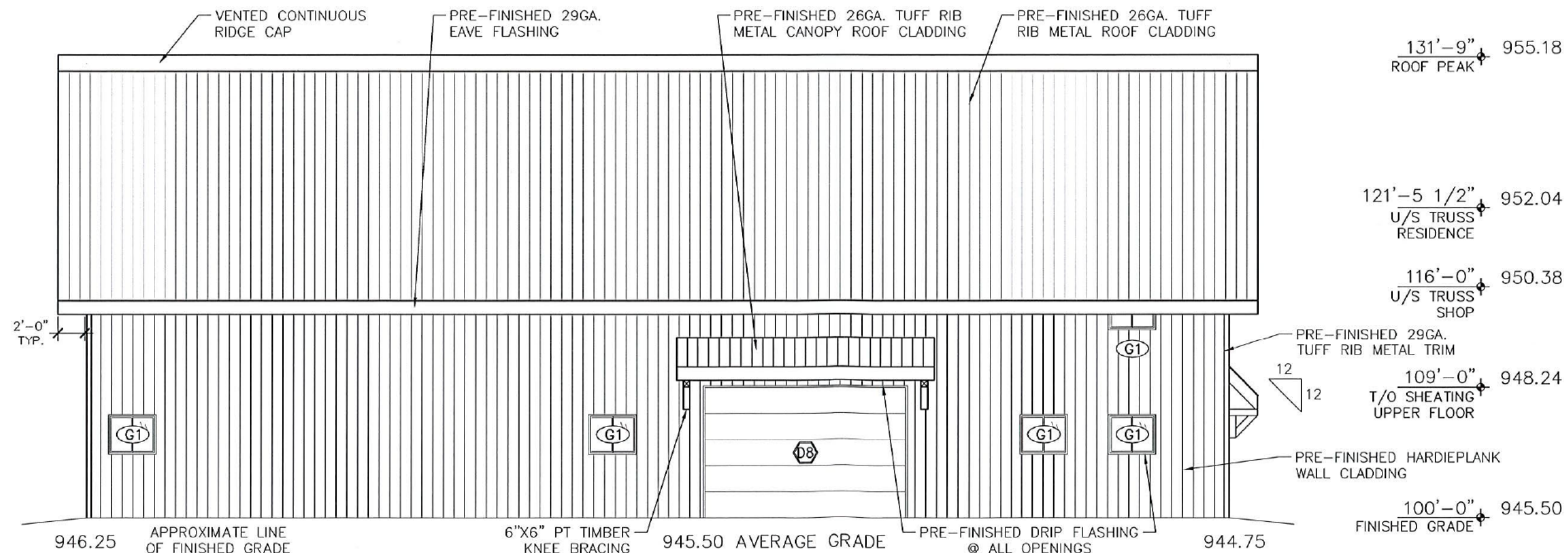
EXTERIOR  
ELEVATIONS

DWG. NO.

A3.0



1 FRONT ELEVATION  
A3.0 SCALE: 1/8" = 1'-0"



2 LEFT ELEVATION  
A3.0 SCALE: 1/8" = 1'-0"



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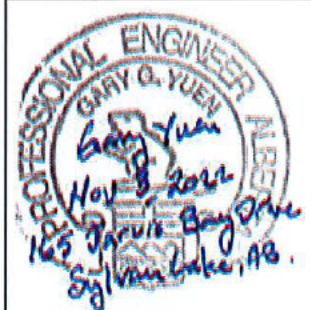
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

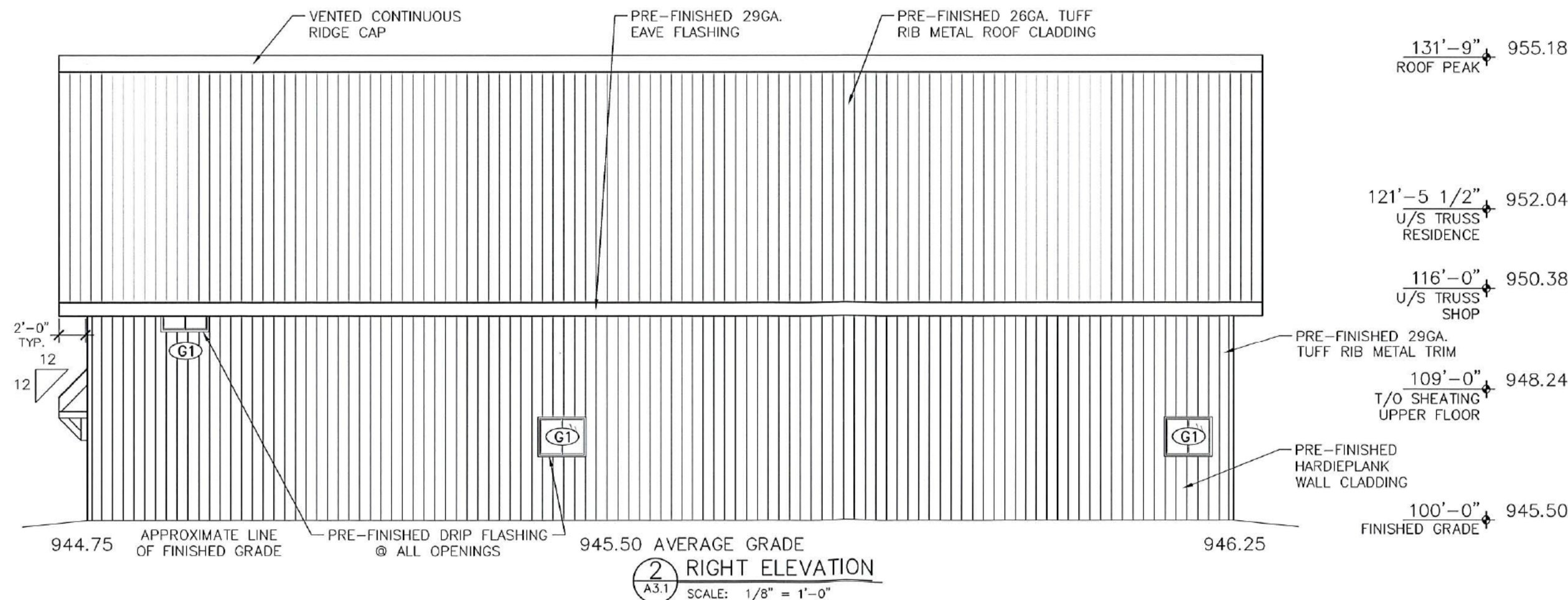
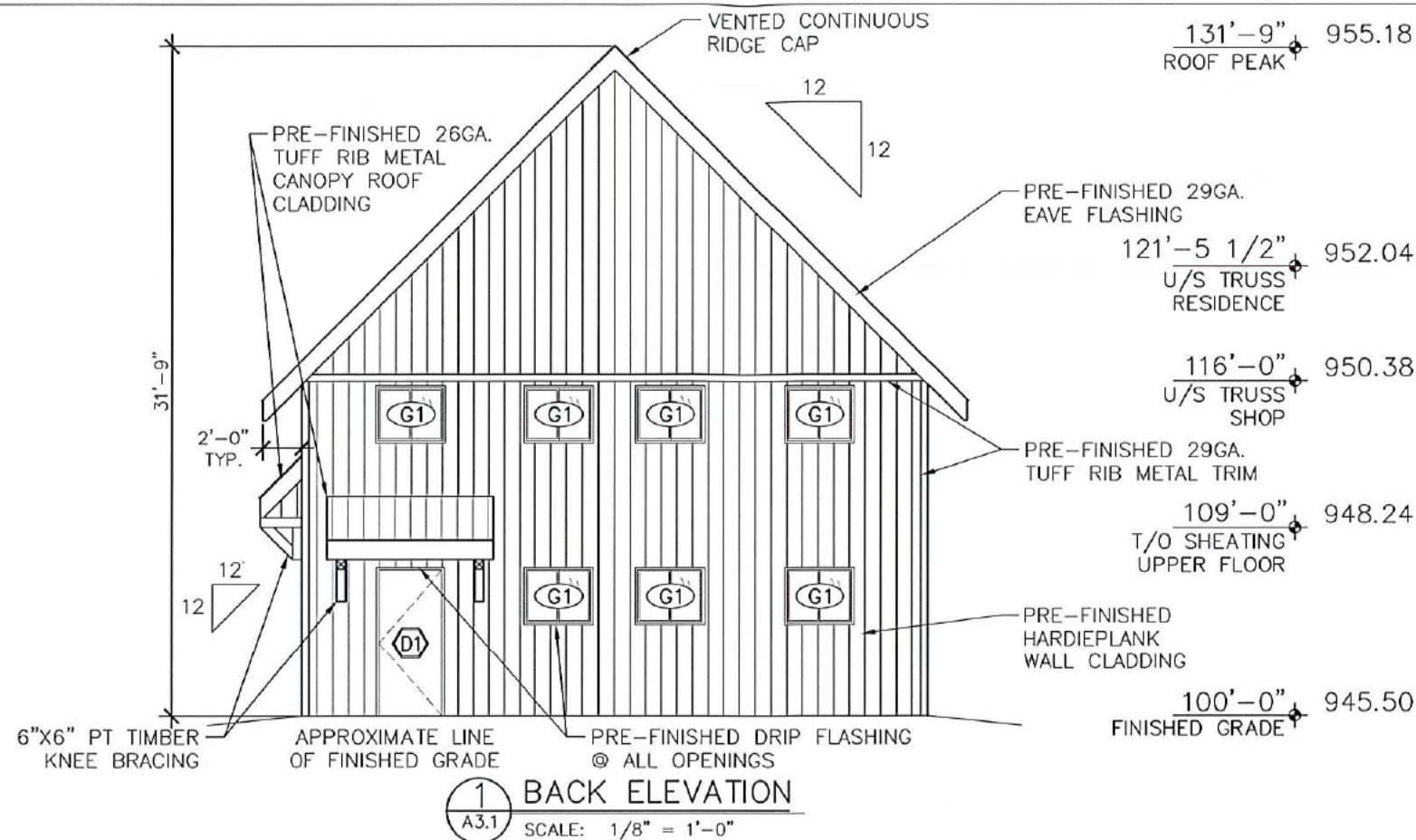
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DRAWING:

EXTERIOR  
ELEVATIONS

DWG. NO.

A3.1





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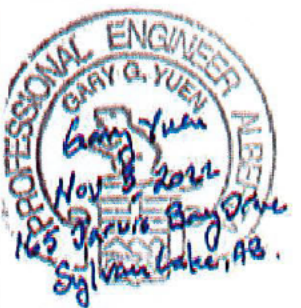
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

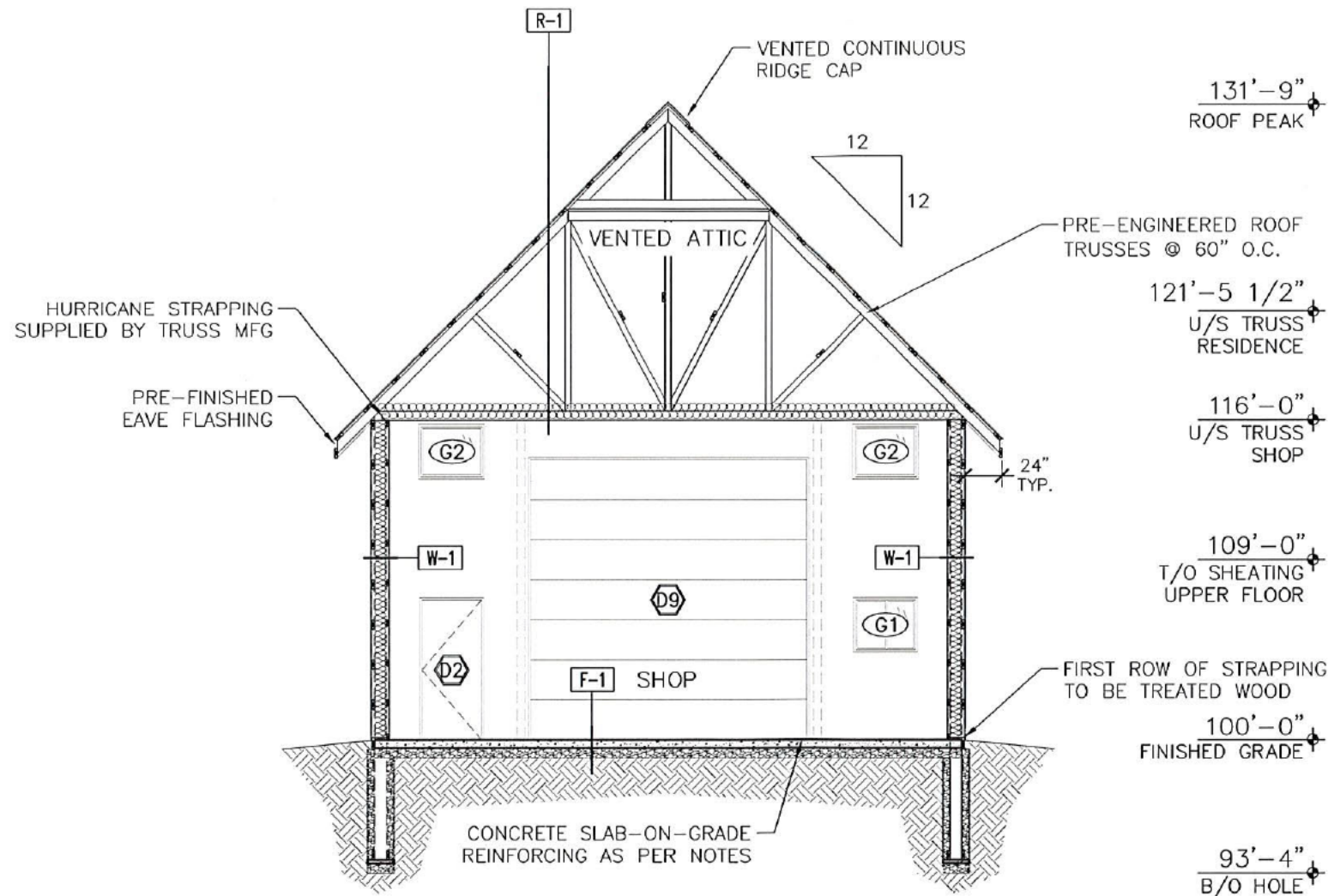
DATE: DEC 15/22

DRAWING:

BUILDING  
SECTION

DWG. NO.

A4.0



1 BUILDING SECTION  
A4.0 SCALE: 1/8" = 1'-0"

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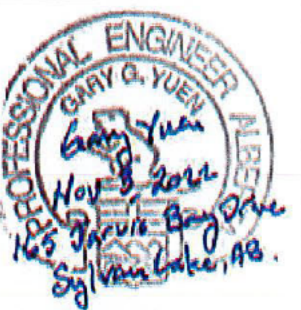
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

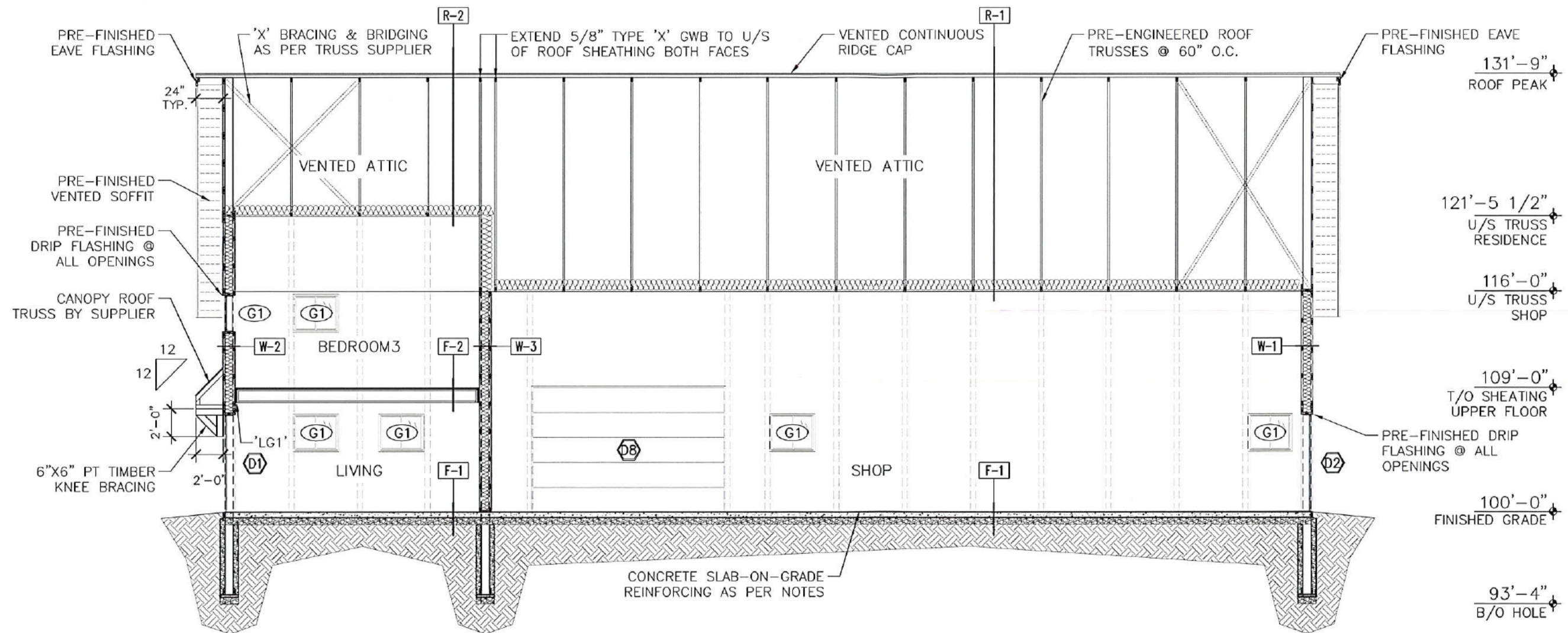
DATE: DEC 15/22

DRAWING:

BUILDING  
SECTION

DWG. NO.

A4.1



1 BUILDING SECTION  
A4.1 SCALE: 1/8" = 1'-0"



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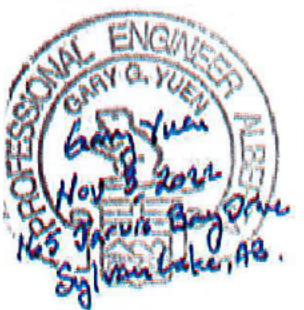
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REVISIONS:

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A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

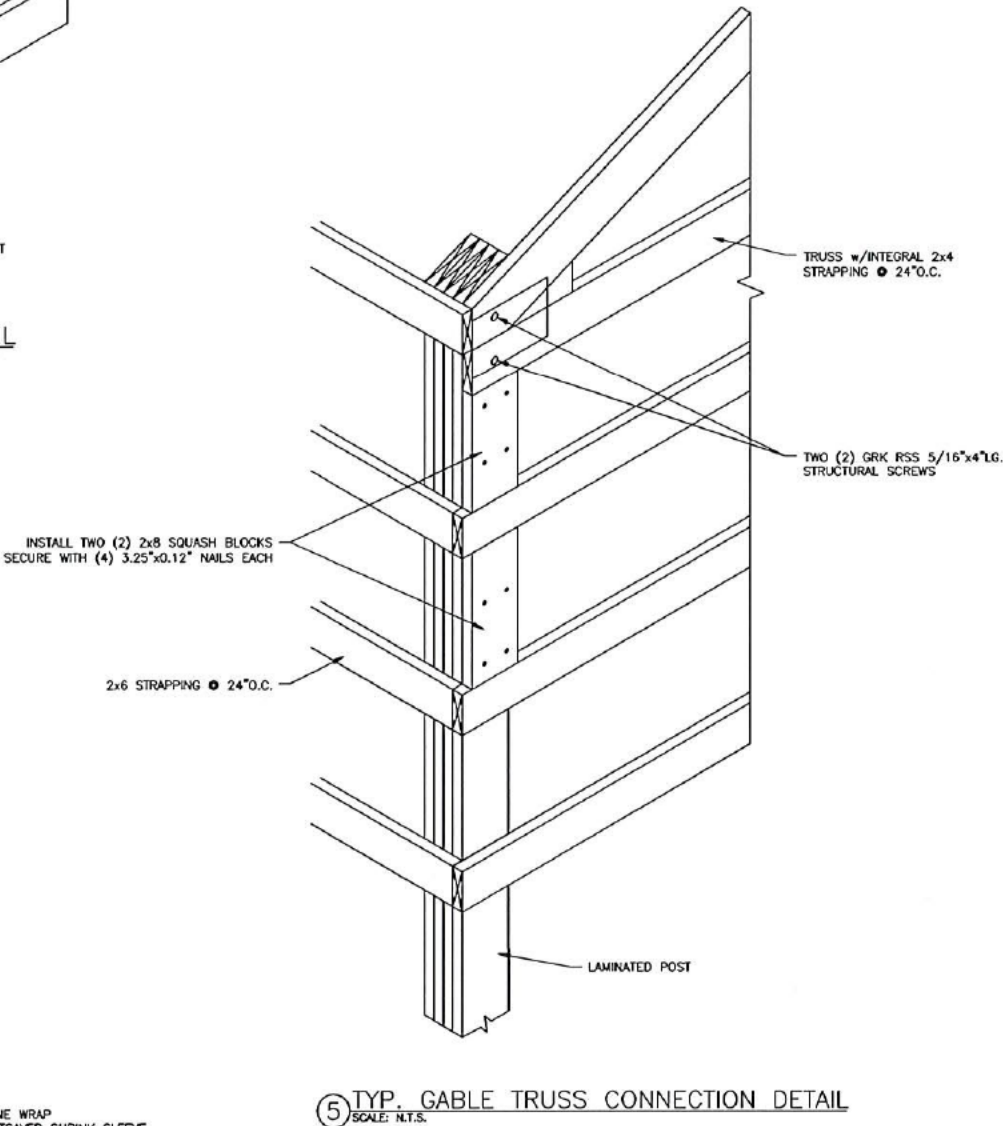
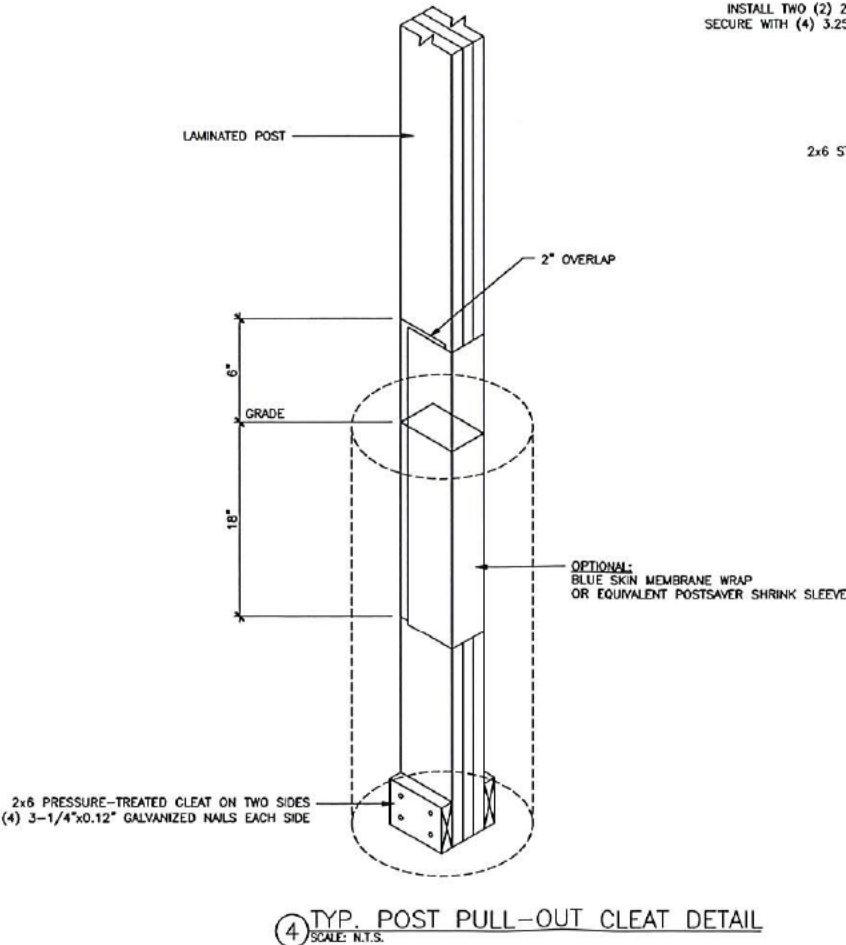
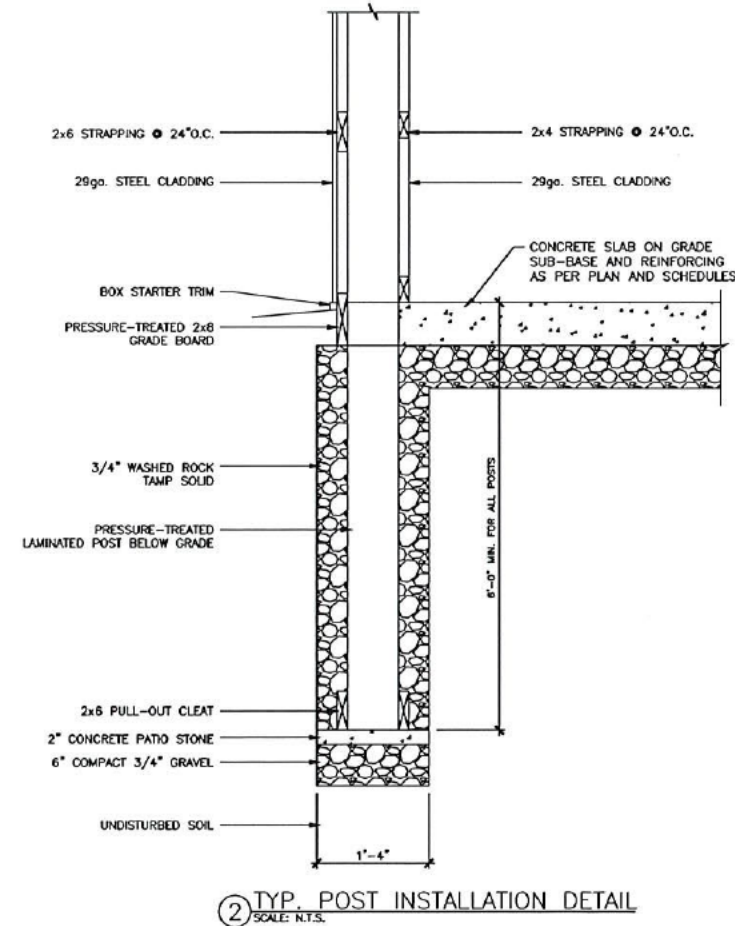
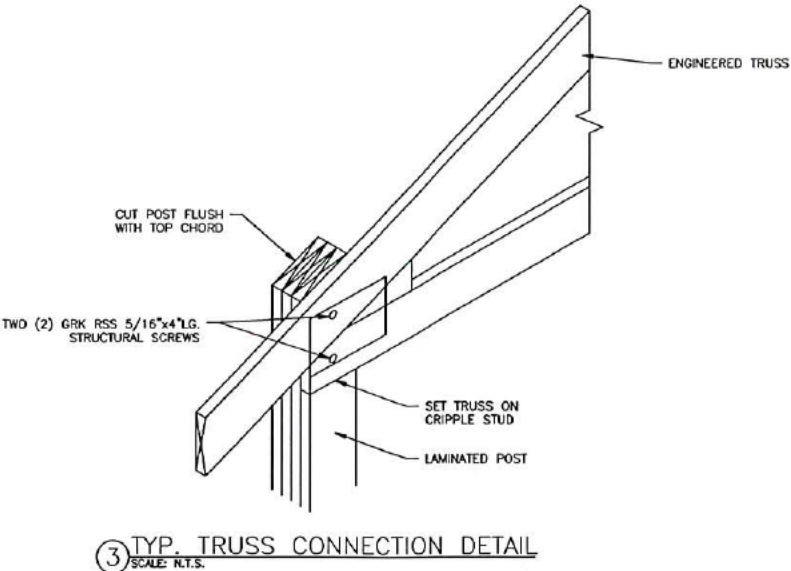
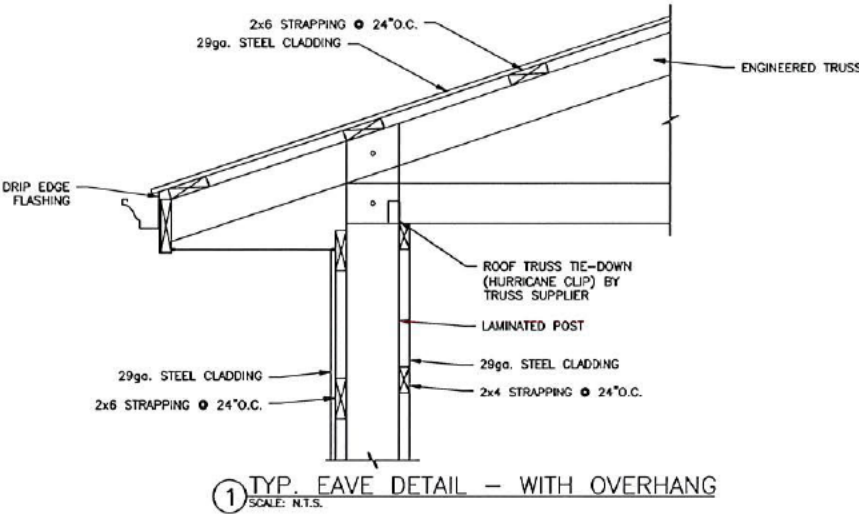
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

DWG. NO.

S1.0



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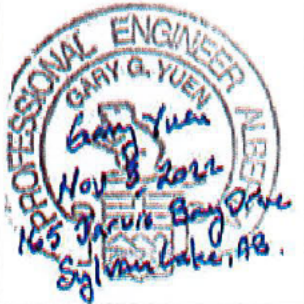
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
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QUOTE: 20220348e

CDS FILE: 22-219

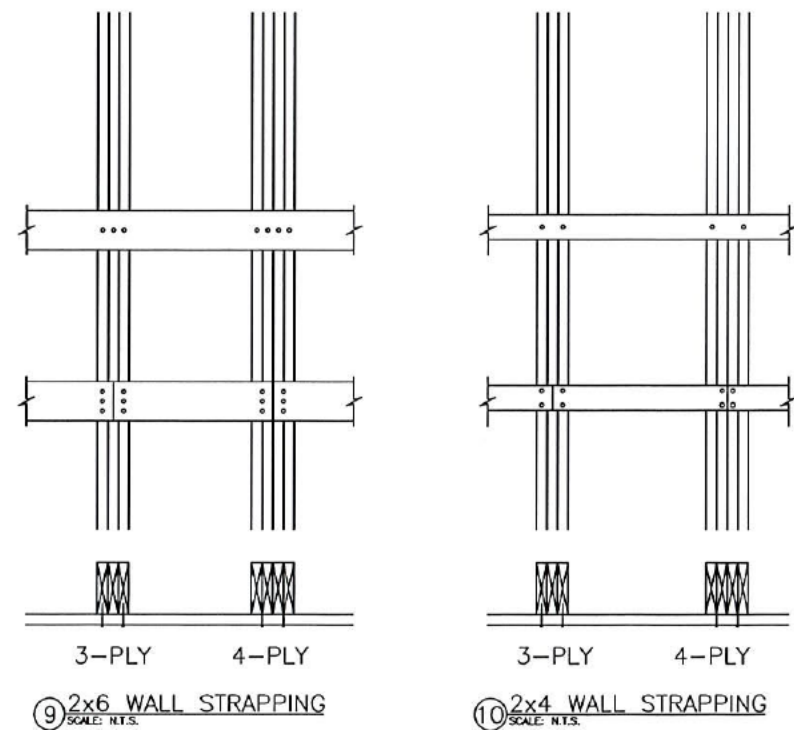
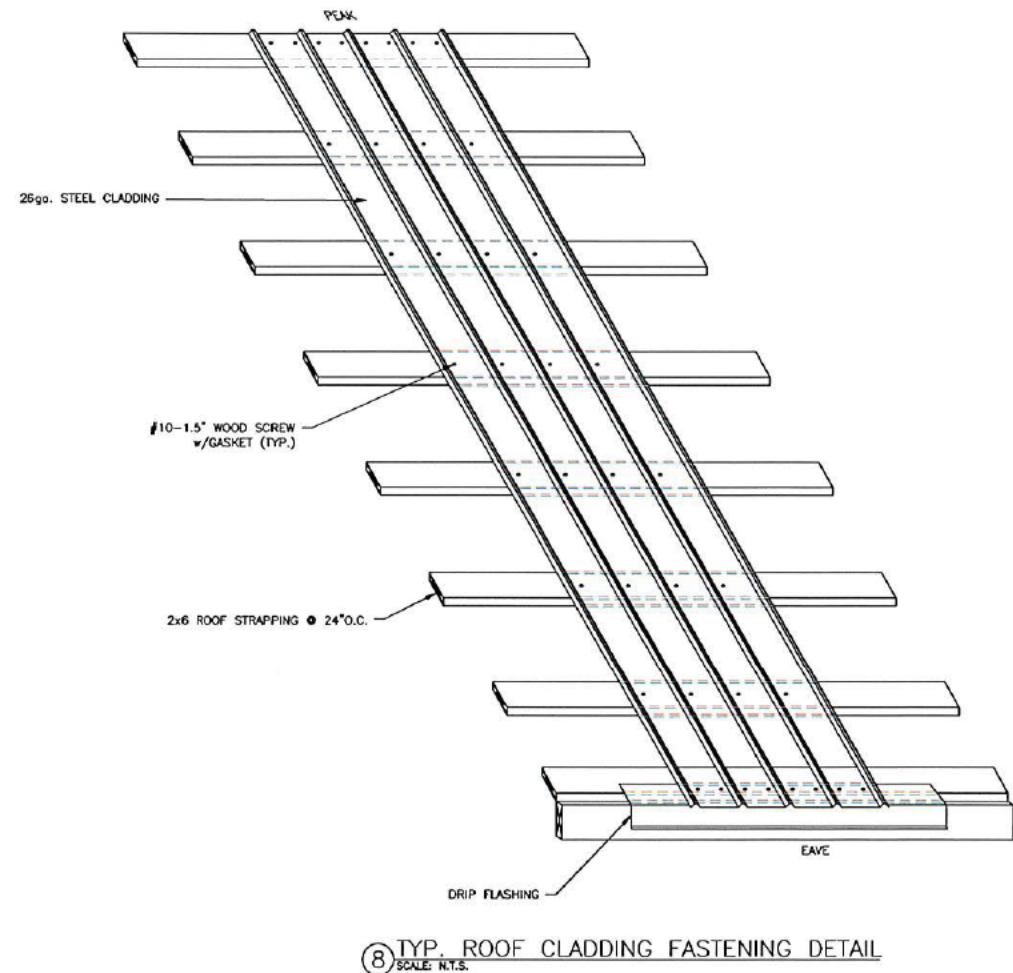
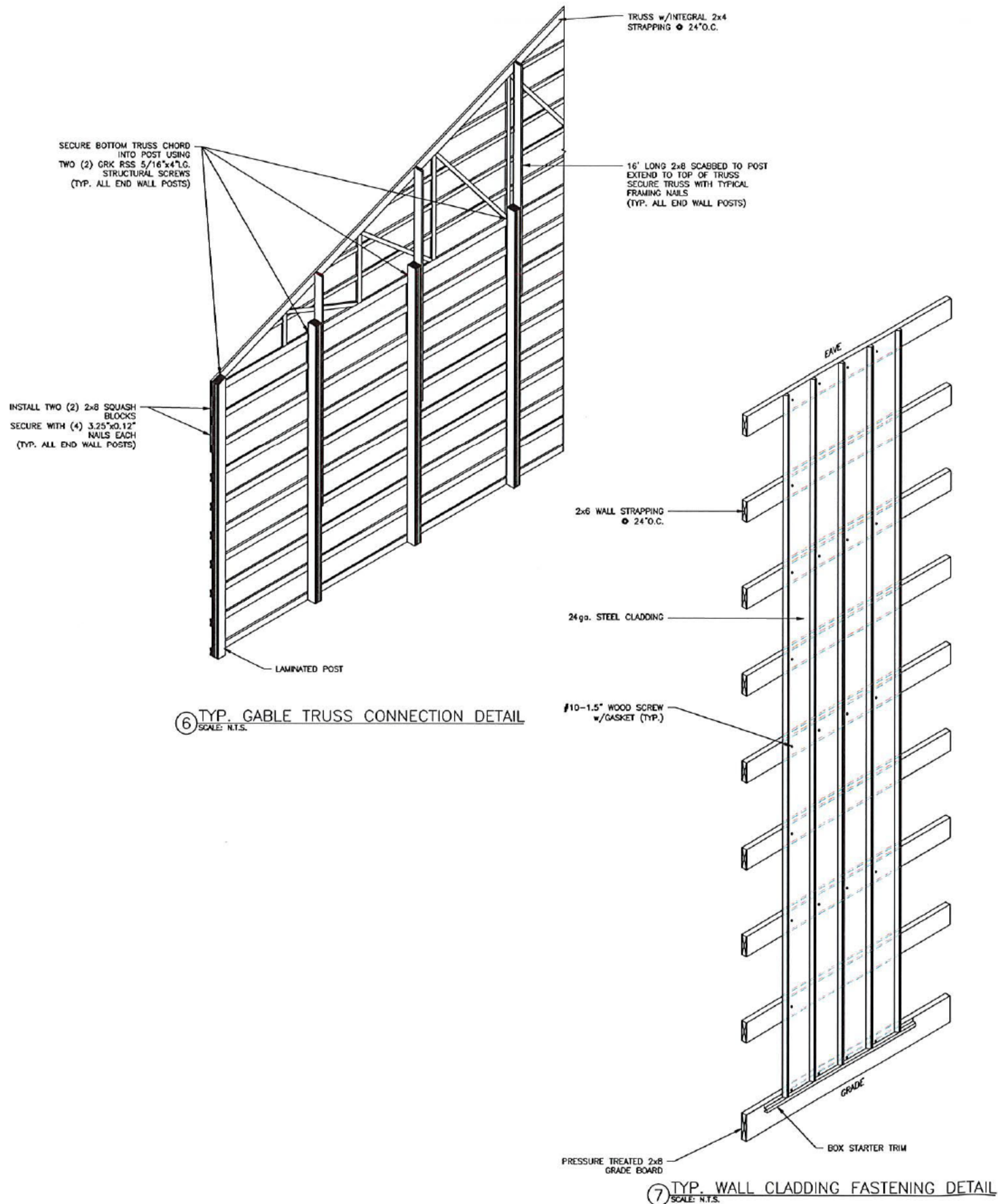
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

DWG. NO.

S1.1





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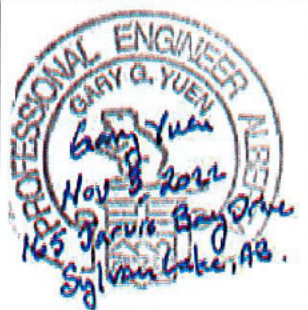
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REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
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QUOTE: 20220348e

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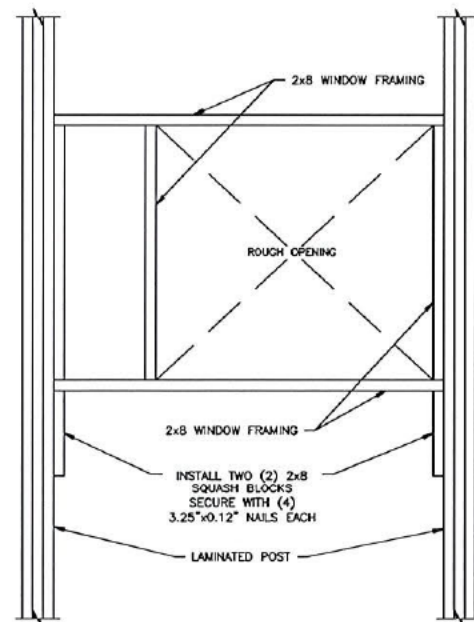
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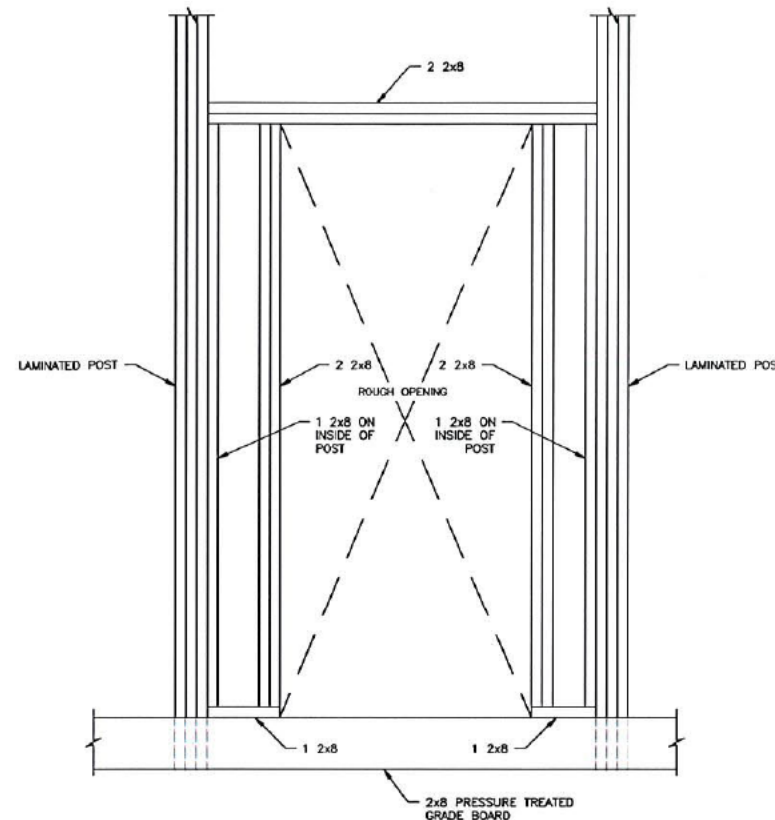
TYPICAL  
DETAILS

DWG. NO.

S1.2

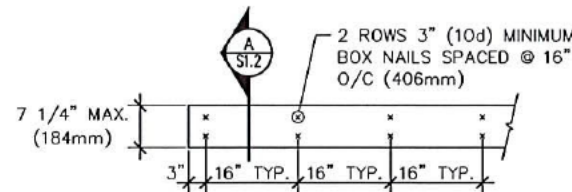


NOTE: STRAPPING NOT SHOWN FOR CLARITY  
1 TYP. WINDOW FRAMING DETAIL  
SCALE: N.T.S.

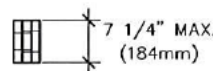


NOTE: STRAPPING NOT SHOWN FOR CLARITY  
2 TYP. MAN DOOR FRAMING DETAIL  
SCALE: N.T.S.

FOR MULTI-PLY WOOD BEAMS UP TO AND INCLUDING DEPTHS OF 7 1/4" (184mm)



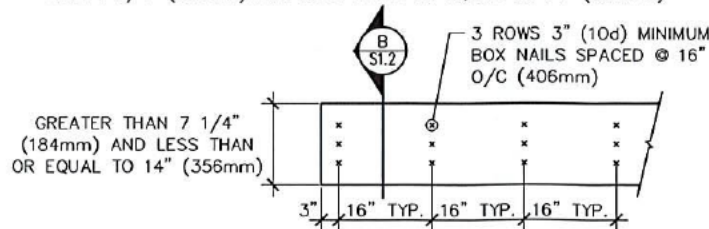
3 MULTI-PLY WOOD BEAM NAILING PATTERNS  
SCALE: N.T.S.



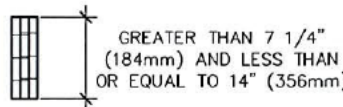
SECTION-TYPICAL NAILING PATTERN FOR MULTI-PLY TOP  
LOADED WOOD BEAMS UP TO 7 1/4" (184mm) DEPTH

A SCALE: N.T.S.  
NOTE: NAILING PATTERN APPLIES ONLY TO FULLY 'TOP LOADED' BEAMS.  
SIDE LOADED BEAMS TO BE REVIEWED BY THE ENGINEER.

FOR MULTI-PLY WOOD BEAMS UP TO AND INCLUDING DEPTHS GREATER  
THAN 7 1/4" (184mm) AND LESS THAN OR EQUAL TO 14" (356mm)



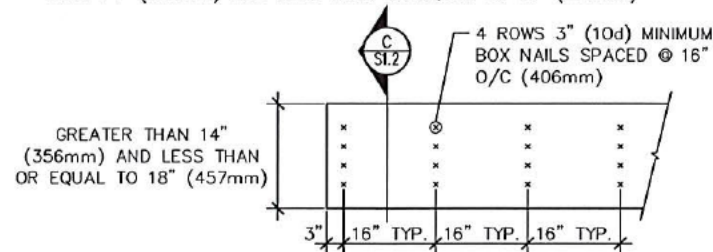
4 MULTI-PLY WOOD BEAM NAILING PATTERNS  
SCALE: N.T.S.



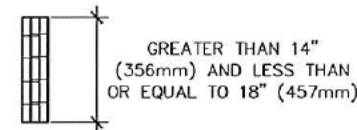
SECTION-TYPICAL NAILING PATTERN FOR MULTI-PLY TOP  
LOADED WOOD BEAMS GREATER THAN 7 1/4" (184mm)  
DEPTH AND LESS THAN OR EQUAL TO 14" (356mm)

B SCALE: N.T.S.  
NOTE: NAILING PATTERN APPLIES ONLY TO FULLY 'TOP LOADED' BEAMS.  
SIDE LOADED BEAMS TO BE REVIEWED BY THE ENGINEER.

FOR MULTI-PLY WOOD BEAMS UP TO AND INCLUDING DEPTHS GREATER  
THAN 14" (356mm) AND LESS THAN OR EQUAL TO 18" (457mm)



5 MULTI-PLY WOOD BEAM NAILING PATTERNS  
SCALE: N.T.S.



SECTION-TYPICAL NAILING PATTERN FOR MULTI-PLY TOP  
LOADED WOOD BEAMS GREATER THAN 14" (356mm)  
DEPTH AND LESS THAN OR EQUAL TO 18" (457mm)

C SCALE: N.T.S.  
NOTE: NAILING PATTERN APPLIES ONLY TO FULLY 'TOP LOADED' BEAMS.  
SIDE LOADED BEAMS TO BE REVIEWED BY THE ENGINEER.

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CUTFORTH DRAFTING SERVICES

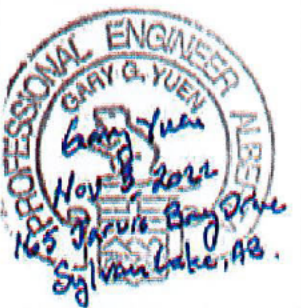
403-334-5956 CUTFORTHDS@OUTLOOK.COM

REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

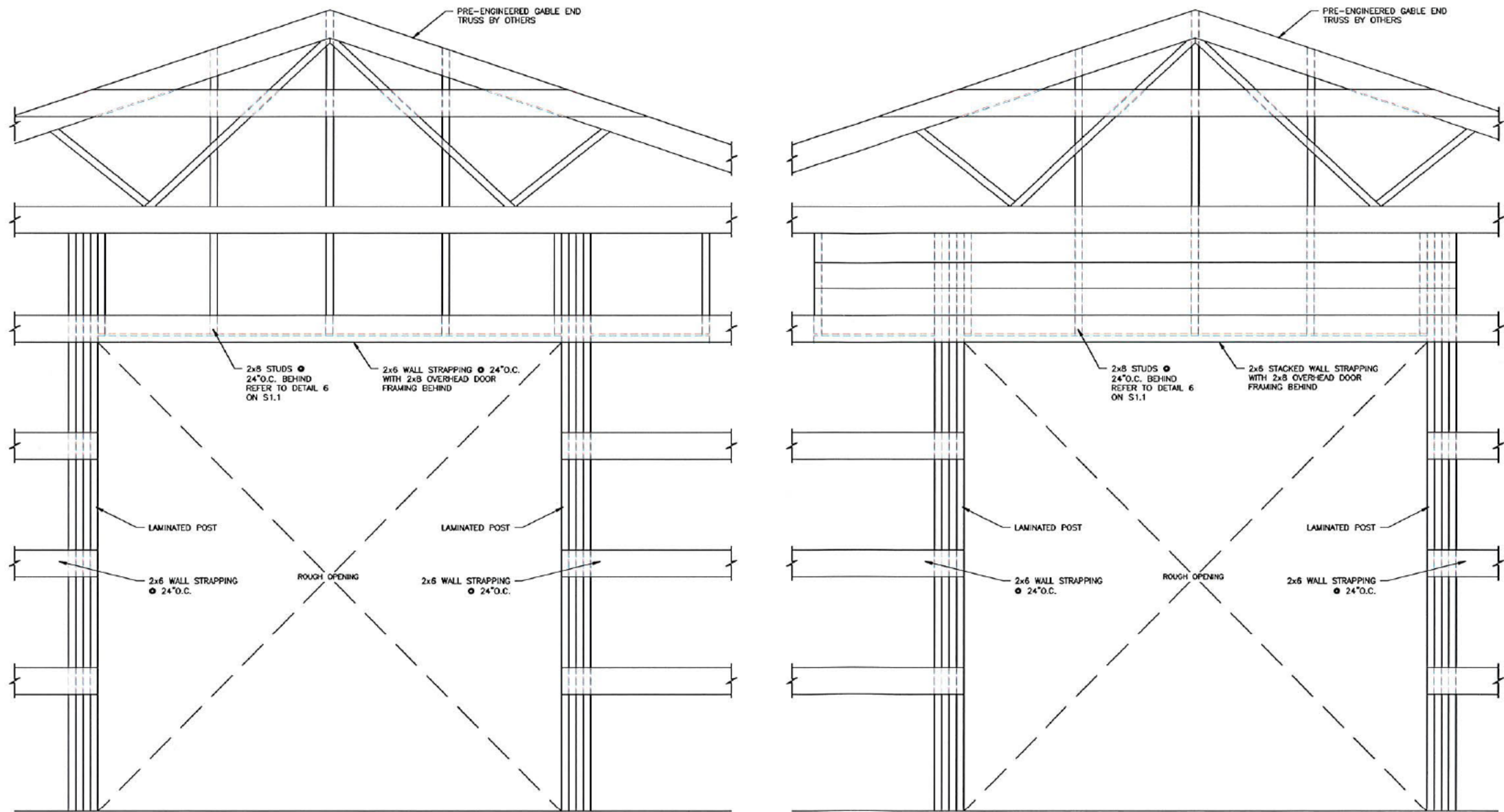
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

DWG. NO.

S1.3



NOTE: REFER ALSO TO DETAIL 6 ON S1.1

16 TYP. OVERHEAD DOOR FRAMING DETAIL AT GABLE END WALLS  
SCALE: N.T.S.



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CUTFORTH DRAFTING SERVICES

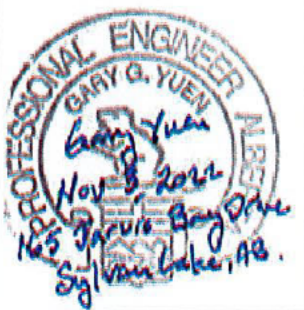
403-334-5956 CUTFORTHDS@OUTLOOK.COM

REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:



RESIDENCE  
& SHOP

165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

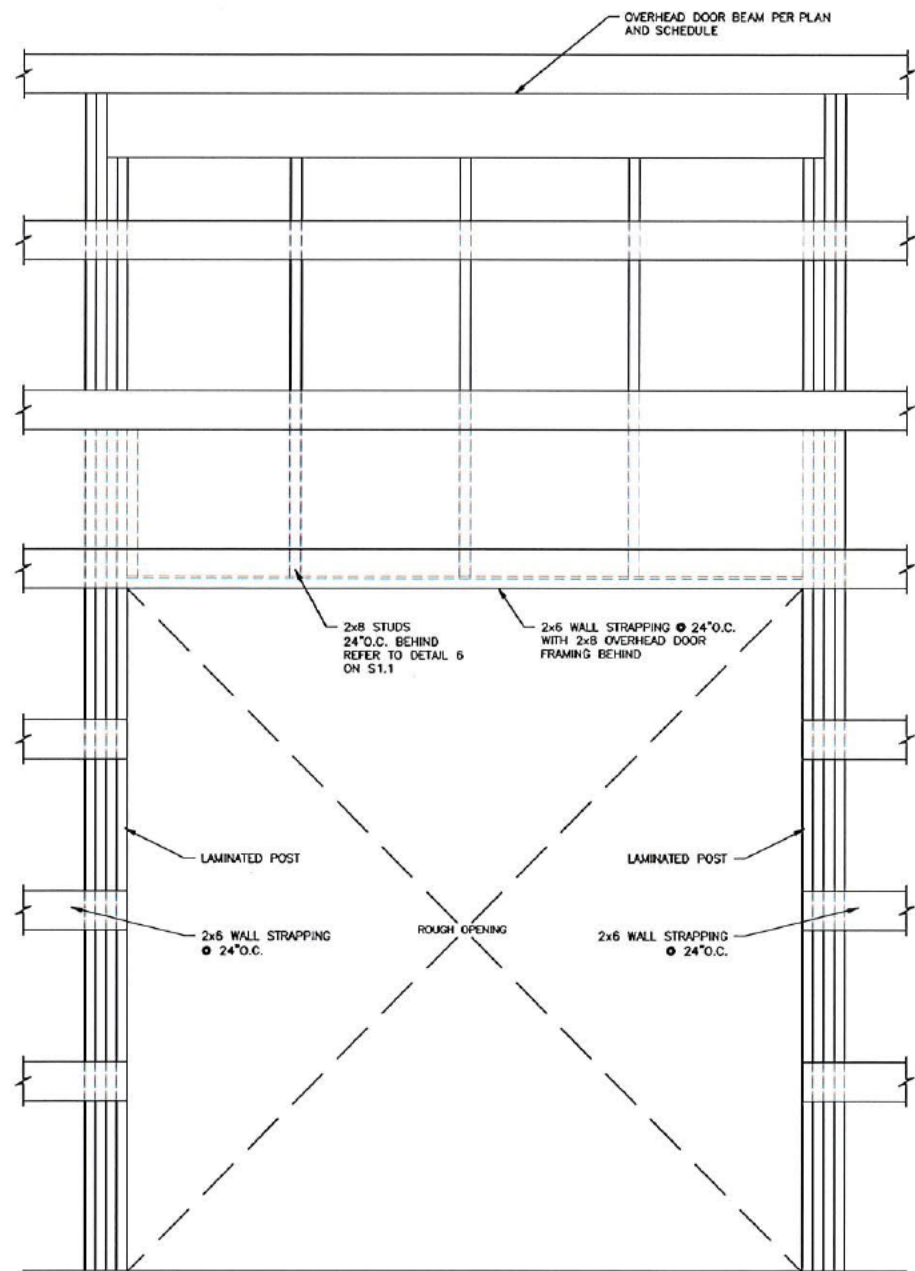
DATE: DEC 15/22

DRAWING:

TYPICAL  
DETAILS

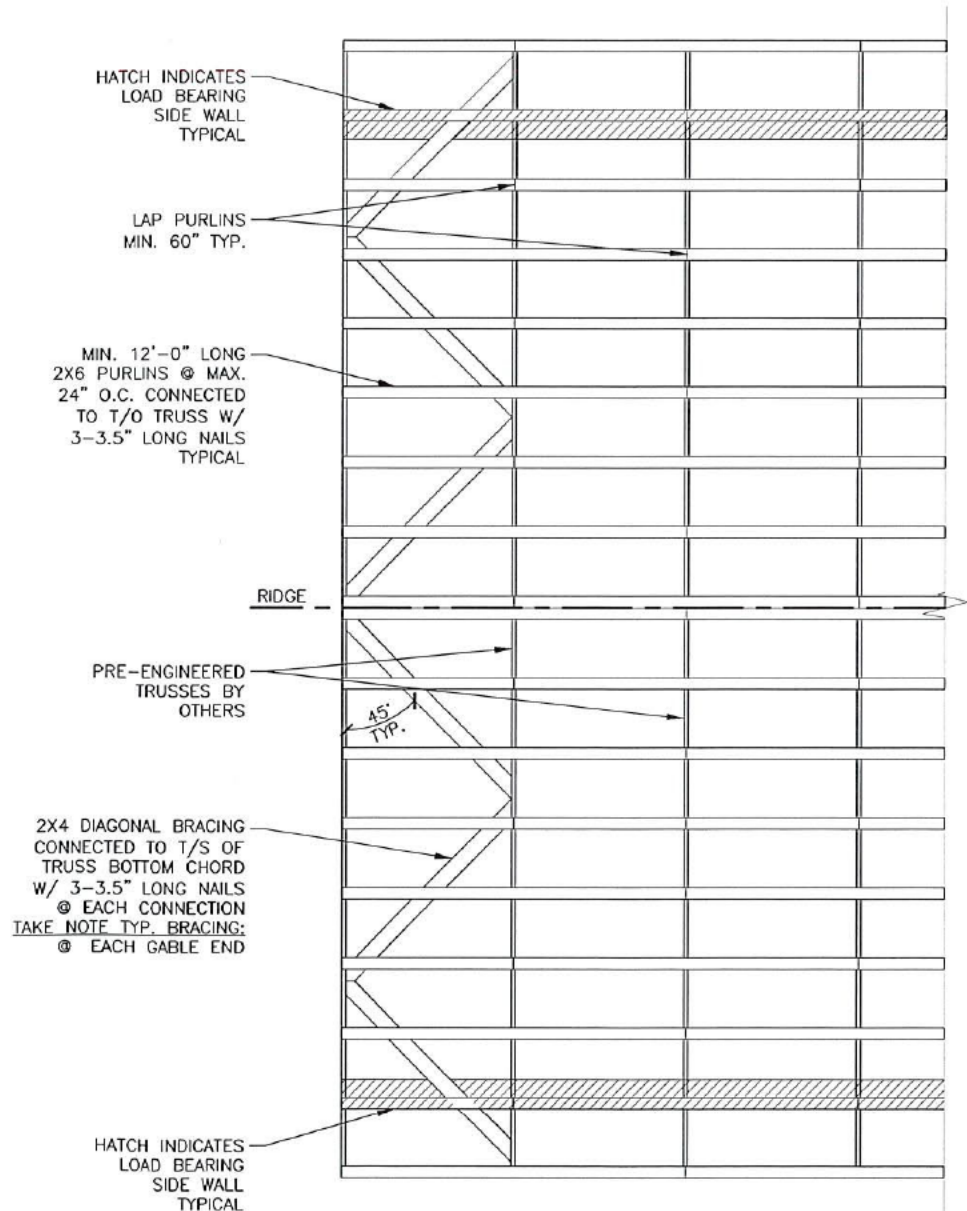
DWG. NO.

S1.4



NOTE: REFER ALSO TO DETAIL 6 ON S1.1

17 TYPICAL OVERHEAD DOOR FRAMING DETAIL @ LATERAL/SIDE WALLS  
SCALE: N.T.S.



18 TYPICAL BOTTOM CHORD ROOF BRACING DETAIL  
SCALE: N.T.S.



Shrub/Groundcover Concept

Groundcovers



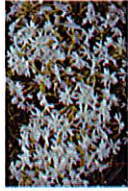
Kinnikinnick (Bearberry)



Alpine Carpet Juniper



Low-Scape Aronia



Snowflake Phlox



Common Yarrow

Naturalization Shrubs



Red Osier Dogwood (Summer)



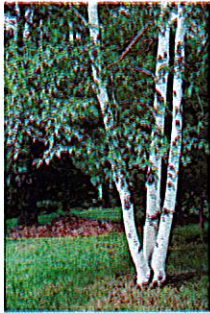
Beaked Hazelnut



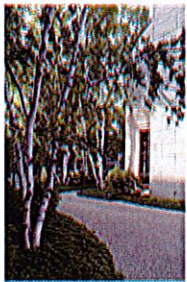
Red Osier Dogwood (Winter)



Saskatoon (Serviceberry)



Poplar/Birch

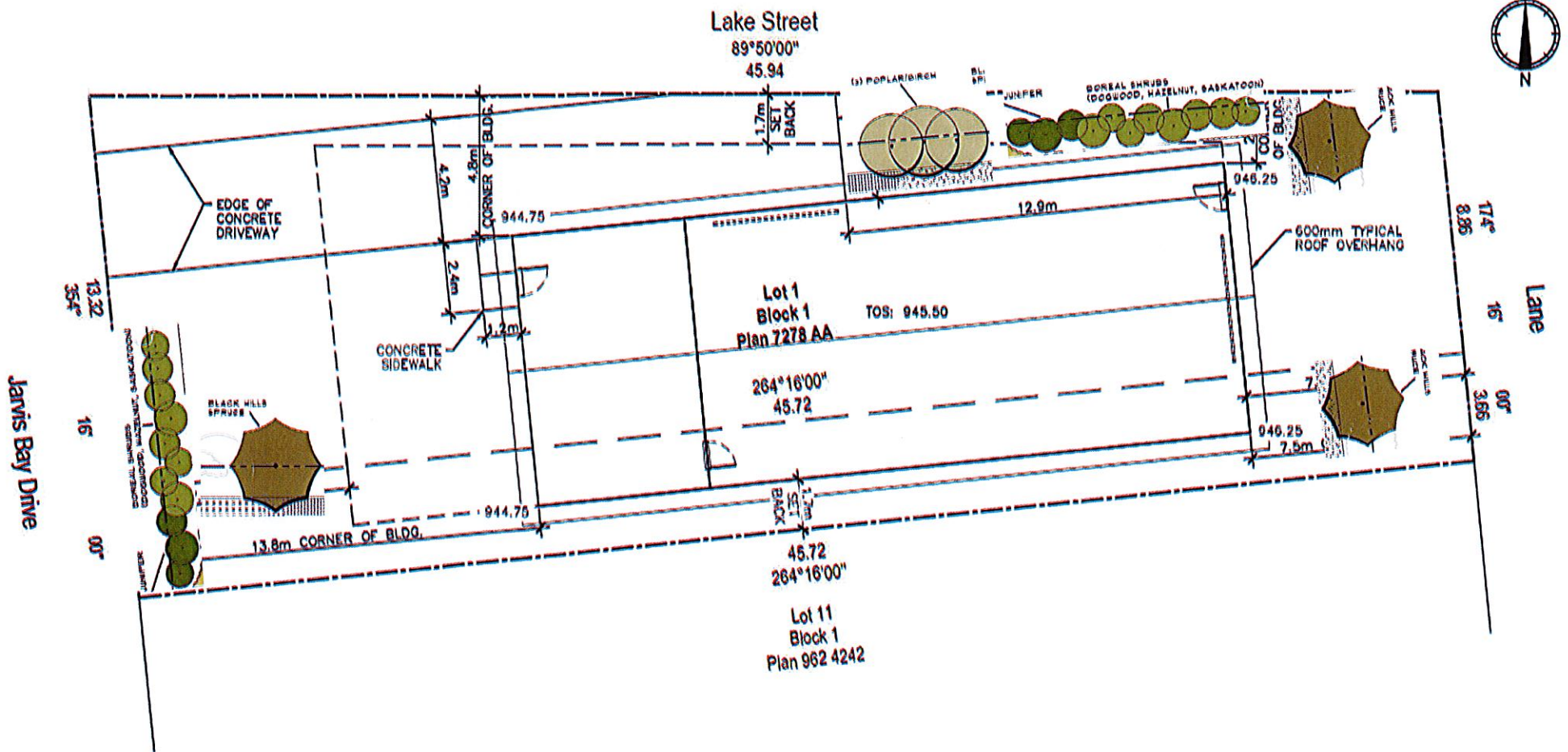


Mountain Ash (Multi-stem variety)



Black Hills Spruce

165 Jarvis Bay Drive



REVISIONS/NOTES

28 Trees/Shrubs

Landscaping to be consistent with 166 Jarvis Bay Drive

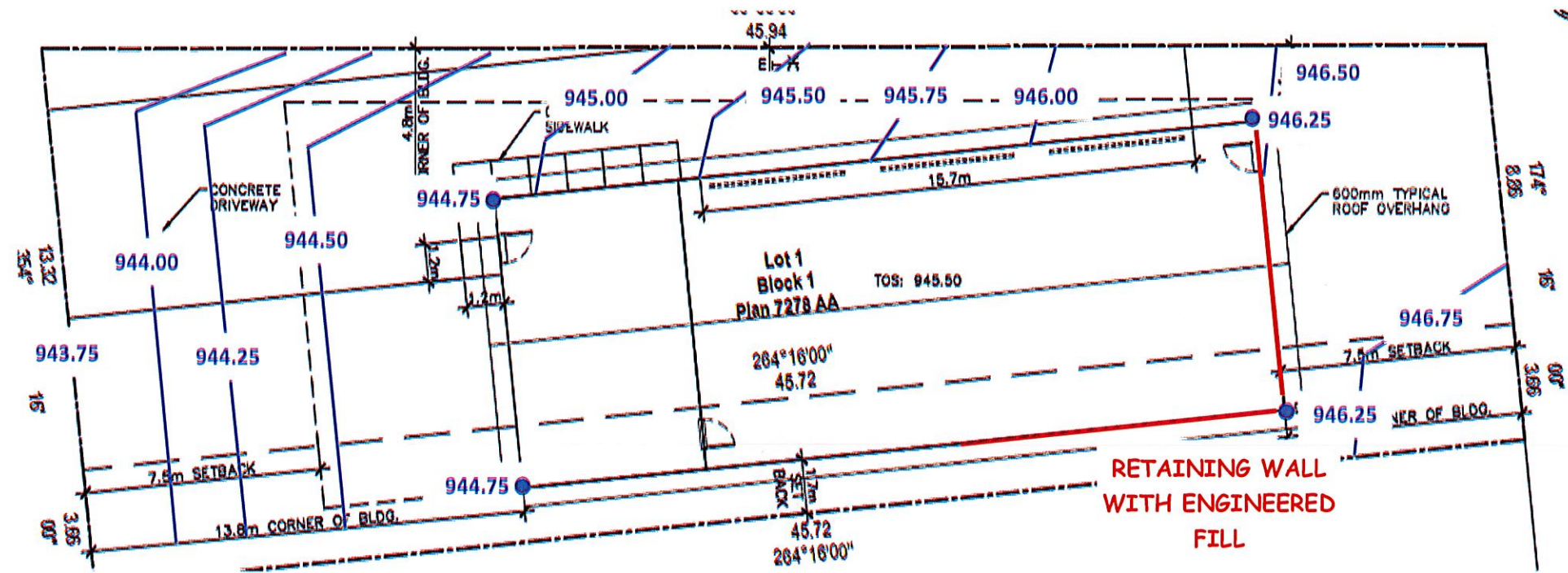
PROJECT

165 Jarvis Bay Drive

DRAWING

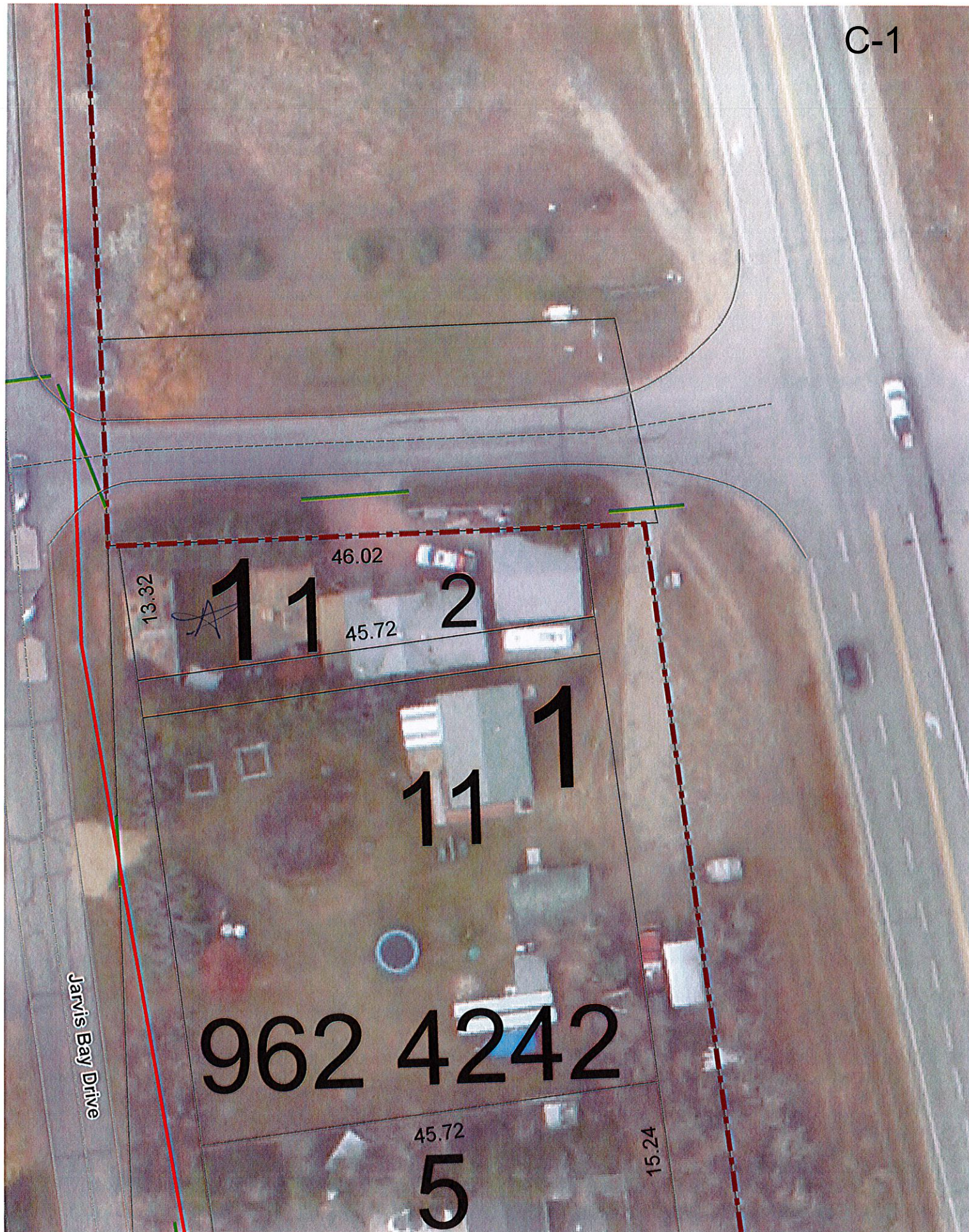
SHRUB/GROUND COVER  
CONCEPT #1



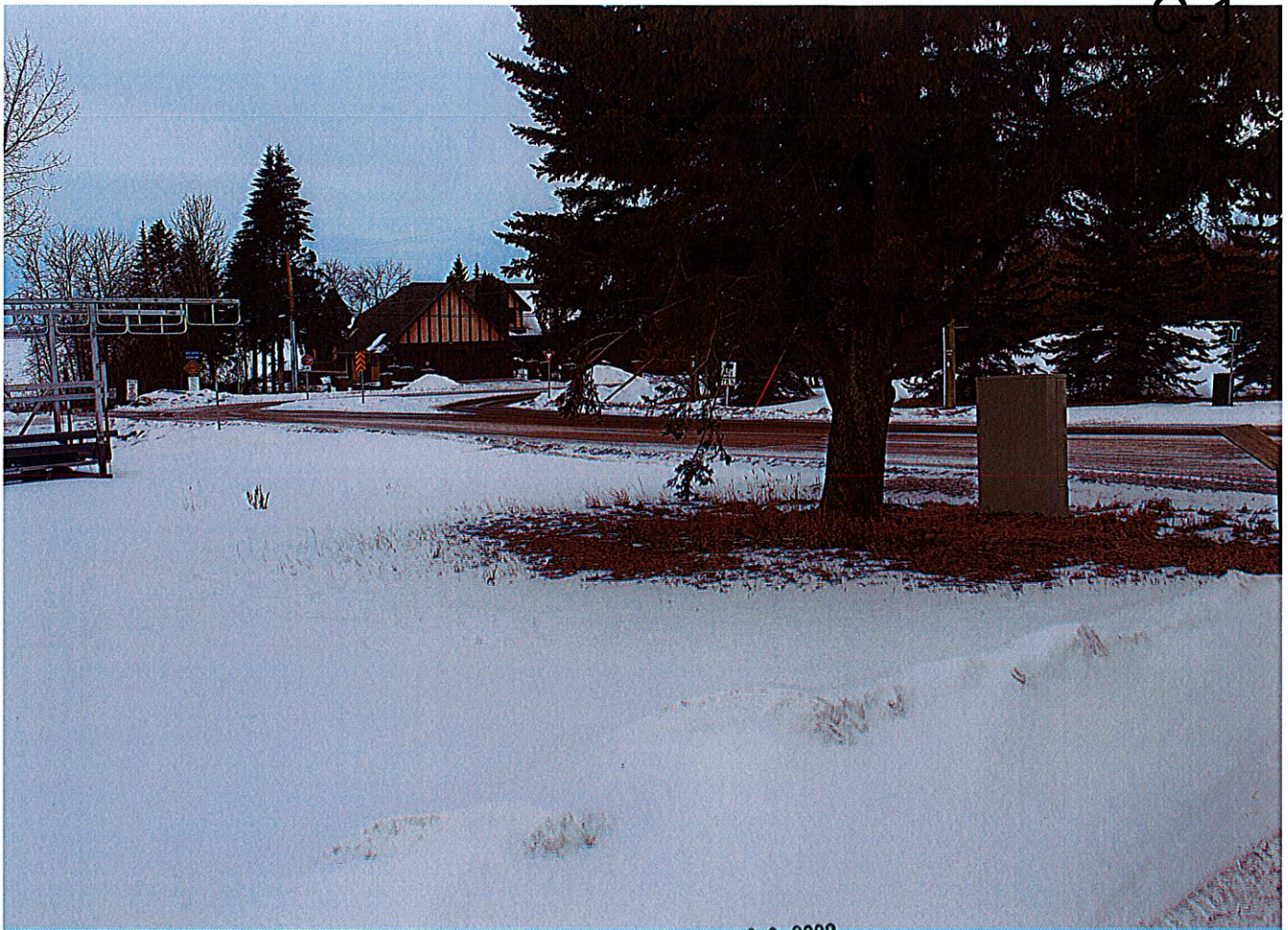


REVISIONS/NOTES	PROJECT	DRAWING
	165 Jarvis Bay Drive	Drainage Plan











C-1

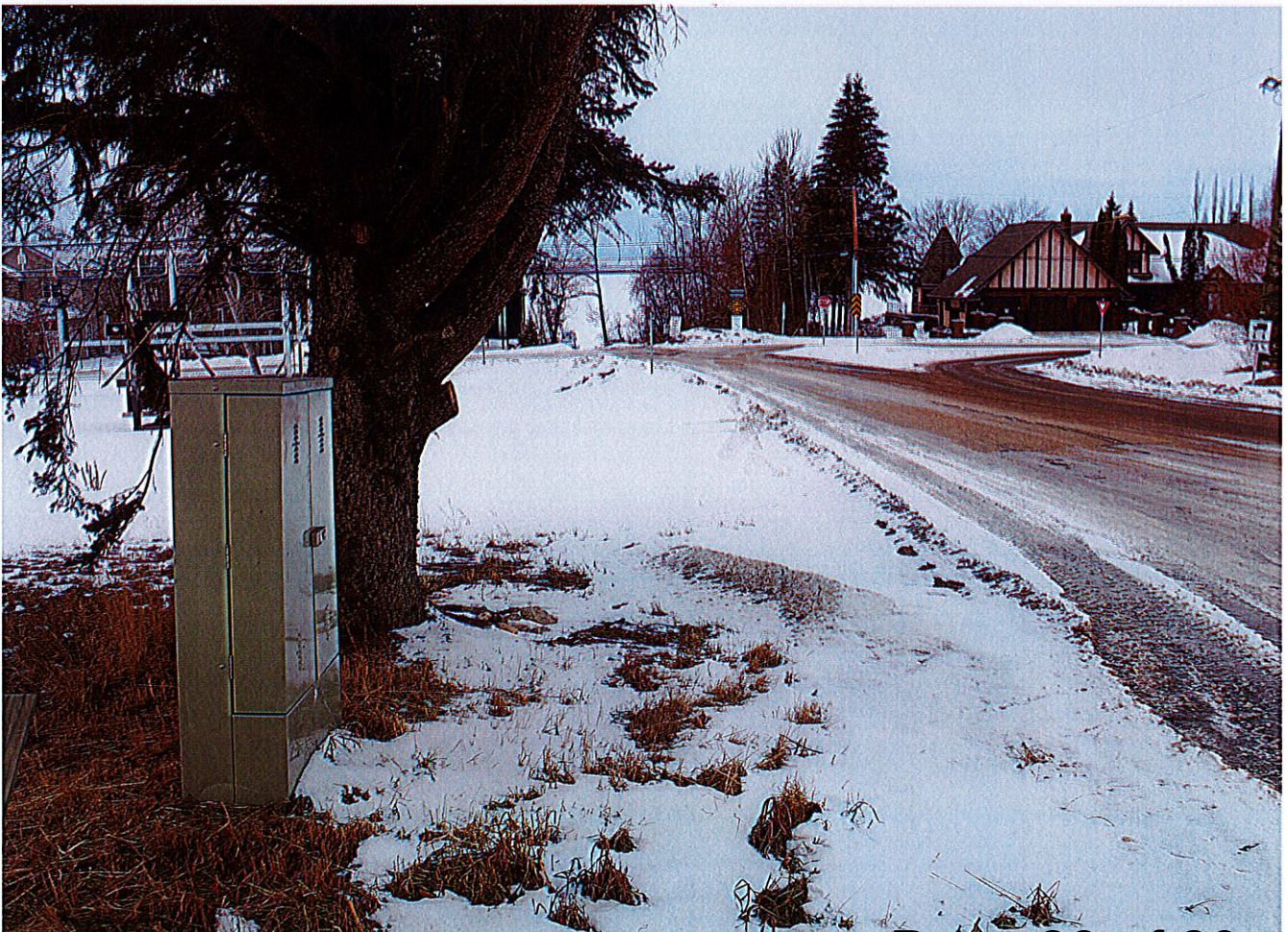
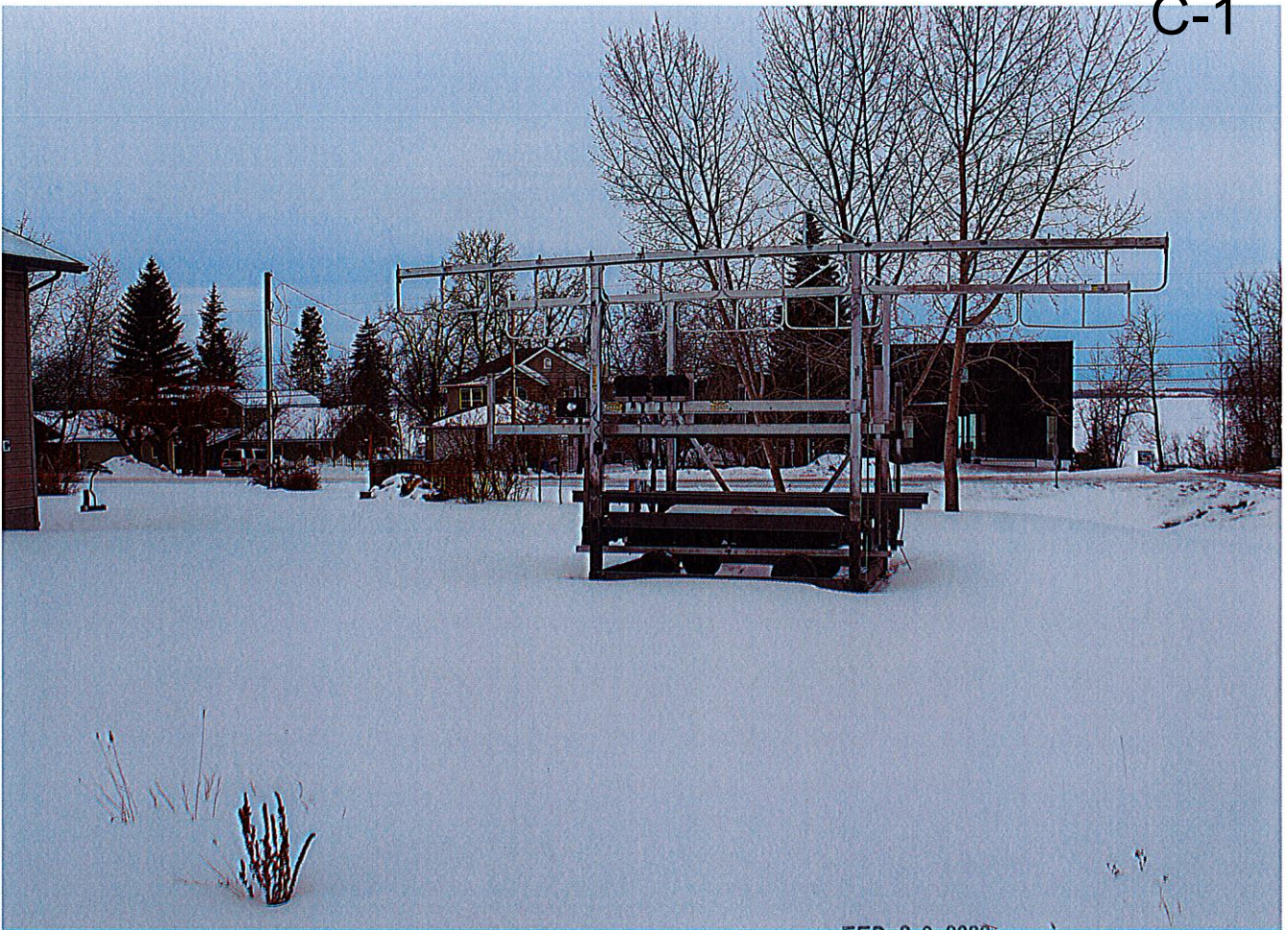


FEB 09 2023





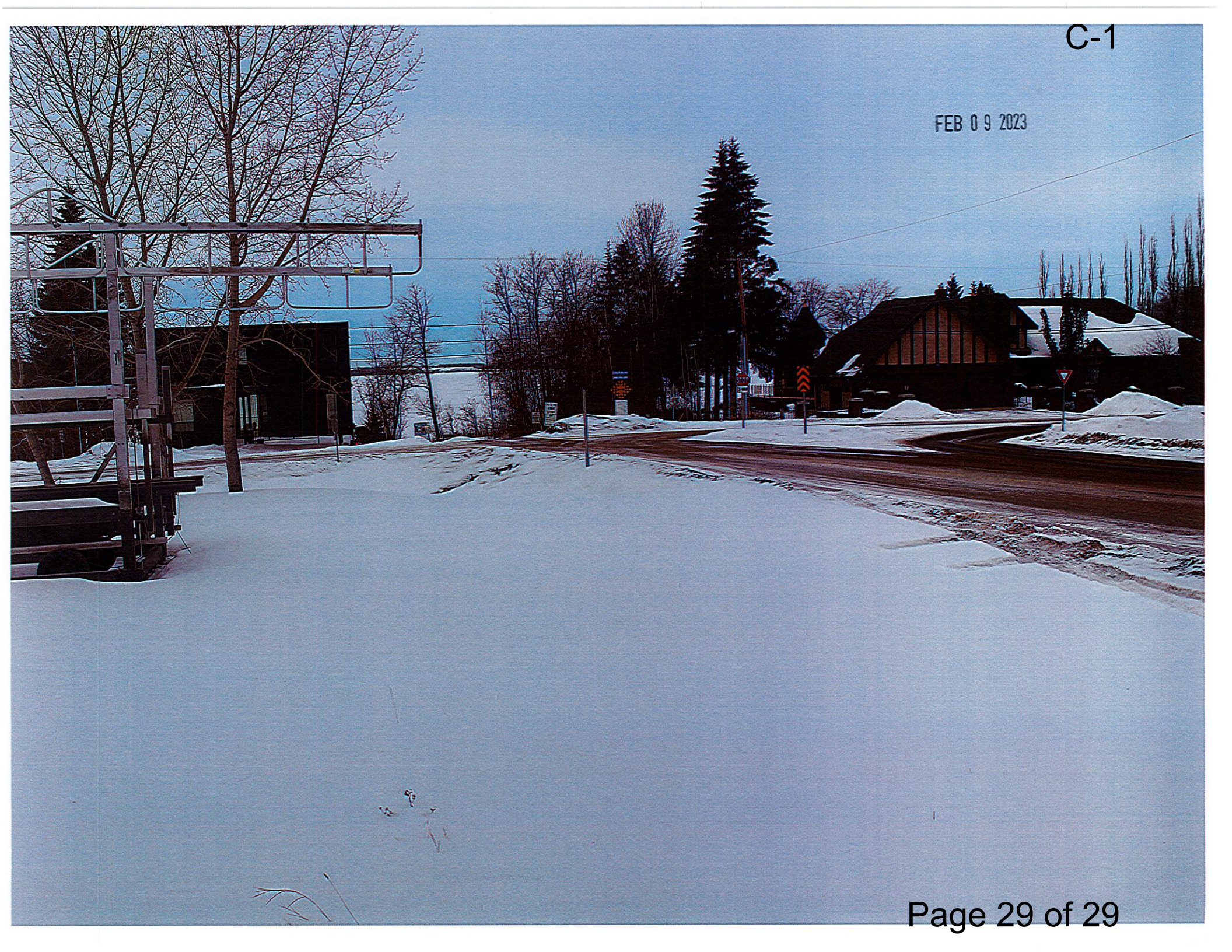
C-1





C-1

FEB 09 2023





Feb 19, 2023

To: Summer Village of Jarvis Bay MPC

Re: 165 Jarvis Bay Drive Development Application

After reviewing the application and the attached architectural drawings, I am opposed to this development because of the design of the front and north side of the building. The front looks like a shop that you might see on an acreage and does not fit in with the typical single family homes in Jarvis Bay. It has no street appeal. The north side also looks like a shop and does not look like a single family home. I would suggest that you ask the owners to come back with a design that fits better in the neighborhood.

I see there is a driveway placed too close to the intersection according to the Land Use By-law that should be moved to the south.

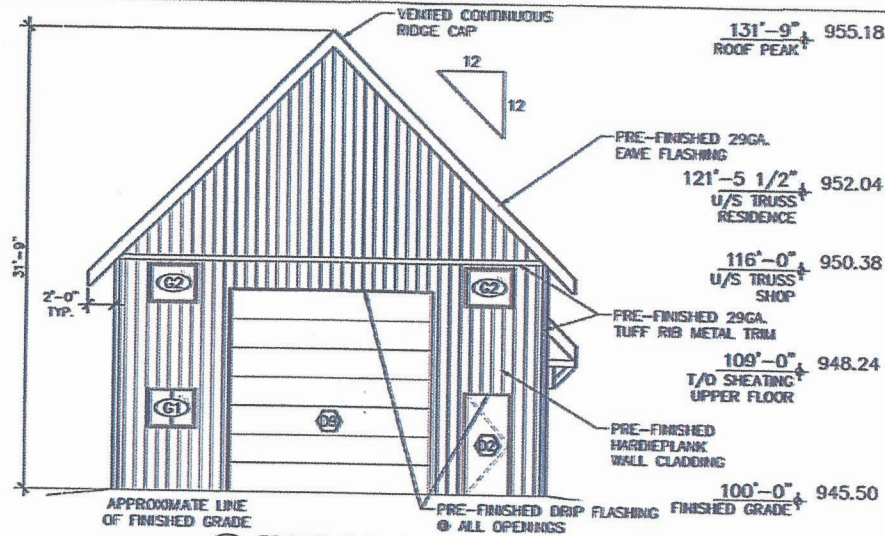
In the package that I received there was not any elevation drawings or foundation plan.

Regards

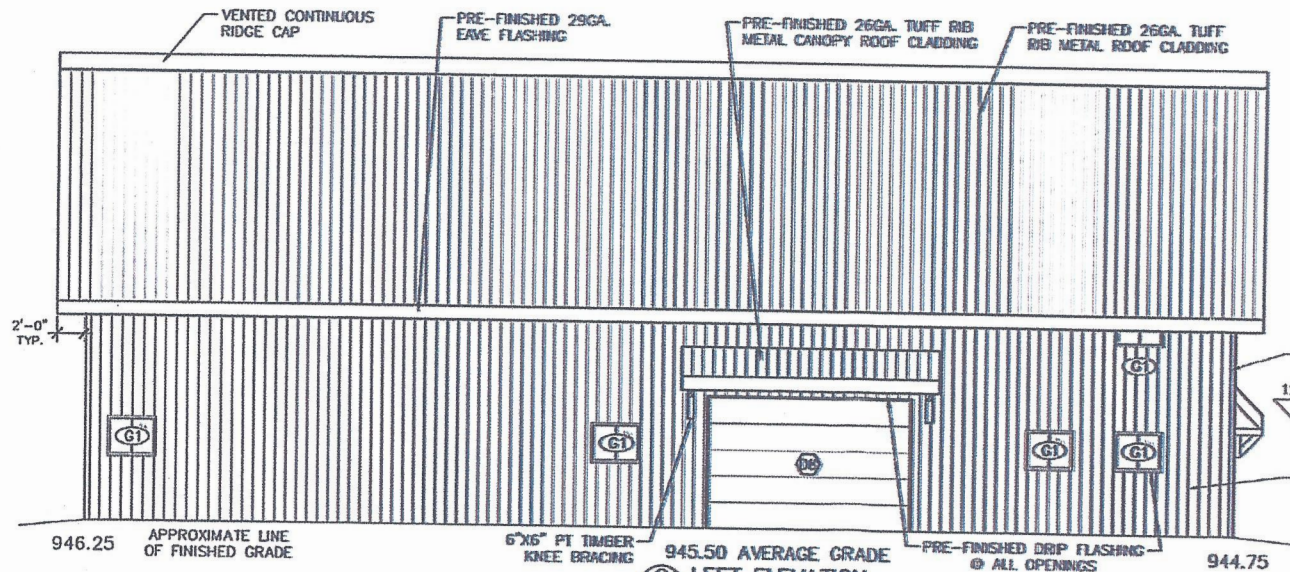
Alf Moore

A handwritten signature in black ink, appearing to be 'Alf Moore', with a long horizontal stroke extending to the right.

LOOKS LIKE A  
SHOP



1 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



2 LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

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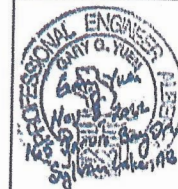
CUTFORTH DRAFTING SERVICES  
403-334-5545 CUTFORTH@5000700X.COM

REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

DRAWING:

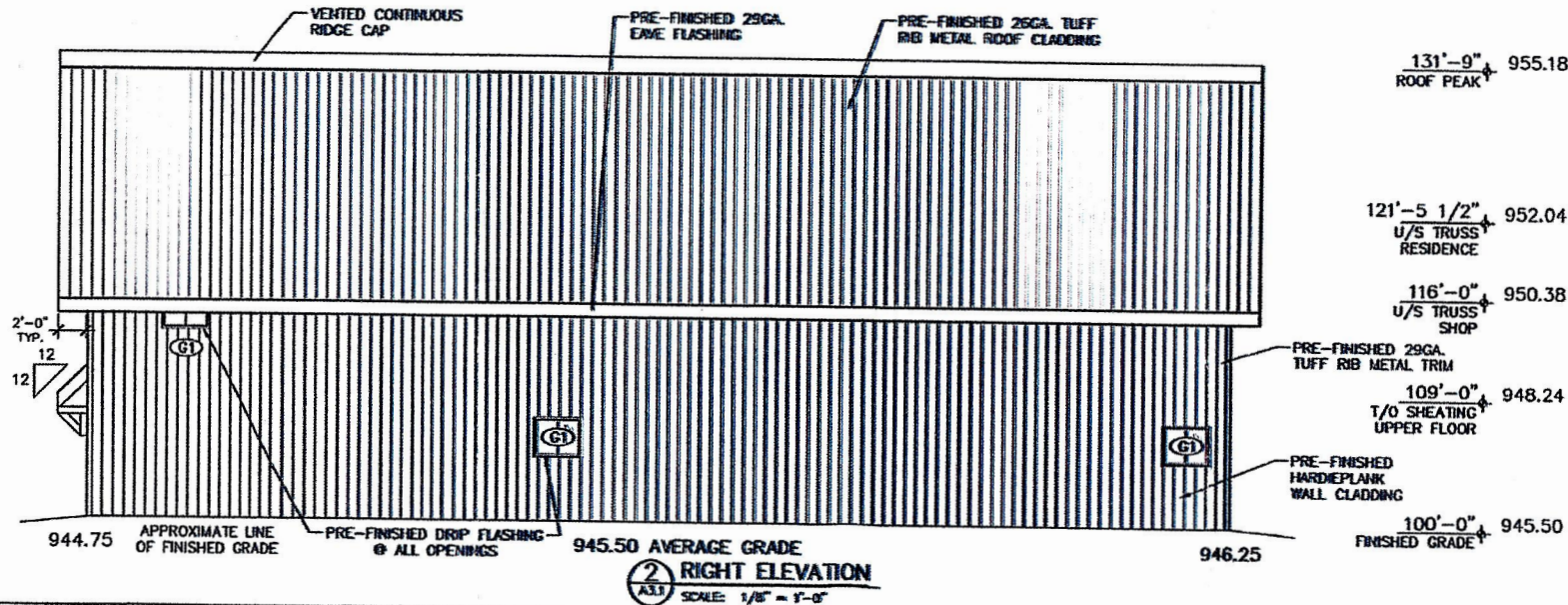
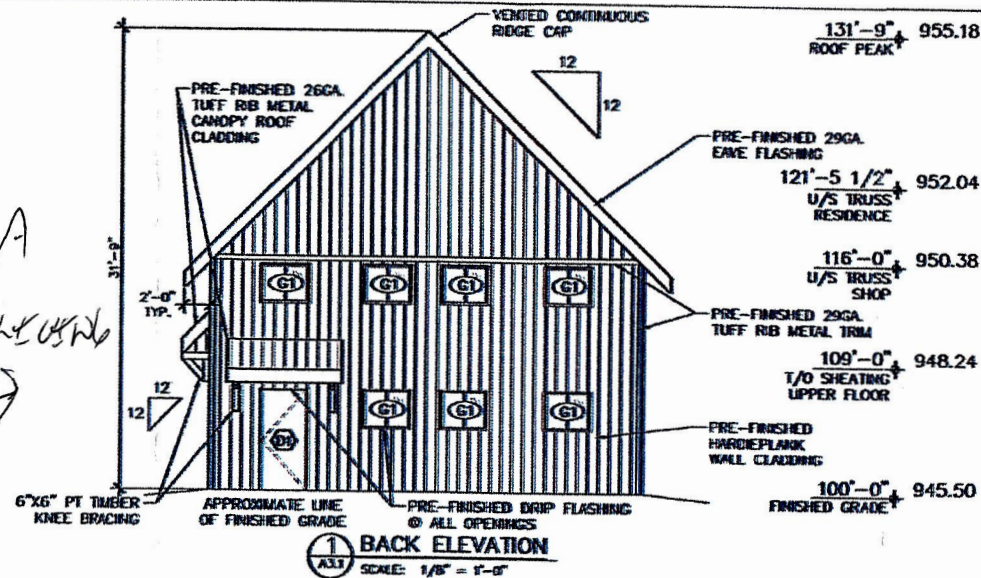
EXTERIOR  
ELEVATIONS

DWG. NO.

A3.0



LOOKS LIKE A  
SHOP WITH LIVING  
QUARTERS →



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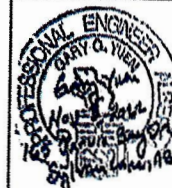
CUTFORTH DRAFTING SERVICES  
403-254-3456 CUTFORTH@CDS.DR.COM

REVISIONS:

A.1/A.3 IFR 08/09/2022

A.4 IFBP 11/07/2022

A.5 IFBP 12/15/2022



PROJECT:

RESIDENCE  
& SHOP  
165 JARVIS BAY  
DRIVE  
SYLVAN LAKE,  
ALBERTA

QUOTE: 20220348e

CDS FILE: 22-219

DATE: DEC 15/22

DRAWING:

EXTERIOR  
ELEVATIONS

DWG. NO.

A3.1

Summer Village of Jarvis Bay  
February 28, 2023  
Municipal Planning Commission Minutes  
Page 1 of 2

*Minutes of a Municipal Planning Commission Meeting of the Summer Village of Jarvis Bay, Province of Alberta, held February 28, 2023, at the Summer Villages on Sylvan Lake Administration Office in Sylvan Lake, Alberta.*

PRESENT	Chair:	Julie Maplethorpe
	Deputy Mayor:	Annabelle Wiseman via zoom
	Member-at-Large:	Ron Link via zoom
	CAO:	Tanner Evans
	Development Officer:	Kara Hubbard
	Recording Secretary:	Teri Musseau
	Applicant(s):	Donovan Nielsen via zoom
	Gallery:	Alf Moore via zoom John Cuthbertson via zoom

**CALL TO ORDER** Chair Maplethorpe called the meeting to order at 9:00 a.m.

**AGENDA**

**MPC-23-007** Moved by Deputy Mayor Wiseman to approve the agenda as presented.  
CARRIED

**DEVELOPMENT APPLICATION(S)**

**165 Jarvis Bay Drive**  
An application was submitted by the registered owner requesting a dwelling with variances for the property located at 165 Jarvis Bay Drive (Lots 1-2, Block 1, Plan 7278AA) in the Summer Village of Jarvis Bay. The applicant is requesting a driveway setback variance of 4.3m. and the design does not fit with the character of the existing developments in the district.

A written response was received by Alf Moore, the owner of the neighbouring property, who was opposed to the development as the proposed development doesn't fit with the character of the existing developments in the summer village.

Kara Hubbard, Donovan Nielsen, Alf Moore, and John Cuthbertson left the meeting at 9:20 a.m.

**DEVELOPMENT DECISION(S)**

**MPC-23-008** **165Jarvis Bay Drive**  
Moved by Chair Maplethorpe:

Each development permit stands on its own merit and therefore the Municipal Planning Commission denies this proposed structure as it does not align with the character of the existing development in the Summer Village.

Land Use Bylaw section 1(2)states that "The design, character and appearance of any building, or series of buildings, structures or signs

Summer Village of Jarvis Bay  
February 28, 2023  
Municipal Planning Commission Minutes  
Page 2 of 2

proposed to be erected or located in any district must be acceptable to the Development Authority having due regard to the following:  
b) The character of existing development in the district."

Where a structure is designed with the shop being more than twice the size of the living space, the principal use of the structure is not low density residential which is the purposes of the R-A district found in Part 4 of the Land Use Bylaw. In addition, while the Municipal Planning Commission understands this lot has irregular lot lines, the Summer Village of Jarvis Bay is a low-density single family residential municipality and does not support this type of building.

CARRIED

**ADJOURNMENT:**

**MPC-23-009** Moved by Chair Maplethorpe that being the agenda matters have been concluded, the meeting of the Municipal Planning Commission be adjourned at 9:59 a.m.

CARRIED

\_\_\_\_\_  
JULIE MAPLETHORPE, CHAIR

\_\_\_\_\_  
TANNER EVANS, CAO



# NOTICE OF DECISION

## Municipal Planning Commission

March 1, 2023

1518577 AB Ltd. c/o Donovan Nielsen  
[REDACTED]

### **RE: DEVELOPMENT APPLICATION – 165 JARVIS BAY DRIVE**

An application was submitted for a dwelling located at 165 Jarvis Bay Drive (Lot 1&2, Block 1, Plan 7278AA) in the Summer Village of Jarvis Bay. The proposed development required a variance to the driveway setback. In the opinion of the development officer, the proposed structure does not align with the character of the existing development in the village, therefore a further variance is needed.

### **Finding of Fact:**

Upon hearing and considering the representations and the evidence of the parties concerned the Commission find the facts in the matter to be as follows:

1. The design, character and appearance of any building to be erected must be acceptable to the Development Authority having due regard to the character of existing development in the district. In administration's opinion a variance is required.
2. Driveways on corner parcel shall be setback from the street intersection not less than 6m (19.69ft.). The proposed driveway setback is 1.7m (5.57ft.). Variance of 4.3m (11.12ft.) is required.

### **Decision:**

Each development permit stands on its own merit and therefore the Municipal Planning Commission denies this proposed structure as it does not align with the character of the existing development in the Summer Village.



**Summer Villages on Sylvan Lake**  
#2 Erickson Drive  
Sylvan Lake, AB T4S 1P5  
(403) 887-2822

Land Use Bylaw section 1(2) states that:

"The design, character and appearance of any building, or series of buildings, structures or signs proposed to be erected or located in any district must be acceptable to the Development Authority having due regard to the following:

b) The character of existing development in the district."

Where a structure is designed with the shop being more than twice the size of the living space, the principal use of the structure is not low density residential which is the purposes of the R-A district found in Part 4 of the Land Use Bylaw. In addition, while the Municipal Planning Commission understands this lot has irregular lot lines, the Summer Village of Jarvis Bay is a low-density single family residential municipality and does not support this type of building.

**Appeal:**

Discretionary Use/Variance Request Applications are appealable to the Subdivision and Development Appeal Board, as provided for in Part 17, of the Municipal Government Act. Written statements relevant to the development and reasons for appeal along with a \$200.00 appeal fee should be submitted to the Clerk of the Subdivision and Development Appeal Board of the Summer Village of Jarvis Bay, #2 Erickson Drive, Sylvan Lake, Alberta T4S 1P5, within 21 days following the date of this notice. For further information contact the Clerk of the Subdivision and Development Appeal Board, Teri Musseau at 403-887-2822.

Sincerely,

Kara Hubbard  
Development Officer



[REDACTED]  
[REDACTED]  
[REDACTED]

**March 20, 2023**

Teri Musseau  
Clerk of the Development Appeal Board  
Summer Village of Jarvis Bay  
#2 Erickson Drive  
Sylvan Lake AB T4S 1P5

Dear Teri,

Re: **Appeal of Development Permit Application for Dwelling  
165 Jarvis Bay Drive**

I am the owner of the lot located at 165 Jarvis Bay Drive, Sylvan Lake. I am also the owner of the lot immediately across the street at 166 Jarvis Bay Drive. We have been part of the community for 8 years and my grandmother, and now my mother, have owned the property at 149 Jarvis Bay Drive for the past 25 years. We are proud property owners in the summer village and have decided to invest into the community so that our family, and eventually our kids' families, can enjoy the lake for generations to come.

We made an application on behalf of 1518577 Alberta Ltd for the development of the now bare lot located at 165 Jarvis Bay Drive. We purchased the lot a few years ago and demolished the decrepit and overgrown original development on the property. The application is to develop the property for use as a dwelling with an attached garage for storage of vehicles and seasonal lake equipment. The use of the property is in alignment with the zoning outlined by the Village. The development has been professionally designed and will be constructed by experienced contractors. Special steps have been taken to add to the character of the neighbourhood. This includes increasing the pitch of the roof to 12:12 from the standard 4:12, and upgrading the siding to a Hardie Board premium siding product. The landscaping has been designed to be consistent with the natural habitat in the area and will ensure that the development blends into the natural environment.

The garage is being located on the east side of the property to isolate the property from the immediate vicinity of the highway. The location of the property and the size and shape of the lot pose unique development challenges due to lack of privacy and noise from the road. Locating the garage on the east side will increase the quality of the dwelling. This development will reduce the overall impact of the highway on the community and will reduce the associated noise for the immediate neighbours.

The original Development Application for 165 Jarvis Bay Drive was submitted on October 2, 2022. The application was acknowledged on October 17, 2022. A series of correspondences then occurred between the summer village and myself, and I took steps to address all concerns as I interpreted them. A final revision to the application was submitted on January 16, 2023. Overall, it took 5 months to receive a decision on the application from the Summer Village. The final feedback that I received on January 16,

2023, was that the application was complete. I was then notified on January 31, 2023, that the application was being referred to the Municipal Planning Commission for review, which was under the impression was no longer a requirement with the changes that had been made. I thought that I had adequately addressed all questions and concerns that were communicated to me. The primary reason for the referral was that, in Administration's opinion, the development didn't go along with the character of the existing development in the district.

A Notice of Decision was received on March 1, 2023, denying the application. The letter stated "Where a structure is designed with the shop being more than twice the size of the living space, the principal use of the structure is not low density residential....". I do not agree with this opinion and at no point was the ratio of dwelling to garage ever expressed as a concern. The only concern discussed in the MPC meeting was people's opinion on the appearance of the building.

According to the plans submitted with the development application, the actual dwelling to garage ratio is 1:1.57 (Dwelling = 1160 sqft, Garage = 2400sqft), not over 2:1 as expressed in the Notice of Decision email. A request for further clarification on what an acceptable ratio for dwelling to garage is, was emailed to the Summer Village on March 14, 2023. No response was received to provide more clarity as to their opinion on the subject. It is still unclear to me what the acceptable threshold is in the opinion of officials.

The proposed development was designed by a local and reputable builder named Premier Built Structures. Inspiration for the dwelling and garage came from the property located at 166 Jarvis Bay Drive and similar developments highlighted in Architectural Publications such as Dwell. The inspirations for the project are highlighted below.



The home shown above is located at 166 Jarvis Bay Drive was professionally designed by Actual Architecture in Omaha, Nebraska, and is featured on their website (<https://www.actual.ac/project/sylvan-lake-house/>). According to the architect, "The house is a composition of simple masses with spatial intersections that create a complex interior environment. This indoor porosity continues vertically through shafts that connect floors and provide a counterpoint to the monolithic stacked-box appearance of the exterior."



The inspiration for the dwelling and garage at 165 Jarvis Bay Drive is to be consistent with the development at 166 Jarvis Bay Drive and to emulate the simple yet elegant aspects of the structure. Photos of similar homes with attached garages are shown below.

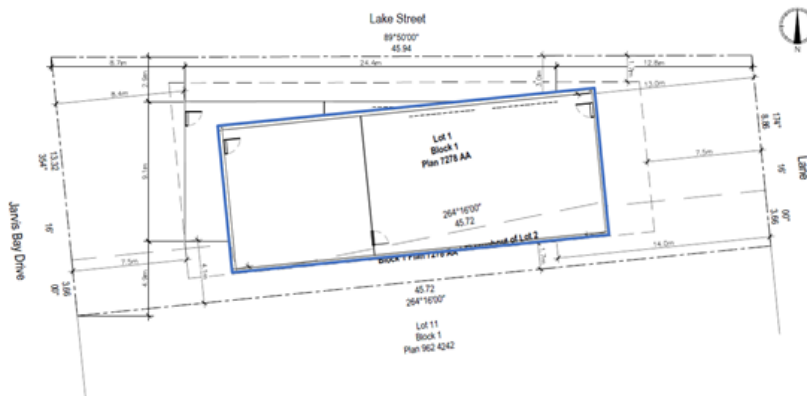


The existing development in the district is eclectic and includes a mix of age, size, and styles of homes. Most of the homes are typical architecture without any distinct or consistent style. The community includes homes with large attached garages, oversized garage doors, stand alone shops, and developments without dwellings. The main comment made during the Municipal Planning Commission meeting by a concerned neighbour was that they didn't like the tall garage door on the east side of the property, which faces the highway. There are many examples of this same size of door on dwellings throughout the community.

The Zoning Bylaws do not refer to a specific character required for future development, only that it should go along with the character of the existing development in the district. Here are samples of the architecture and garages in the community.



The specific property located at 165 Jarvis Bay Drive poses significant challenges for future development. This is largely due to the size of the lot (12.5m or 41ft width at rear of lot) and proximity to the highway. The exposure to the highway makes the lot less desirable for development due to the noise, dust, and sight lines. This proposed development represents the best opportunity to develop the property, improve the character of the overall development in the district, and to reduce the associated highway noise for the community.





The development has the support of many of the adjacent neighbours because of the opportunity to improve the quality of life in the community and to reduce the noise pollution from the highway. A letter of support is included as an Appendix to this letter from the homeowner of 164 Jarvis Bay Drive. I have forwarded the Development Permit application to several other neighbours in proximity and have received verbal support from many of them as well.

I believe that the proposed development at 165 Jarvis Bay Drive is consistent with the character of the existing development in the community and will provide a net benefit to the Summer Village of Jarvis Bay. I continue to be willing to make adjustments to the aesthetics of the development (window size, trees, etc) but that is not the primary concern from the MPC as was indicated to me in the meeting.

Please contact the undersigned if you have any questions.

Respectfully,

Donovan Nielsen  
c/o 1518577 Alberta Ltd.

March 17, 2023

To Whom It May Concern:

I am writing to express my support for the proposed project at 165 Jarvis Bay Drive. I understand that this project has been a topic of discussion and I wanted to share my thoughts on it.

After reviewing the plans and proposals for the cabin, I believe that it would be a good addition to our community.

While there may be some concerns regarding the impact of the cabin on the surrounding area, I believe that with some minor changes to the plans, these concerns can be addressed. My suggested changes include slightly larger windows facing Jarvis Bay drive in order to make the building feel less industrial, also more trees throughout the lot, once construction is complete. I would also suggest a similar or complimentary materials palette as the house located at 166 Jarvis Bay drive. I am willing to support the approval of the cabin with these changes and believe that the benefits of the project outweigh any potential drawbacks.

Thank you for your consideration of this matter.

Sincerely,

Mace Mortimer

164 Jarvis Bay Drive

019

19



## Donovan Nielsen

---

**From:** Kara Kashuba <kkashuba@sylvansummervillages.ca>  
**Sent:** July 8, 2022 9:21 AM  
**To:** Donovan Nielsen  
**Subject:** RE: Site Layout Question

Good Morning Donovan,

Reviewing this with the information I have, I do not see a problem with the garage having a side entrance to fit with the lot access. It appears to meet the setbacks and I believe the only extra regulations for this in the Land Use Bylaw is if it's for a detached garage.

Hope that helps.

Thank you,



**KARA KASHUBA**  
DEVELOPMENT OFFICER

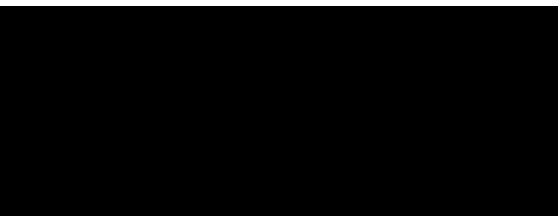
kkashuba@sylvansummervillages.ca  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

---

**From:** [REDACTED]  
**Sent:** Thursday, July 7, 2022 3:12 PM  
**To:** Kara Kashuba <kkashuba@sylvansummervillages.ca>  
**Subject:** RE: Site Layout Question

The original layout assumed the use of a Honomobo module home. This is no longer the case and there is a new planned floorplan, which is represented by the blue box in the email I sent you. In this layout, the garage is facing Lake Street.

Donovan Nielsen



---

**From:** Kara Kashuba <[kkashuba@sylvansummervillages.ca](mailto:kkashuba@sylvansummervillages.ca)>

**Sent:** July-07-22 2:54 PM

**To:** [REDACTED]

**Subject:** RE: Site Layout Question

Hi Donovan,

I am just making sure I am understanding your question here, is this different then what was on the first drawings you submitted? Just to clarify what you are asking, is the garage facing Jarvis Bay Drive shown in the drawing or is it facing "lake street"? As this blue area is different then the first site plan I just want to ensure I am understanding the proposed development correctly.

Thank you!



**KARA KASHUBA**  
DEVELOPMENT OFFICER

[kkashuba@sylvansummervillages.ca](mailto:kkashuba@sylvansummervillages.ca)  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

---

**From:** [REDACTED]

**Sent:** Tuesday, July 5, 2022 4:06 PM

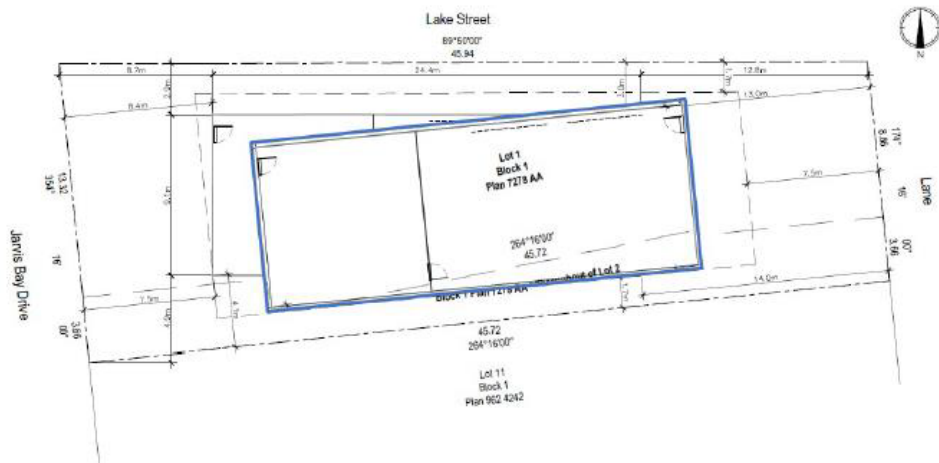
**To:** Kara Kashuba <[kkashuba@sylvansummervillages.ca](mailto:kkashuba@sylvansummervillages.ca)>

**Subject:** Site Layout Question

Hi Kara,

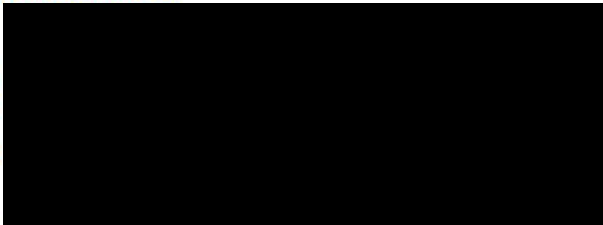
Quick question as we finalize our DP for 165 Jarvis Bay Drive. The proposed development is a two story dwelling attached to a rear garage with side garage entrance. This is to align the garage with the current access way onto the property. The proposed layout is as follows:





We are within the setbacks stated in the bylaws but I want to clarify it's ok with the side garage entrance. There is not room to develop anything if the side yard requires a 6.5m setback. Can you please let me know if this is acceptable?

Donovan Nielsen



## Donovan Nielsen

---

**From:** Kara Hubbard <khubbard@sylvansummervillages.ca>  
**Sent:** December 13, 2022 10:10 AM  
**To:** Donovan Nielsen  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Hi Donovan,

I have noted on your last letter that you have requested an extension and I have put the date of January 13<sup>th</sup>, at that time if you require a further extension, please let me know. The updates you have listed sound good and I look forward to seeing the updated plans.

Thank you,



**KARA HUBBARD**  
DEVELOPMENT OFFICER

khubbard@sylvansummervillages.ca  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

---

**From:** [REDACTED]  
**Sent:** December 12, 2022 9:49 AM  
**To:** Kara Hubbard <khubbard@sylvansummervillages.ca>  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Hi Kara,

I would like to propose a few edits to the layout to address your feedback, but I have been unable to get the updates done due to resource availability. I would like to request an extension to the new year to adequately address this.

I am considering the following updates:

- Only have one overhead door on the north side of the house, reduce the height to 9ft instead of full height
- Add one overhead door to the east side of the structure, not intended for regular use but for moving lake equipment in and out of the garage seasonally. This would be accessed from the lane way to Alf's house
- Add canopy above doors as per image sent in my previous email

Please let me know your feedback on these updates and if an extension can be granted.

Thanks.



[REDACTED]

[REDACTED]

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**From:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Sent:** November 25, 2022 4:18 PM  
**To:** [REDACTED]  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Hi Donovan,

Thank you for your response. I have attached a revised letter.

If you have any questions please let me know and thank you for your patience during this process.



**KARA HUBBARD**  
DEVELOPMENT OFFICER

[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

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**From:** [REDACTED]  
**Sent:** Sunday, November 20, 2022 11:52 AM  
**To:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Hi Kara,

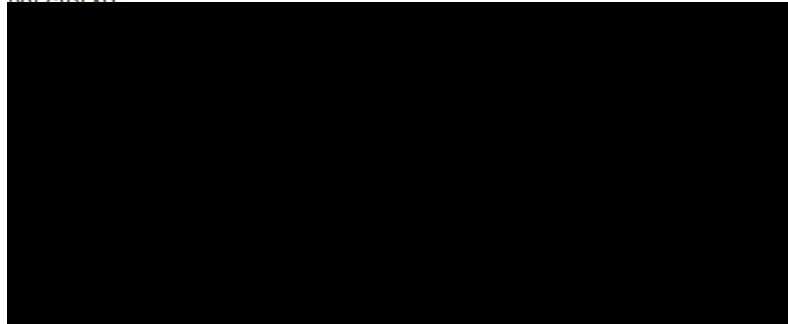
Here is the additional information that you requested:

1. Yes, this is based on the original topography. All drainage will be finished to drain towards the ditch on the north or west side of the lot. No drainage will be directed to the neighbours lot.
3. Yes, the average grade is taken from the pre-development elevations.

4. Yes, everything else on the site will be grass. There is no ditch where the existing driveway is located so no changes for drainage is required, but the driveway will be removed. The driveway width on the newly proposed side will be 4.2m wide.

Donovan Nielsen, P.Eng.

PRESIDENT



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**From:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Sent:** November 15, 2022 1:59 PM  
**To:** [REDACTED]  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Good Afternoon Donovan,

Thank you for the additional information and the changes you made to the project. I have included an updated letter of requirement in this email.

Thank you,



**KARA HUBBARD**  
DEVELOPMENT OFFICER

[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

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**From:** [REDACTED]  
**Sent:** Monday, November 7, 2022 10:15 AM  
**To:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive



Hi Kara,

Attached is an updated and engineer stamped drawing package for the application.

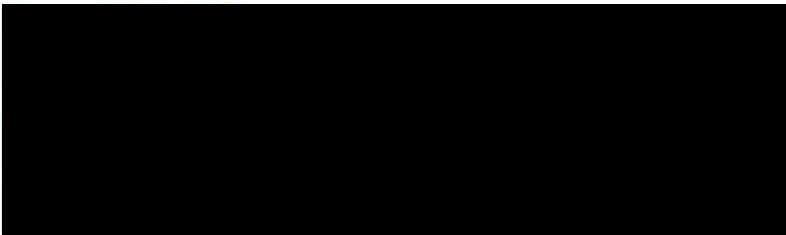
Responses to the questions in the letter are as follows:

1. See attached drainage plan with elevations. The original topographic drawing is included for reference as well.
2. Details of the site coverage for the structure are now included in the drawing package on drawing A0.1. Note that with the new approach location we have added a concrete driveway.
3. More details have been added to the exterior elevation drawings A3.0 and A3.1 and the drawings now show the planned finished grade at each corner of the building. The average grade across the length of the building is shown to be 945.50 and the height of the building is 955.18. This results in an average structure height of 9.68m or 31' 9".
4. A landscaping plan has been added. See sheet 2 of the attached drawing.
5. Additional Comments:
  - a. The look of the building has been updated with the Hardie board siding. See image below for design intent.
  - b. The metal cladding has been updated to Hardie board siding
  - c. The total dwelling floor area is now shown on drawing A2.1 and is 1,160 SQFT
  - d. Approach moved to Jarvis Bay Drive



Let me know if you would like to discuss this further.

Thanks.



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**From:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Sent:** October 17, 2022 4:13 PM  
**To:** [REDACTED]  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Hi Donovan,

Thank you for the application documents. I have included a letter of incomplete application attached that includes some further requirements and I have comments below as mentioned in the letter.

Additional comments:

- In the Land Use Bylaw, under the definition for "detached dwelling" it states that we consider a detached dwelling to be a residential building. In my opinion I would not consider this a residential building – to me this has the appearance of being a building not for main living and as the shop is such a large portion of the building it appears to have to look and feel of a commercial building.
- Along with my comment for the residential building, in the LUB under supplementary regulations section 1.2 states that *"the design, character and appearance of any building, or series of buildings, structures proposed to be erected or located in any district must be acceptable to the Development Authority having due regard to the following:*
  - b) The character of existing development in the district*
  - f) The exterior finish on all buildings must be of permanent material and satisfactory to the development authority* – the metal cladding in this case gives the appearance of a commercial building.
- Floor area, the minimum floor area excludes an attached garage and the requirement is to be a minimum 1,076.39 ft.<sup>2</sup>. My understanding according to the drawings, the floor area would only be 582 ft.<sup>2</sup>. The LUB definition states *"floor area" means the total area of the floor(s) in a building measured from the outside exterior walls and does not include a basement, cellar, attached garages, carports or open porches"*
- Does not meet setback requirements. I know that we had some previous email correspondence about this, and my apologies if I had misunderstood. Essentially in your case, the properties front yard should be considered on the Jarvis Bay Drive (lakeside) side and this is where your approach should be, if we consider your front yard to be the "lake street" as shown on these drawings then it would not be possible for you to comply with a front or rear yard setback that way. As your site plan is now, with the front yard being considered the JB lake roadside you would meet the setbacks but if the front yard was considered to be the lake street side as you are proposing it would not meet the front and rear.

As discovered throughout review of the application, this will require Municipal Planning Commission approval for these variances. Please let me know if you have any questions on the requirements or my comments.

Thank you,





**KARA HUBBARD**  
DEVELOPMENT OFFICER

khubbard@sylvansummervillages.ca  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

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**From:** [REDACTED]  
**Sent:** Sunday, October 2, 2022 3:44 PM  
**To:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Subject:** Development Permit Application - 165 Jarvis Bay Drive

Dear Kara,

Please accept this development permit application to develop a new single family dwelling at 165 Jarvis Bay Drive.

I have attached the application form, the development drawing package, and a copy of the original site survey that was completed prior to the original structures being demolished.

There was a development permit issued for the demolition under Permit 192068, and included a \$1000 deposit. Note that the demo permit included the removal of 27 trees and shrubs, which will be replaced as part of the new development. No additional trees are planned to be removed from the property.


I will submit the \$200 application fee by interac e-transfer (to [etransfer.svjarvisbay@sylvansummervillages.ca](mailto:etransfer.svjarvisbay@sylvansummervillages.ca)) upon confirmation of receipt of this application.

Please feel free to get in touch if you have any questions.

Thanks.

Donovan Nielsen P.Eng.

PRESIDENT



**Donovan Nielsen**

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**From:** Kara Hubbard <khubbard@sylvansummervillages.ca>  
**Sent:** February 6, 2023 11:36 AM  
**To:** Donovan Nielsen  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Good Morning Donovan,

The MPC meeting for your application will be held on February 28<sup>th</sup> at 9:00 a.m. There is an option to attend via zoom or in person at our office. If you'd like to attend via zoom please let me know and I will have a link forwarded to you.

Thank you,



**KARA HUBBARD**  
DEVELOPMENT OFFICER

khubbard@sylvansummervillages.ca  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

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**From:** Kara Hubbard  
**Sent:** Tuesday, January 31, 2023 9:28 AM  
**To:** [REDACTED]  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Hi Donovan,

Thank you for the letter. Your application is complete, and I will ask our Executive Assistant to schedule a Municipal Planning Commission meeting. I appreciate you answering all of my questions throughout this process and providing the additional information required. I just want to summarize the reasons the application will be going to MPC so that we are on the same page with it all.

1. My opinion on the proposed development, that it doesn't go along with the character of existing development in the district and in my opinion I would still consider this to be more of a commercial building.
2. LUB Part 3(3) Driveway states *"Driveways on corner parcels shall be setback from the street intersection not less than 6m (19.69ft)."* Variance is required.

Keep in mind my reasons above are just points that I will be making but the decision is up to the Municipal Planning Commission, I strongly suggest that you attend the MPC meeting to have the opportunity to speak and answer any questions the board has. I will let you know the time and date of the meeting as soon as it is scheduled.



Thank you!



**KARA HUBBARD**  
DEVELOPMENT OFFICER

khubbard@sylvansummervillages.ca  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

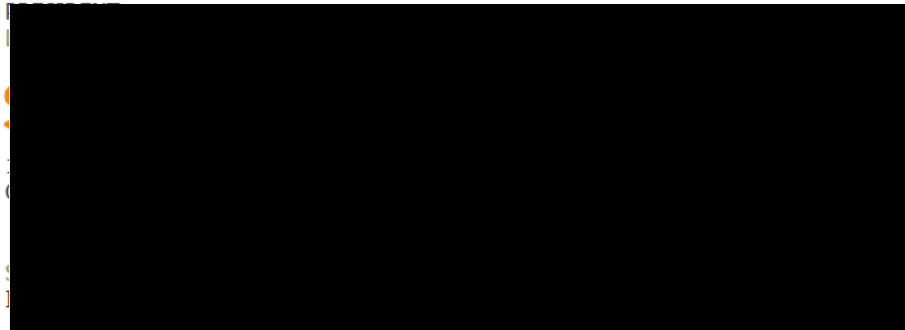
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**From:** [REDACTED]  
**Sent:** Monday, January 23, 2023 8:48 PM  
**To:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Hi Kara,

See attached letter. Let me know if you require anything further.

Donovan Nielsen, P.Eng



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**From:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Sent:** January 16, 2023 12:00 PM  
**To:** [REDACTED]  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Good Morning Donovan,

Thank you for the revised plans. I believe all that we require in order for us to deem this application complete is the letter of intent. #5 in the letter.

If you require an extension for this letter from January 23<sup>rd</sup> please let me know.

Thank you!



**KARA HUBBARD**  
DEVELOPMENT OFFICER

khubbard@sylvansummervillages.ca  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

---

**From:** [REDACTED]  
**Sent:** Thursday, December 29, 2022 8:22 AM  
**To:** Kara Hubbard <[khubbard@sylvansummervillages.ca](mailto:khubbard@sylvansummervillages.ca)>  
**Cc:** [REDACTED]  
**Subject:** RE: Development Permit Application - 165 Jarvis Bay Drive

Hi Kara,

I have attached updated plans with the following revisions:

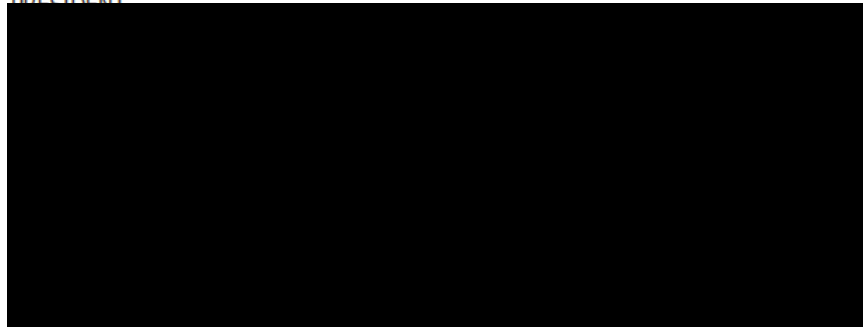
- A single overhead door on the north side of the house, reduce the height to 9ft instead of full height
- The addition of one overhead door to the east side of the structure, not intended for regular use but for moving lake equipment in and out of the garage seasonally
- Canopies added above the main dwelling entrance and the north side garage door

Please review and let me know if you have any further comments.

Thanks.

Donovan Nielsen, P.Eng

PRESIDENT

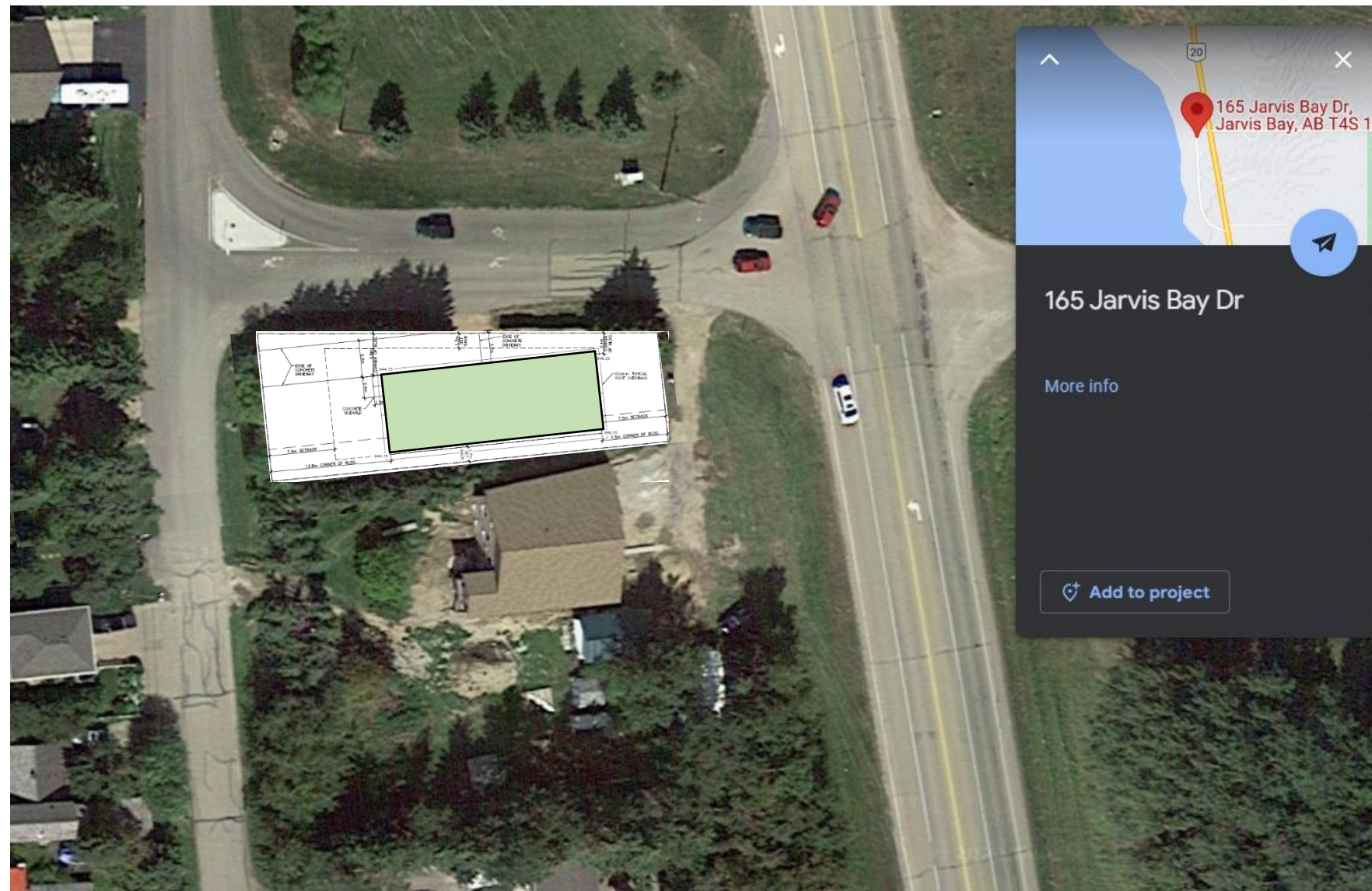




## Additional Information for Appeal Hearing

165 Jarvis Bay Drive, Jarvis Bay, Alberta

Site Plan Overview

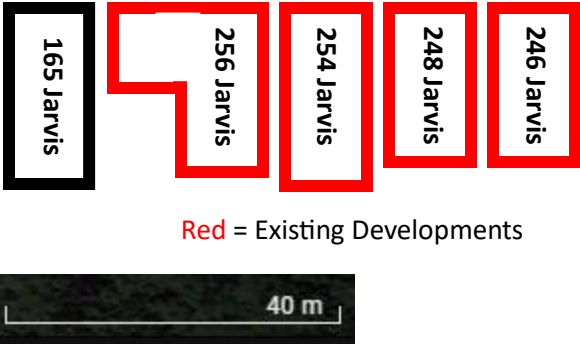


Street View from Jarvis Bay Drive





Examples of Attached Garage Sizes in Jarvis Bay



Response to Request for Guidance on Acceptable Garage Size

Hi Donovan,

We do not have a specific percentage to provide for what is considered acceptable, what we would be looking at is if it is obvious or not that the principal use of the property is a residential dwelling, there is no specific number in the bylaw so again it would come down to the site specifically and if it fits into the surrounding characteristics of the neighbourhood as reflected in the notice of decision.

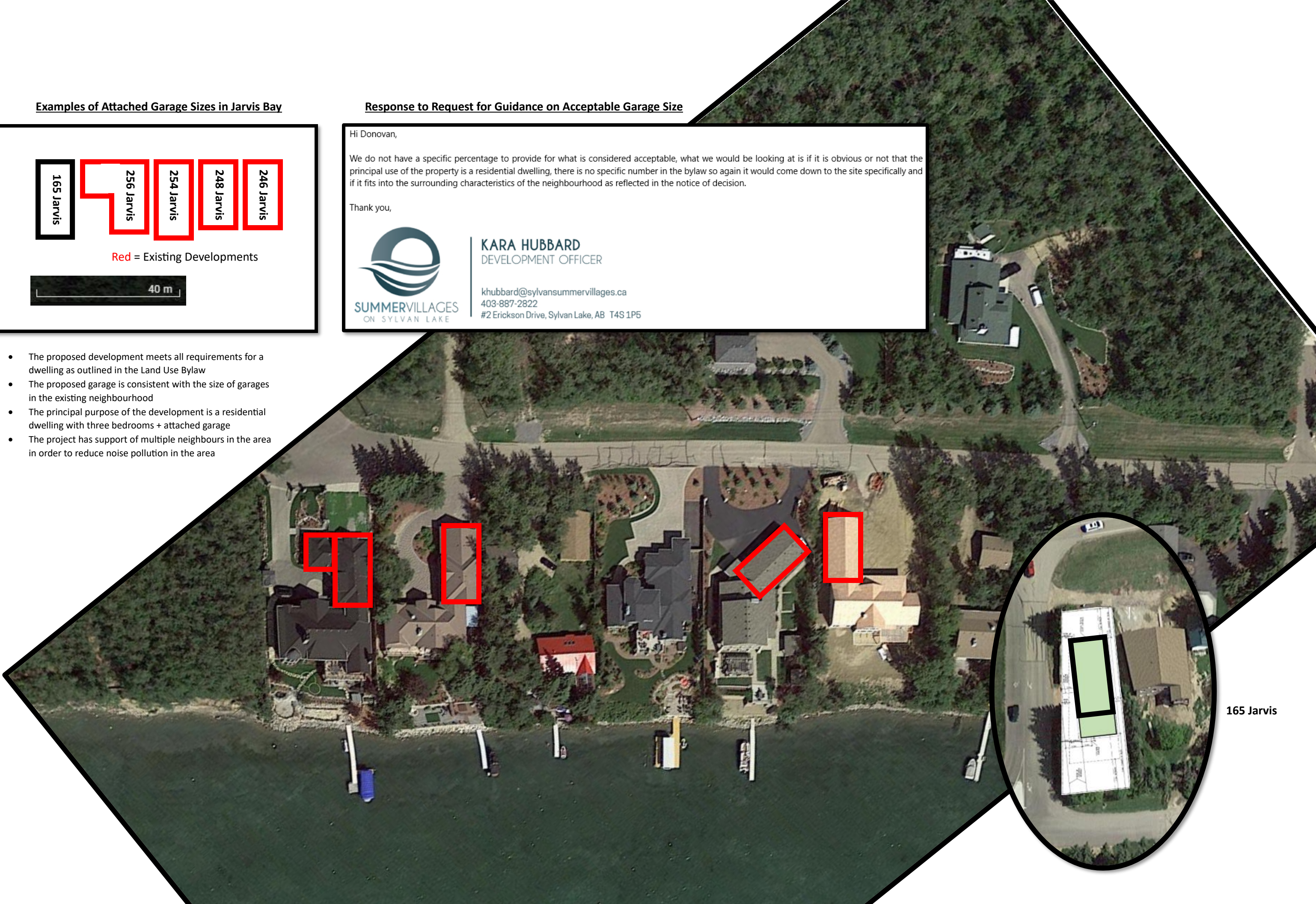
Thank you,



**KARA HUBBARD**  
DEVELOPMENT OFFICER

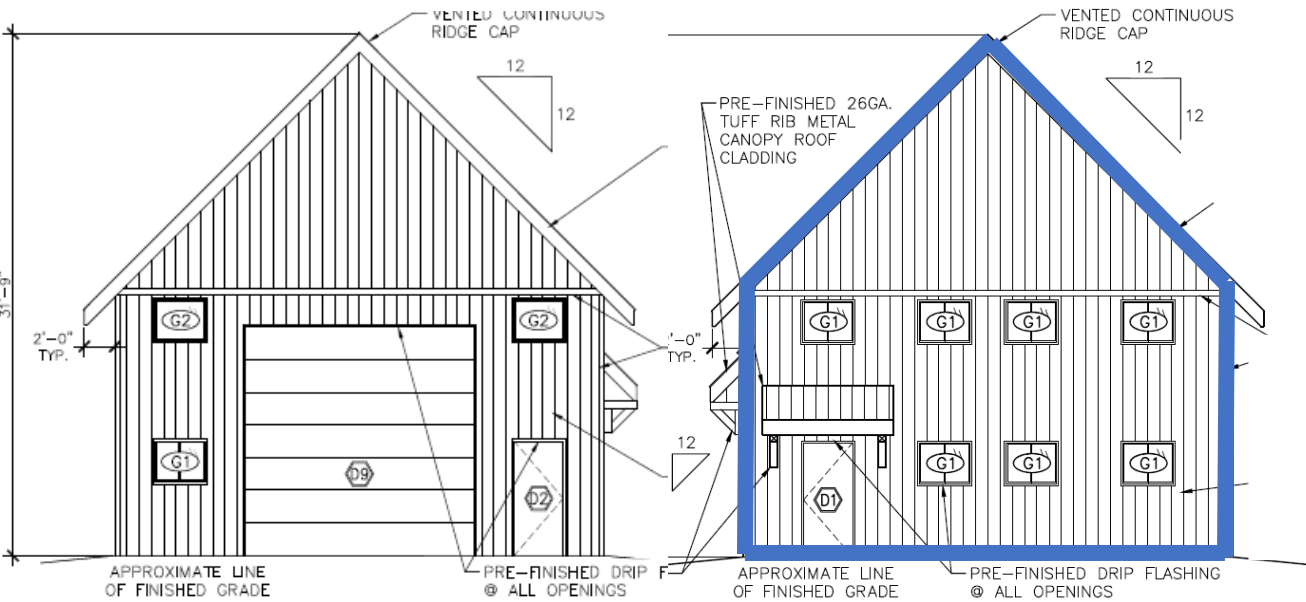
khubbard@sylvansummervillages.ca  
403-887-2822  
#2 Erickson Drive, Sylvan Lake, AB T4S 1P5

- The proposed development meets all requirements for a dwelling as outlined in the Land Use Bylaw
- The proposed garage is consistent with the size of garages in the existing neighbourhood
- The principal purpose of the development is a residential dwelling with three bedrooms + attached garage
- The project has support of multiple neighbours in the area in order to reduce noise pollution in the area



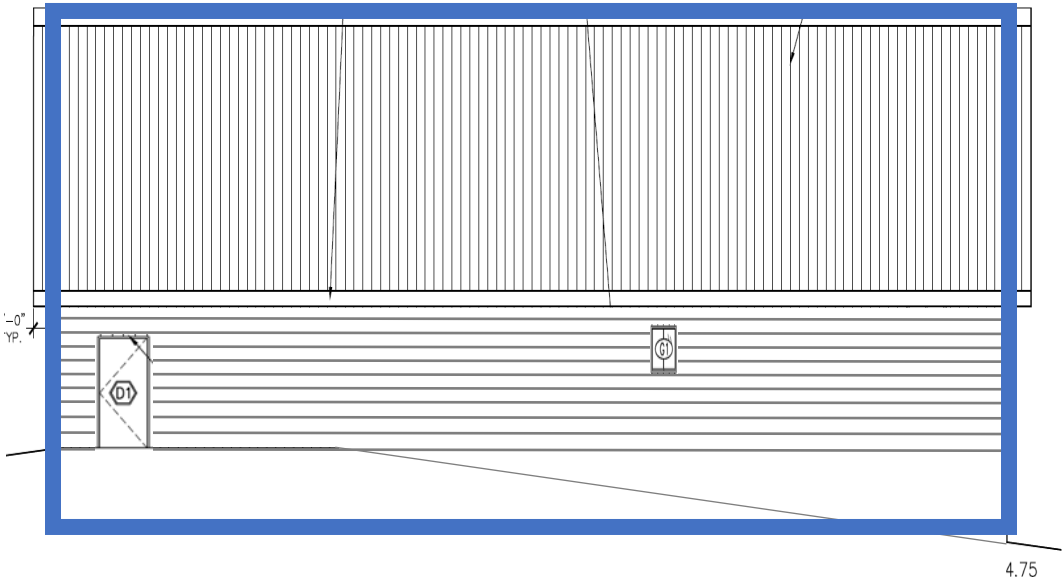
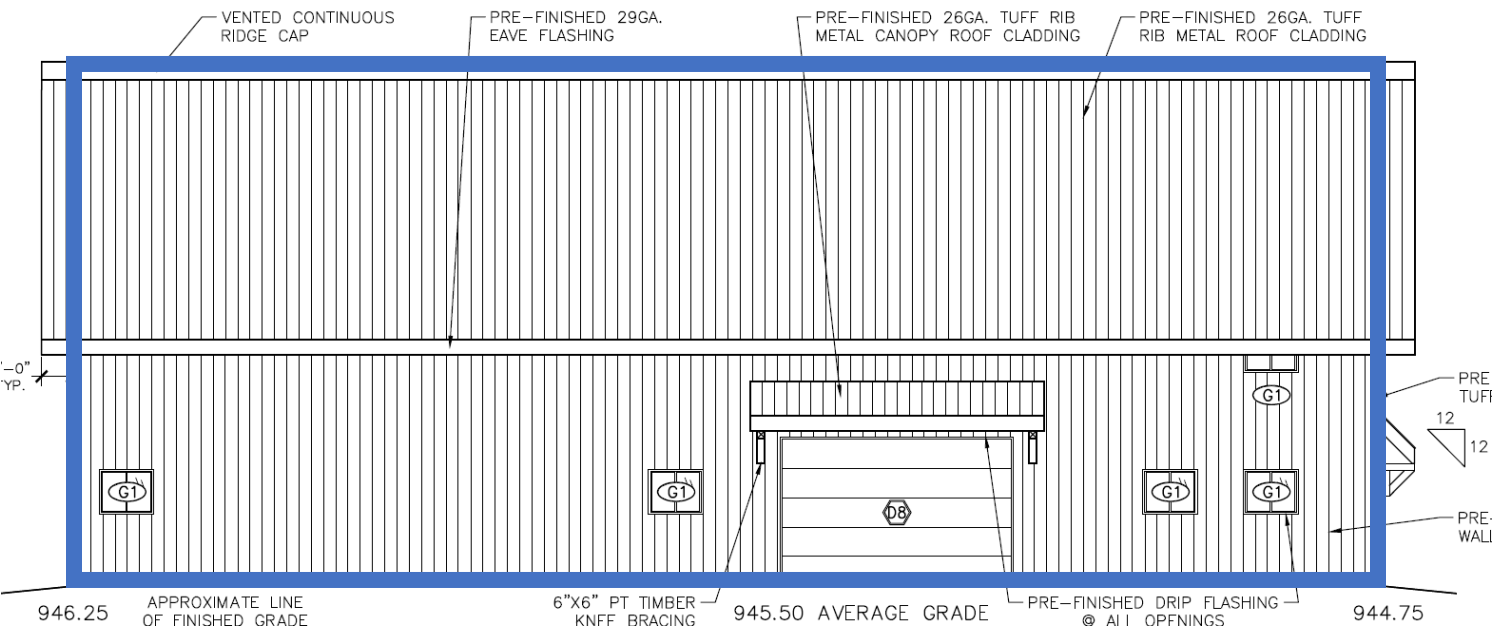


Elevations of Proposed Dwelling at 165 Jarvis Bay



Elevations of Existing Dwelling at 163 Jarvis Bay

The shape of the home next door is exactly the same as being proposed at 166, for both the front and side elevations





March 23, 2023

Donovan Nielsen  
[REDACTED]

Dear Mr. Nielsen:

This is to advise that your appeal has been received on March 20, 2022, appealing the denial of a development permit for a dwelling at 165 Jarvis Bay Drive (Lot 1 & 2, Block 1, Plan 7278AA) in the Summer Village of Jarvis Bay.

The Development Appeal Board Hearing will be held as follows:

**DATE:** Tuesday, April 18, 2023  
**TIME:** 10:00 a.m.  
**LOCATION:** Summer Villages on Sylvan Lake  
2 Erickson Drive  
Sylvan Lake, AB T4S 1P5

Please note that you, or your representative, must be present at this hearing to present your case. You may only speak to the reasons for appeal as stated in your letter. Any information you would like included in the agenda package must be received at the office no later than 4:00 p.m. on Monday, April 10<sup>th</sup>, 2023. Please note you are required to provide ten (10) copies of any documents you wish to provide at the hearing that are not included in the agenda package (i.e. pictures, letters, etc.).

Documents regarding the development permit, the Development Authority's decision, and the notice of appeal are available for public inspection at the Summer Village Administration Office. The Subdivision and Development Appeal Board will hear the appellant or any person acting on behalf of the appellant; the development authority or a person acting on behalf of the development authority; any person who received this notice and wishes to be heard or a person acting on behalf of that person; and any other person who claims to be affected by the decision.

Should you require anything further, please feel welcome to contact me at 403-887-2822.

Respectfully,

Teri Musseau  
Secretary  
Subdivision and Development Appeal Board



## ***Summer Village of Jarvis Bay***

### ***Subdivision and Development Appeal Board***

#### ***Duties and Jurisdiction Report***

Part 17 of the Municipal Government Act (MGA) establishes a framework for municipal planning and development that is supported by provincial legislation, municipal statutory plans, and bylaws. The Subdivision and Development Appeal Board (SDAB) evaluates each case before it with reference to the provincial planning framework, statutory plans, and bylaws. In making the decision on an appeal case the SDAB must consider among other things, the provincial and municipal legislative and planning framework of any application. An SDAB must:

- Stay within the limits of the legislation;
- Act fairly and reasonably within the limits imposed by administrative law and the principles of natural justice;
- Act in accordance with its enabling bylaw; and
- Apply the applicable planning framework to the appeal before it.

The SDAB is not bound to follow its previous decisions, and other similar developments in the area that may or may not have been granted variances have no bearing for this hearing. Decisions are made on a separate, case-by-case basis.

A SDAB must act within its jurisdiction when it makes a decision. Without jurisdiction, the SDAB does not have the authority to make a decision. In order to maintain jurisdiction, the SDAB must:

- Adhere to the statutory requirements prescribed for SDAB's in the MGA
- Comply with the principles of natural justice; and
- Must only make decisions on matters which are properly before the Board.

A SDAB's jurisdiction defines the matters and geographical area over which a SDAB has power to decide. Without jurisdiction, SDAB's cannot make binding decisions.

The SDAB cannot change land use bylaw or statutory plans.

The MGA sets out the following guidelines for an appeal of a decision of a development authority. An appeal may be launched:

- Where a permit is not issued within the 40 days
- If a permit was issued with or without conditions
- If a permit was refused
- If a stop order was issued.

This appeal is against a decision issued by the Municipal Planning Commission for 165 Jarvis Bay Drive in the Summer Village of Jarvis Bay.

The SDAB may uphold the MPC's decision, revoke an order or decision, and issue a development permit even though the proposed development does not comply with the land use bylaw if, in the SDAB's opinion,

- (i) the proposed development would not:
  - a. unduly interfere with the amenities of the neighbourhood, or
  - b. materially interfere with or affect the use prescribed for that land or building in the land use bylaw,
- (ii) the proposed development conforms with the use prescribed for that land or building in the land use bylaw.

The appeal is before the board today because a development permit application went to the Municipal Planning Commission for decision and was denied.

Prior to proceeding with the appeal, Administration respectfully requests the board to determine if jurisdiction in the matter resides with the Subdivision and Development Appeal Board.



**SUBDIVISION & DEVELOPMENT APPEAL BOARD HEARING**  
**April 18, 2023 @ 10:00 A.M.**  
**Municipal Planning Commission Decision Appeal**  
**165 Jarvis Bay Drive**  
**Appellant – Donovan Nielsen c/o 1518577 Alberta Ltd.**

Development Officers Report:

In October 2022, a development permit was applied for, for a dwelling for the property of 165 Jarvis Bay Drive. The application was presented to the Municipal Planning Commission for the following reasons:

1. The design, character and appearance of any building to be erected must be acceptable to the Development Authority having due regard to the character of existing development in the district. In administrations opinion a variance is required.
2. Driveways on corner parcels shall be setback from the street intersection not less than 6m (19.69ft.). The proposed driveway setback is 1.7m (5.57ft.). Variance of 4.3m (11.12ft.) is required.

The Municipal Planning Commission reviewed the application and decided the following:

Each development permit stands on its own merit and therefore the Municipal Planning Commission denies the proposed structure as it does not align with the character of the existing development in the Summer Village.

Land Use Bylaw section 1(2) states that:

“The design, character and appearance of any building, or series of buildings, structures or signs proposed to be erected or located in any district must be acceptable to the Development Authority having due regard to the following:  
b) The character of the existing development in the district.”

Where a structure is designed with the shop being more than twice the size of the living space, the principal use of the structure is not low density residential which is the purpose of the R-A district found in Part 4 of the Land Use Bylaw. In addition, while the Municipal Planning Commission understands this lot has irregular lot lines, the Summer Village of Jarvis Bay is a low-density single family residential municipality and does not support this type of building.

**Summary:**

Discussions regarding the development of 165 Jarvis Bay Drive began in October of 2022 when the administration office received an incomplete development permit application. The application was missing storm water disposal plans, grade elevations, parcel coverage, landscaping plan, and a letter of intent. After discussions with the

applicant and 3 letters sent on October 17, November 15, and November 25, 2022, a complete development permit application was submitted and received. Through this process the applicant made amendments to the application to change the roof pitch, garage door sizes, change to the siding materials and add 2ft canopy roofs above the entrance and one garage door. It appears from the letter of appeal that Mr. Nielsen was under the impression that a completed application was an approval. However, it was the opinion of administration that while the application was complete, it still required a variance and therefore the decision would have to come from the Municipal Planning Commission (MPC). The MPC made the decision to deny the development permit application on February 18, 2023, as the proposed structure does not align with the character of the existing development in the Summer Village.

In the opinion of administration and as noted in the MPC's Notice of Decision, the proposed structure's aesthetics do not align with the character of the existing development in the village. The reason for this is that the proposed structure appears to be a large shop and not a residential home. Further, the proposed structure matches the house on the applicant's other property which was constructed without a garage directly across the street. This adds to the appearance that the structure's main use will be the storage of equipment, potentially for both properties.

While the square footage of the shop is not double that of the living space, that calculation does not take into account the fact that the proposed shop ceilings are 16 ft high. When considering the useable space in the shop, it is essentially double that of the usable living area. It is the opinion of administration that the main use of the proposed structure is not as a residential detached dwelling. Jarvis Bay Land Use Bylaw defines "main use" as "the principal purpose for which a building or parcel is used". 165 Jarvis Bay Drive is in the R - Residential District where the general purpose is "to provide an area for low density residential development in the form of detached dwellings and compatible uses". The main use of the proposed structure is not low density residential.

The letter of appeal states that administration did not clarify what the acceptable threshold is for a ratio of dwelling to garage space. It is true that administration does not have a hard number as the Land Use Bylaw does not state one. The appeal includes an aerial photo outlining other example garages in the area. However, while we cannot see the floor plans of the outlined houses or the dimensions, it is clear that in each case the size of the garage is subordinate to the main use on the example properties which is the detached dwelling. Again, it was the decision of MPC to deny the application as, due to the overwhelming size of the garage in comparison to the living space, the principal use of the proposed structure is not low density residential.

Kara Hubbard  
Development Officer



April 4 2023

Jarvis Bay Subdivision and Development Appeal Board

Re: 165 Jarvis Bay Drive development appeal.

After reviewing the application and architectural drawings again, I am opposed to this building for the following reasons:

1. The building looks like a shop that you would see on an acreage with a 14' door.
2. It does not fit in as a single family home that the land use bylaw requests.
3. The design and construction is a typical shop design as per the architectural drawings and not like any single family home design.
4. The metal roof will be put on 2x6" strapping at 2' centers and I am concerned that the noise from heavy rain and hail will be an issues for us. Plywood sheeting would be a better option.
5. I am concerned that this shop will have a negative effect on my property value as well.
6. This shop would better on the rear of a lot with a home in front of it than standing out on the main road.

I understand what the owners are trying to do and I would welcome a new home being built there but I cannot support this shop as per the design an appearance.

Regards

Alf Moore

A handwritten signature in black ink, appearing to read 'Alf Moore', with a long horizontal flourish extending to the right.

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