

**MUNICIPAL PLANNING COMMISSION AGENDA
SUMMER VILLAGE OF HALF MOON BAY
SUMMER VILLAGES ADMINISTRATION OFFICE
OCTOBER 17, 2023 @ 9:00 A.M.**

A. CALL TO ORDER

B. ADOPTION OF AGENDA

C. DEVELOPMENT ITEMS

1. 22 Hummingbird Lane

D. ADJOURNMENT

Summer Village of Half Moon Bay – Municipal Planning Commission**October 17, 2023****Agenda Item****22 Hummingbird Lane (Lot 2, Block 2, Plan 3741MC)****Development Permit Application****Background:**

In September 2023 a dwelling development permit was issued for the property at 22 Hummingbird Lane (Lot 2, Block 2, Plan 3741MC) in the village of Half Moon Bay. This property is located within the R District (Residential). This application before the Municipal Planning Commission today, has been applied for on behalf of the homeowner and is for a proposed detached garage on the property.

The proposed detached garage is within the setback requirements, within the maximum height, and when the dwelling permit was approved the landscaping and drainage plans were approved as well. The proposed detached garage is to be 1,260.45ft² and to be separate and subordinate to the main dwelling. The garage is intended to be used for storage and does not include a guest house. The parcel coverage for the property is to be within the maximum 45%.

Discussion:

This application is before MPC for the following reason:

- Land Use Bylaw, Part Four, Land Use District Uses: An accessory building where the total floor area is over 74m² (796.54ft²) is listed as a Discretionary Use. The proposed detached garage is 117.1m² (1,260.45ft²) therefore requires approval from the Municipal Planning Commission.

Application Review:

After reviewing the application and all relevant planning documents, administration does not see any reason for the board to deny the discretionary use as requested. The proposed detached garage does not require any variances and meets the requirements of the Land Use Bylaw as mentioned above.

Adjacent landowners have been notified of the proposed development and no response has been received.

Conditions:

If approved, Administration would recommend the following conditions:

- Landscaping to be completed according to the landscaping plan. Minimum 26 trees to be replanted to replace those removed. A minimum 35% of the parcel shall be a landscaped area.
- The height of the accessory building shall not exceed 5m (16.40ft.) in building height measured from grade.
- All applicable Building, Electrical, and Plumbing & Gas permits shall be obtained with Superior Safety Codes.
- An accessory building erected or placed on a parcel shall not be used as a dwelling unit.
- The exterior of an accessory building must be finished to match or compliment the exterior finish of the main building.
- A lot grade certificate is required to be submitted to the Development Authority at completion to ensure proper drainage on the property exists.
- A final as build real property report from an Alberta Land Surveyor at completion of landscaping to ensure parcel coverage is within the maximum.

Authorities:

For a discretionary use in any district:

(a) The Municipal Planning Commission may approve an application for a Development Permit:

- (i) With or without conditions;
- (ii) Based on the merits of the proposed development, including its relationship to any approved statutory plan, non-statutory plan or approved policy affecting the site;
- (iii) Where the proposed development conforms in every respect to this Land Use Bylaw; or

(b) The Municipal Planning Commission may refuse an application for a Development Permit based on the merits of the proposed development, even though it meets the requirements of this Land Use Bylaw; or

(c) Subject to the provisions of section 2.4(2) the Municipal Planning Commission shall refuse an application for a Development Permit if the proposed development does not conform in every respect to this Land Use Bylaw.

Decision:

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (*Section 642 of the MGA*), or
2. Deny the application stating reasons why (*Section 642(4) of the MGA*).

Kara Hubbard

From: [REDACTED]
Sent: [REDACTED]
To: Kara Hubbard
Subject: 22 humming bird lane , Halfmoon bay

Follow Up Flag: Follow up
Flag Status: Flagged

Good morning Kara,

I am sending you this to explain why the garage we want to build needs to be 30 feet by 42 feet.

This will be our permanent residence. It is not just a weekend retreat. We purchased the biggest lot we could so it would accommodate our needs. We have a 28 foot pontoon boat when it is on the trailer for winter storage it measures 39.5 feet. I also am a classic car collector and have 2 car lifts that lift 7 ft tall so with a classic truck on it the total height is just under 14 feet. This allows us to park our daily drivers under them. We also want to accommodate our side by side ATV, golf cart, and lawn tractor so we don't have to build a bunch of sheds on the property or erect a tent enclosure for that purpose. When the boat is in use in the summer, I will store my enclosed car trailer inside.

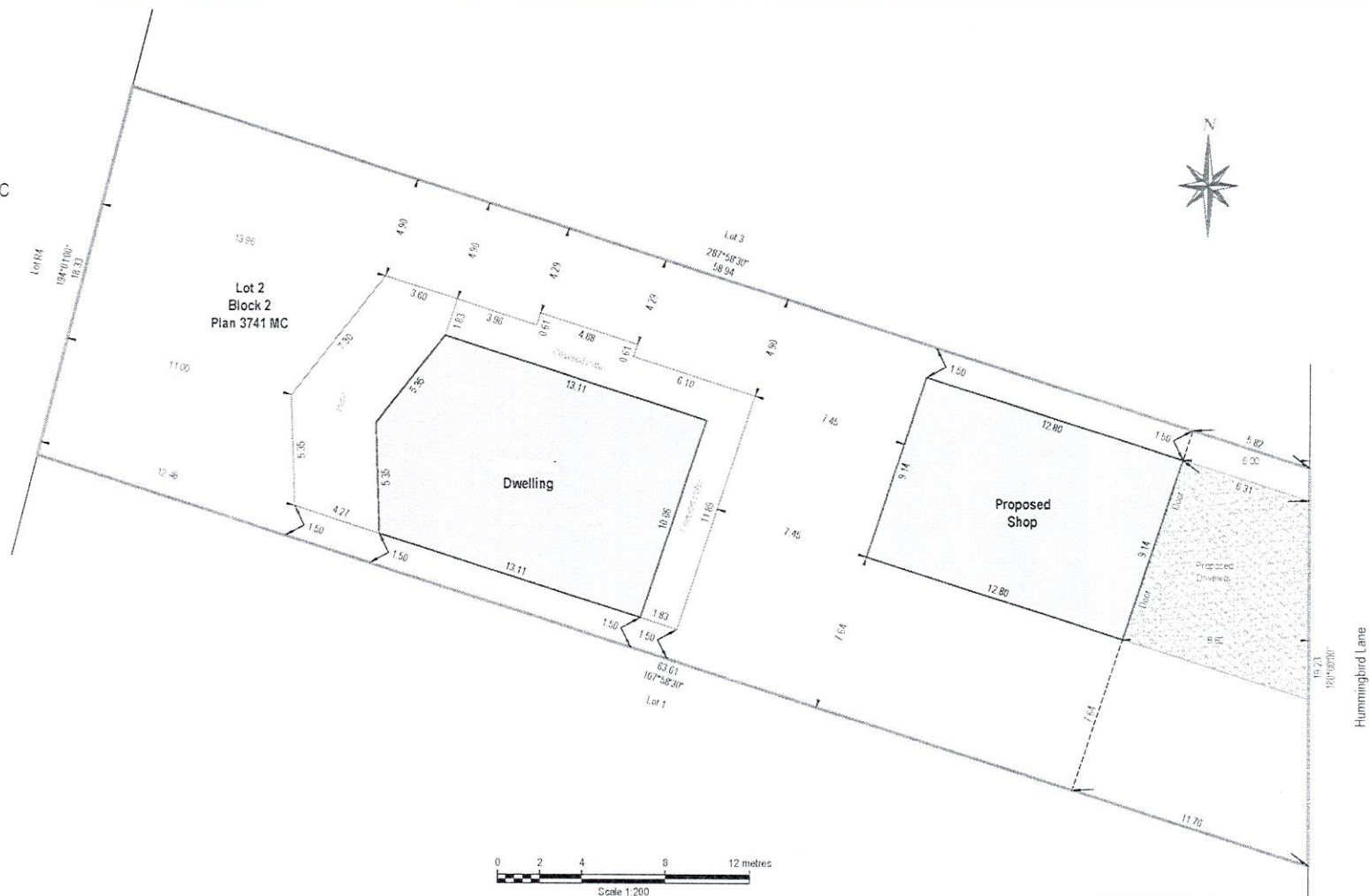
I was hoping to keep the roof line to match house, but would consider a secondary roof plan. I know several neighbours that have built much taller garages than we would like to. This may be because they have guest suites above their garages. We would consider building it taller to have small guest quarters if that makes it easier for approval.

Thank you for your time on this. Please call me if you have any more questions.

[REDACTED]

Sent from my iPhone

Civic Address: 22 Hummingbird Lane
Summer Village of
Half Moon Bay, Alberta
Legal Description: Lot 2, Block 2, Plan 3741 MC



APPROVED BY _____

Print Name & Signature

NOTES:

- Distances are in meter and decimals thereof. Measurements are shown to the outside face of the proposed building foundation wall at ground level.
- The above ground and buried facilities have not been located and are not shown on the plan. It is the responsibility of the owner(s) and contractor to have the facilities located prior to construction.
- Lot boundaries have been calculated from registered plan and may change due to located survey evidence at the time of staking.



11-4508 62nd Street
Red Deer, Alberta T4N 6T3
Office (403) 356-0111 Fax (403) 356-0114
www.coffins.ca/deathbox.ca



LAND USE DISTRICT

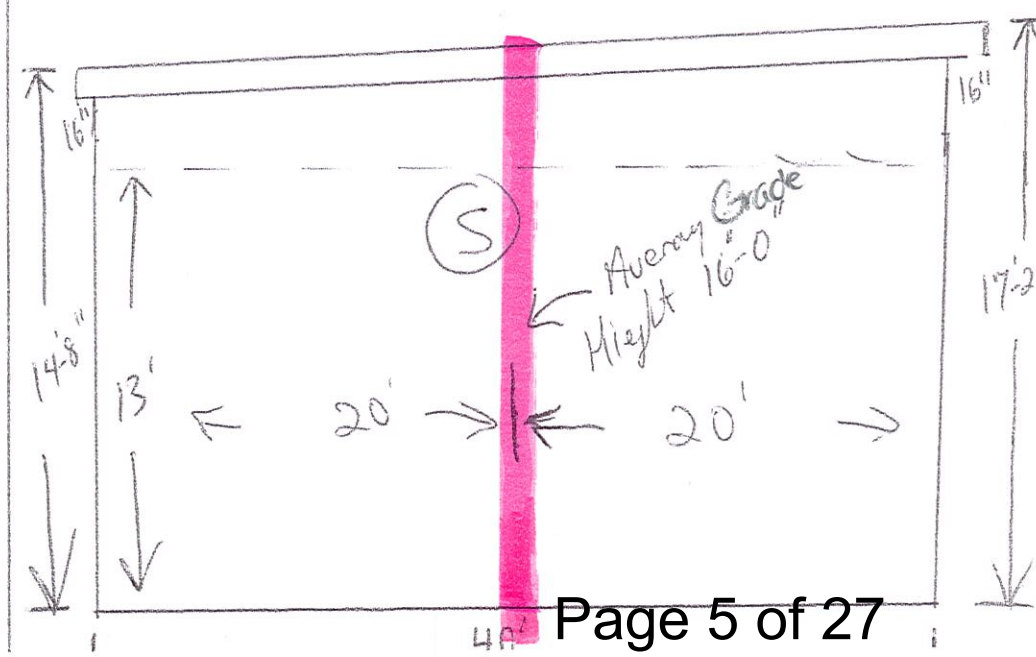
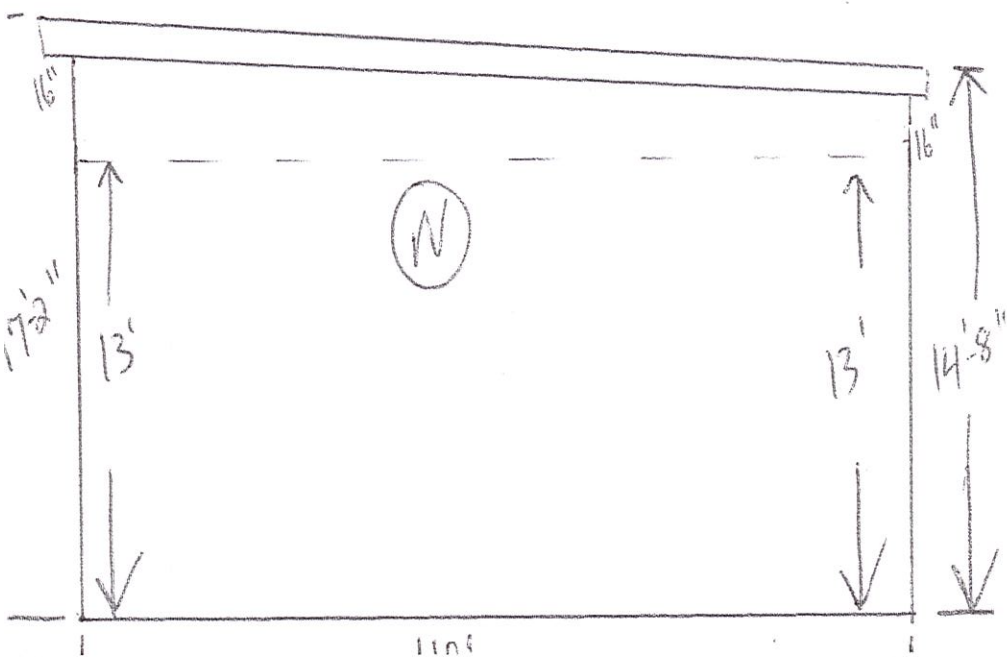
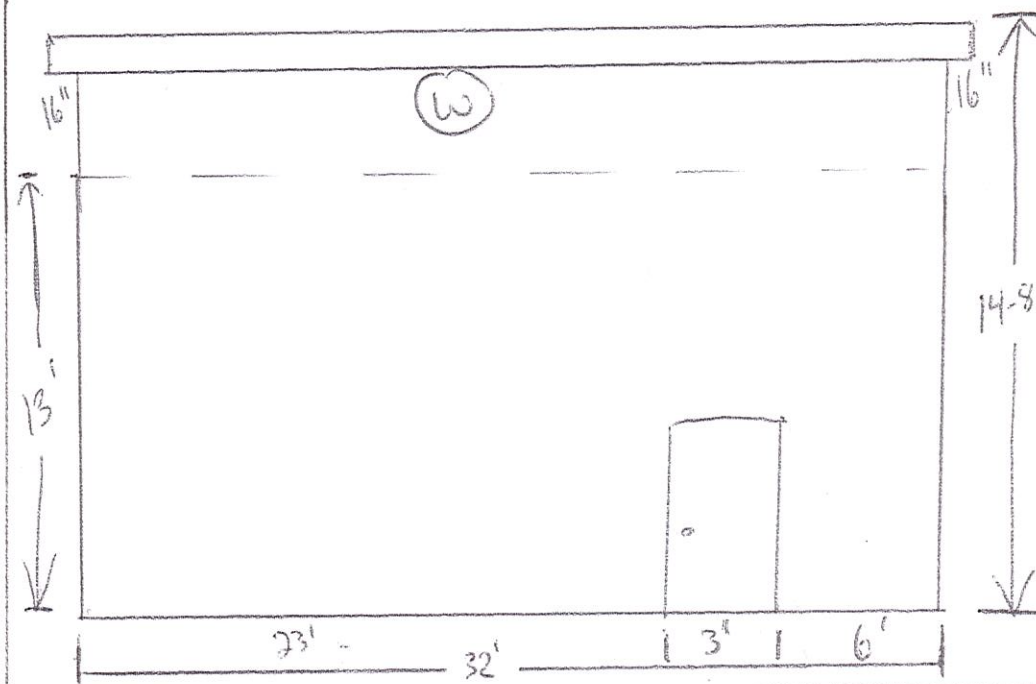
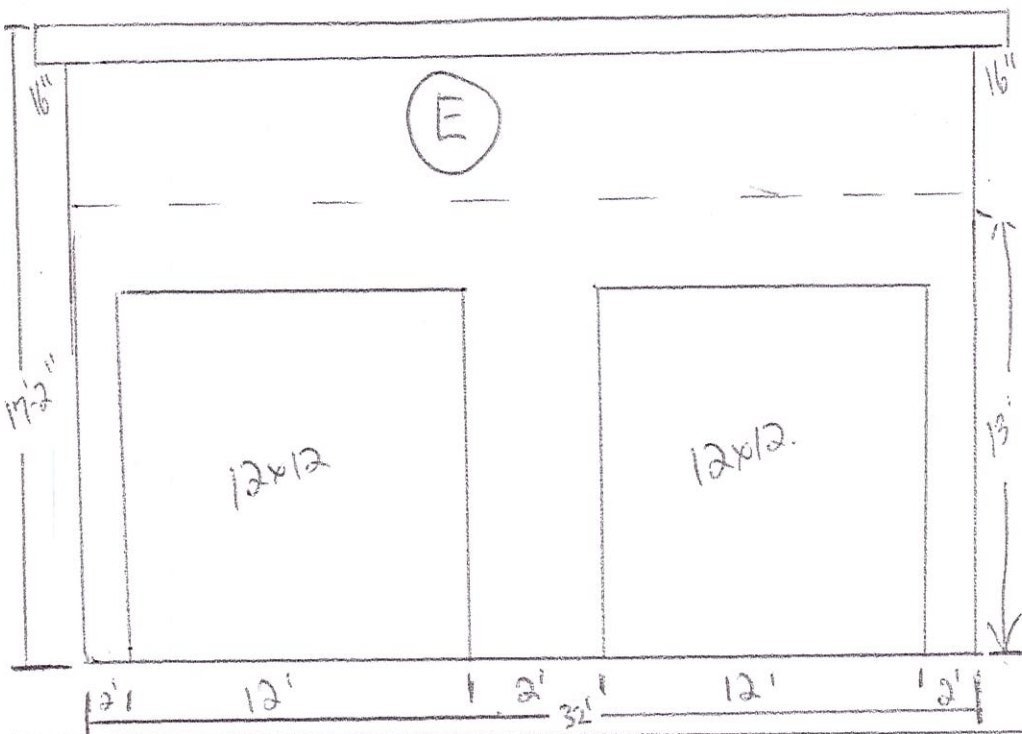
-Residential District

CLIENT

Calagahan Contracting Ltd

REV
A

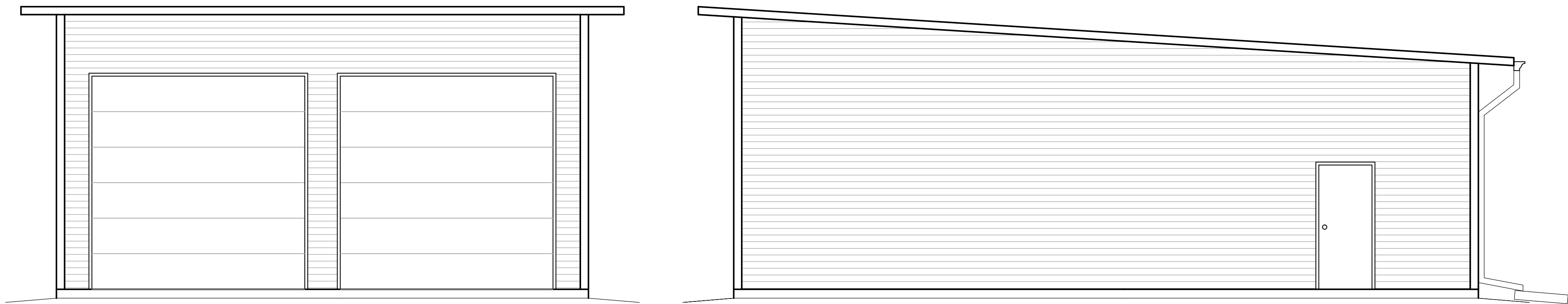
PAGE
1 of 1



30'-0"X42'-0"

DETACHED GARAGE

RED DEER COUNTY, ALBERTA



BUILDING CODE ANALYSIS	
BUILDING CLASSIFICATION:	
PART 9 STRUCTURE – COLD STORAGE	
DESCRIPTION:	PROVIDED:
BUILDING HEIGHT	1 STOREY OR 4.43m (14'-6 1/4")
TOTAL MAIN FLOOR AREA	117.2m² (1260ft²)
TOTAL SECOND FLOOR AREA	N/A
TOTAL MEZZANINE FLOOR AREA	N/A
OCCUPANT LOAD	MAX ## PERSONS

SPATIAL SEPARATIONS:	RATING/ALLOWABLE OPENINGS:	PROVIDED:
NORTH:	0 HR FIRE RATING, 60% ALLOWED OPENINGS COMB. CLADDING & COMB. CONST.	0 HR FIRE RATING, 0% UNPROTECTED OPENINGS NON-COMB. CLADDING & COMB. CONST.
SOUTH:	0 HR FIRE RATING, 5% ALLOWED OPENINGS COMB. CLADDING & NON-COMB. CONST.	0 HR FIRE RATING, 0% UNPROTECTED OPENINGS COMB. CLADDING & COMB. CONST.
EAST:	0 HR FIRE RATING, 100% ALLOWED OPENINGS COMB. CLADDING & COMB. CONST.	0 HR FIRE RATING, 35.31% UNPROTECTED OPENINGS NON-COMB. CLADDING & COMB. CONST.
WEST:	0 HR FIRE RATING, 74% ALLOWED OPENINGS COMB. CLADDING & COMB. CONST.	0 HR FIRE RATING, 67.50% UNPROTECTED OPENINGS NON-COMB. CLADDING & COMB. CONST.

FIRE RATING REQUIREMENTS REFERENCE THE NBC-AE SECTIONS 9.10.15.4 AND 9.10.15.5

REQUIRED PROFESSIONAL INVOLVEMENT				
ARCHITECTURAL:	STRUCTURAL:	MECHANICAL:	ELECTRICAL:	GEOTECHNICAL:
RICHARDS CONSULTING	RICHARDS CONSULTING	-	-	-

DRAWING LIST
00 – COVER PAGE
A2.0 – BUILDING ELEVATIONS
A3.0 – MAIN FLOOR PLAN
A3.2 – SAWCUT PLAN
A5.0 – CONSTRUCTION ASSEMBLIES
S1.0 – GENERAL NOTES
S3.0 – BUILDING SECTIONS
S4.0 – WALL SECTIONS
S6.0 – TRUSS PLAN
S7.0 – DETAILS

ACCEPTED BY: _____

DATE: _____

SIGNATURE: _____

ISSUED FOR
PERMIT



PERMIT TO PRACTICE	
RICHARDS CONSULTING AND ASSOCIATES LTD	
PRO SIGNATURE:	PRO
PRO AREA ID #	48620
DATE	03 October 2023
PERMIT NUMBER: P006515	
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)	

STAMPS			
0	ISSUED FOR PERMIT	1 SEPT 2023	MA
NO.	REVISION	DATE	BY

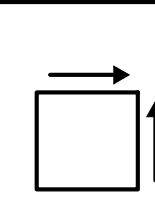
ISSUED FOR
PERMIT



PERMIT TO PRACTICE
RICHARDS CONSULTING AND ASSOCIATES LTD
PROFESSIONAL ENGINEER
DATE: 03 October 2023
PERMIT NUMBER: P006515
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

STAMPS

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NO.	REVISION	DATE	BY

 **RICHARDS
CONSULTING &
ASSOCIATES
LIMITED**
27317 TWP RD 372
RED DEER COUNTY
ALBERTA T4E 1N9
P: 403-886-2919 F: 403-886-2733

CLIENT
SKAKUN GARAGE

PROJECT
30'-0"X42X13'-0"
DETACHED GARAGE

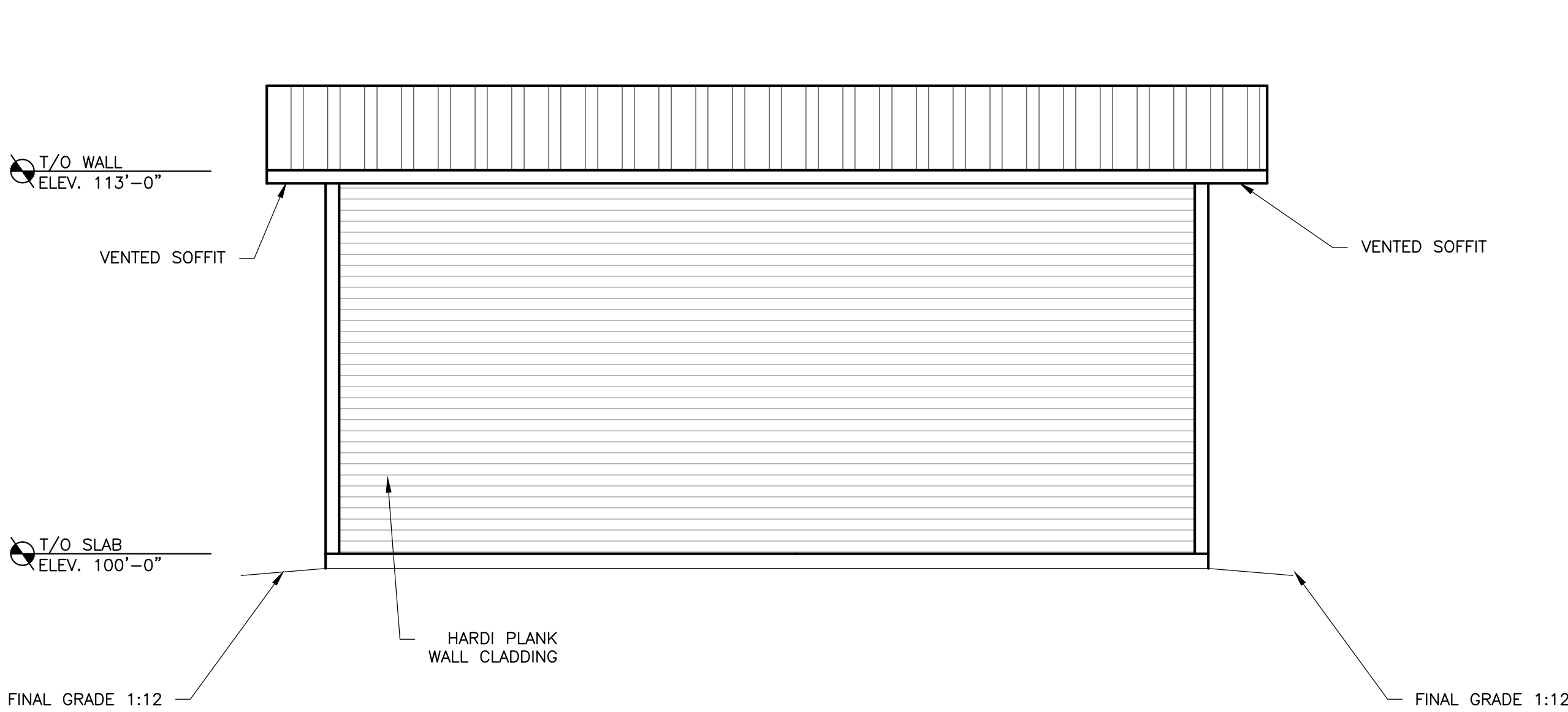
RED DEER COUNTY, ALBERTA
LEGAL DESCRIPTION
22 HUMMINGBIRD, HALF MOON
BAY

DRAWING TITLE
BUILDING
ELEVATIONS

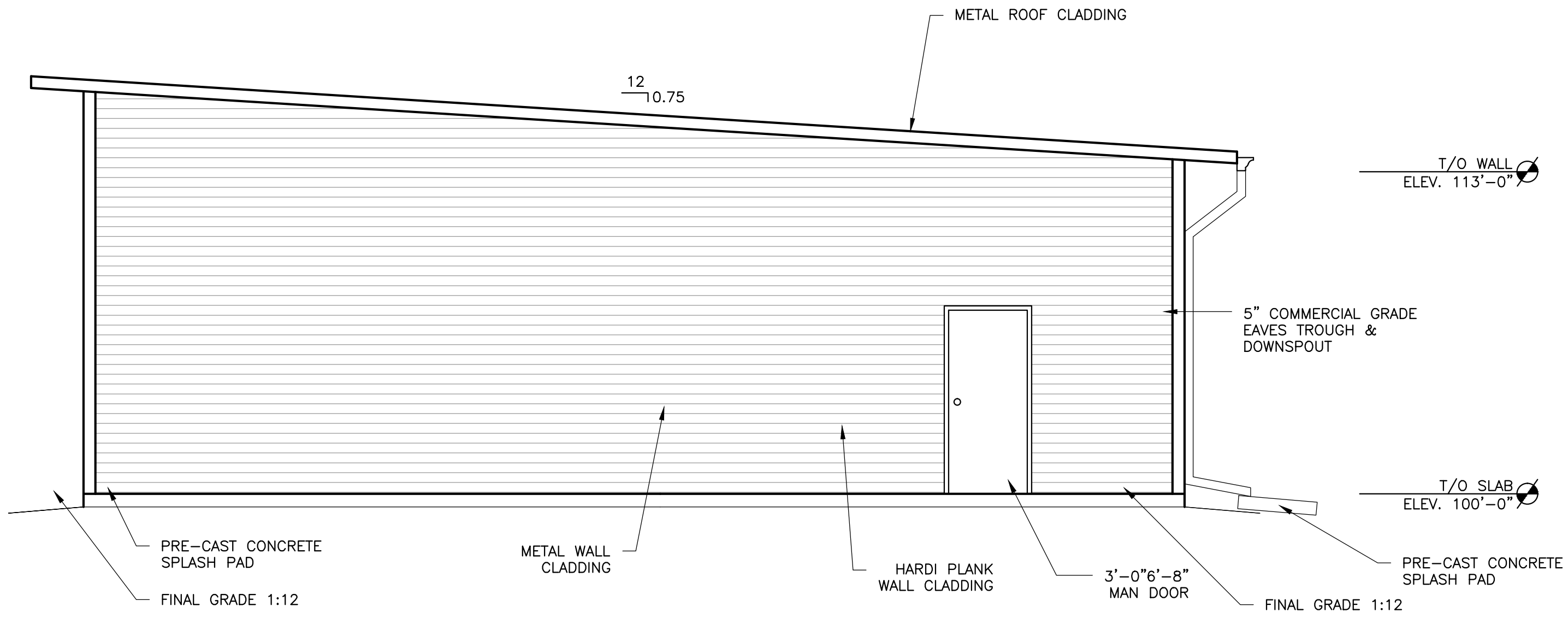
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DESIGNED BY	M. RICHARDS	DATE	2023AUG31
DRAWN BY	M. ANTHONY	DATE	2023AUG31
CHECKED BY	M. RICHARDS	DATE	2023AUG31

JOB NUMBER	PAGE NUMBER	REVISION
22440	A2.0	2

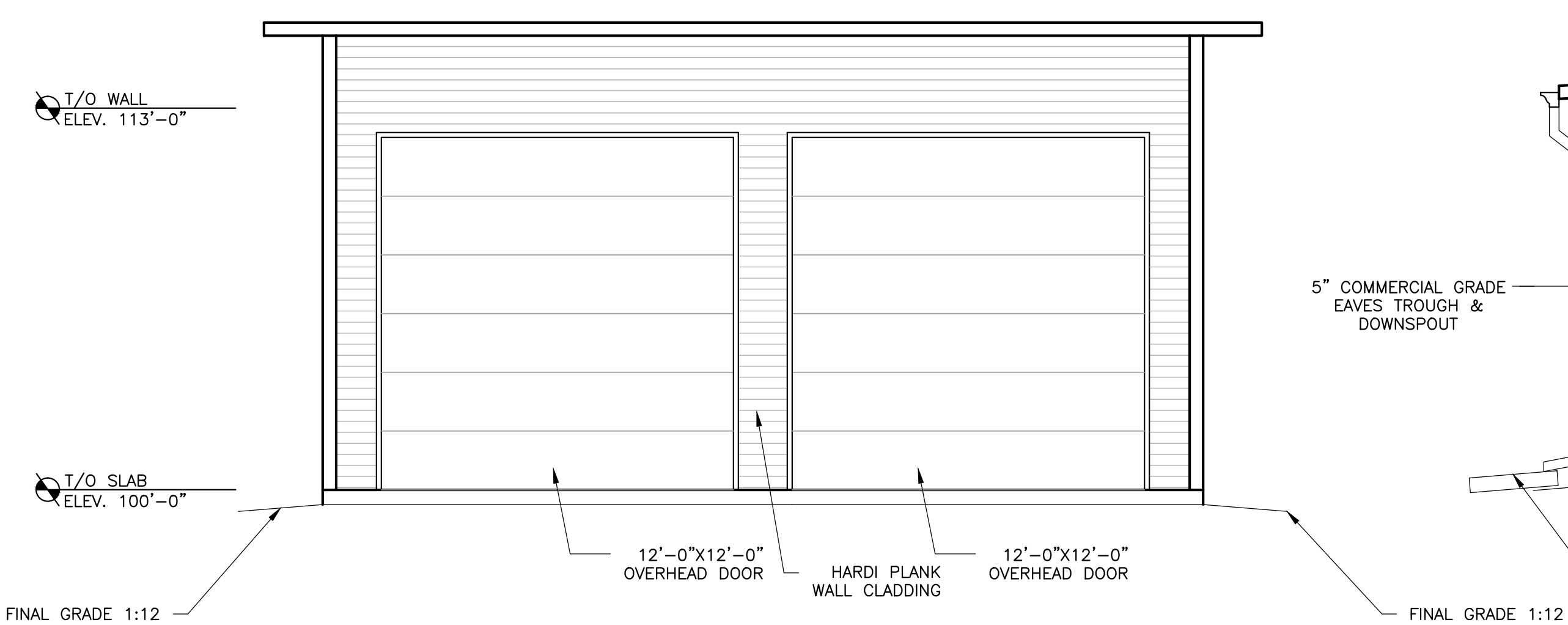
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DATE: _____
SIGNATURE: _____



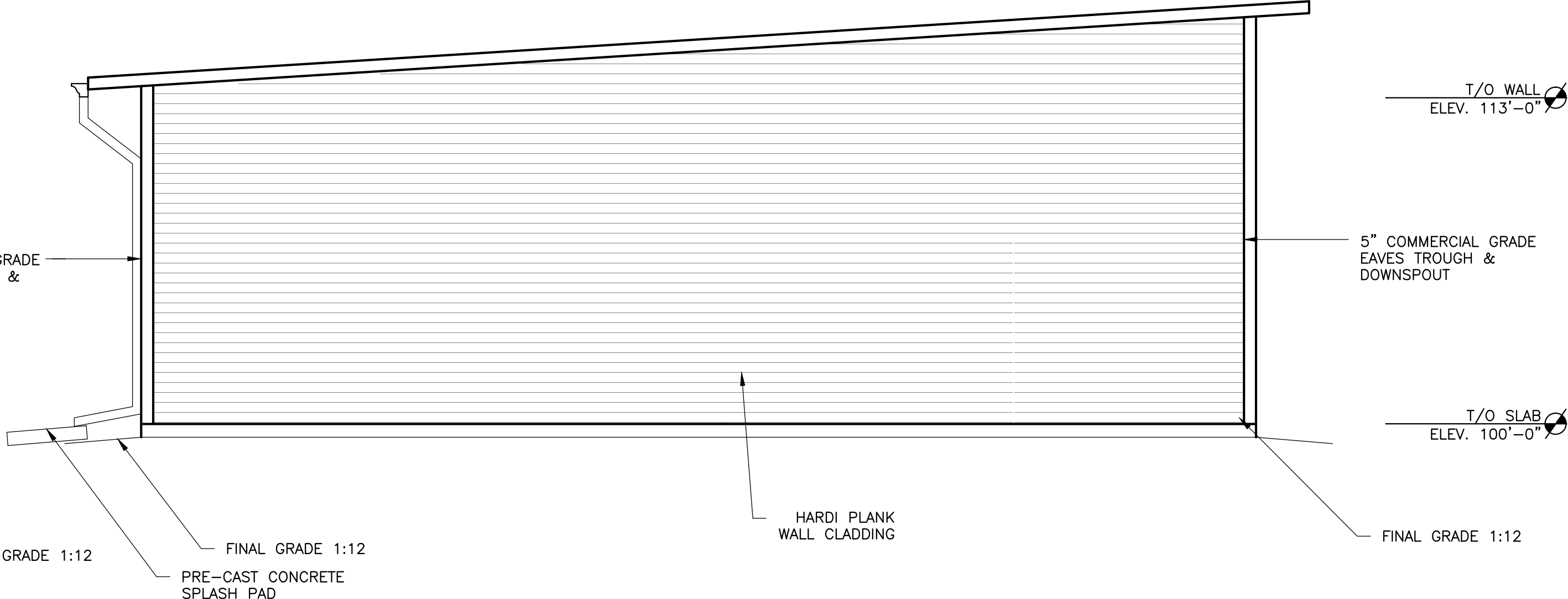
1 WEST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



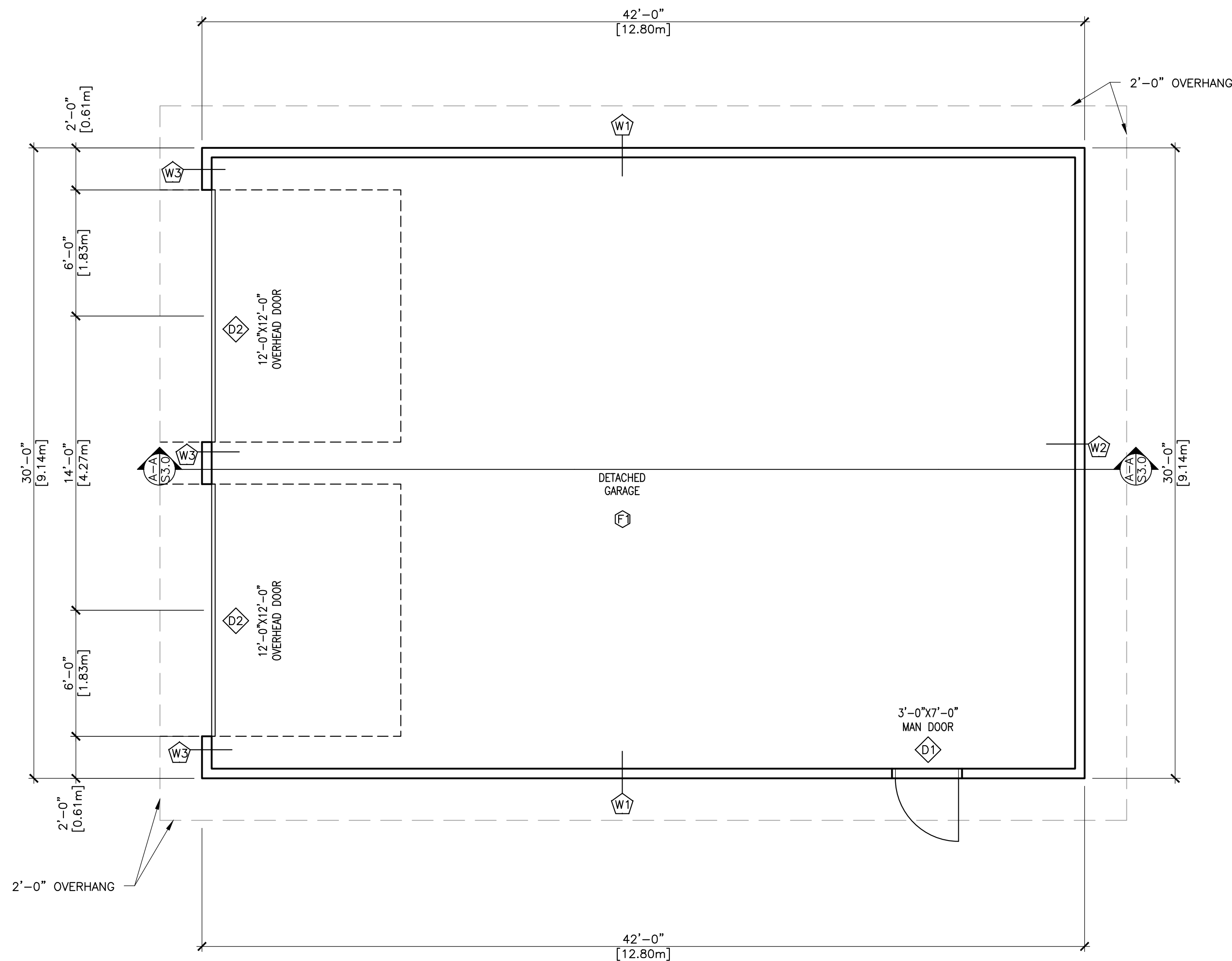
2 SOUTH ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



1 MAIN FLOOR PLAN
A3.0 SCALE: 1/4" = 1'-0"

ACCEPTED BY: _____
DATE: _____
SIGNATURE: _____

ISSUED FOR
PERMIT



PERMIT TO PRACTICE
RICHARDS CONSULTING AND ASSOCIATES LTD
FOR SIGNATURE: *M. Richards*
FOR AREA: 48620
DATE: 03 October 2023
PERMIT NUMBER: P006515
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

STAMPS

0	ISSUED FOR PERMIT	1 SEPT 2023	MA
NO.	REVISION	DATE	BY

 RICHARDS
CONSULTING &
ASSOCIATES
LIMITED
27317 TWP RD 372
RED DEER COUNTY
ALBERTA T4E 1N9
P: 403-886-2919 F: 403-886-2733

CLIENT
SKAKUN GARAGE

PROJECT
30'-0"X42X13'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA
LEGAL DESCRIPTION
22 HUMMINGBIRD, HALF MOON
BAY

DRAWING TITLE
MAIN FLOOR PLAN

SCALE AS NOTED		
DESIGNED BY	DATE	
M. RICHARDS	2023AUG31	
DRAWN BY	DATE	
M. ANTHONY	2023AUG31	
CHECKED BY	DATE	
M. RICHARDS	2023AUG31	
JOB NUMBER	PAGE NUMBER	REVISION
22440	A3.0	2

WALL DESCRIPTION:

- W1 BUILDING EXTERIOR SIDE WALL**
- HARDI PLANK WALL SIDING
 - BUILDING PAPER
 - 1/2" PLYWOOD FASTENED IN PLACE WITH 2-1/2" CWN @ 6" O.C. SHEET PERIMETER AND 12" ELSEWHERE
 - 2- 2X6 SPF NO 1/2 TOP PLATES
 - 2X6 SPF NO 1/2 STUDS @ 16" O.C.
 - 2X6 SPF NO 1/2 MID-SPAN BLOCKING
 - 2X6 TREATED BASE PLATE
 - 5/8"x8"x3" ANCHOR BOLTS @ 24" O.C., TO C/W CUT WASHER

W2 BUILDING EXTERIOR END WALL

- HARDI PLANK WALL SIDING
- BUILDING PAPER
- 1/2" PLYWOOD FASTENED IN PLACE WITH 2-1/2" CWN @ 6" O.C. SHEET PERIMETER AND 12" ELSEWHERE
- 2- 2X6 SPF NO 1/2 TOP PLATES
- 2X6 SPF NO 1/2 STUDS @ 16" O.C.
- 2X6 SPF NO 1/2 MID-SPAN BLOCKING
- 2X6 TREATED BASE PLATE
- 5/8"x8"x3" ANCHOR BOLTS @ 24" O.C., TO C/W CUT WASHER

W3 BUILDING EXTERIOR END WALL

- HARDI PLANK WALL SIDING
- BUILDING PAPER
- 2- LAYERS OF 1/2" PLYWOOD FASTENED IN PLACE WITH 2-1/2" CWN @ 6" O.C. SHEET PERIMETER AND 12" ELSEWHERE
- 2- 2X6 SPF NO 1/2 TOP PLATES
- 2X6 SPF NO 1/2 STUDS @ 16" O.C.
- 2X6 SPF NO 1/2 MID-SPAN BLOCKING
- 2X6 TREATED BASE PLATE
- 5/8"x8"x3" ANCHOR BOLTS @ 24" O.C., TO C/W CUT WASHER

ROOF DESCRIPTION:

- R1 ROOF & CEILING CONSTRUCTION**
- CONTINUOUS VENTED RIDGE CAP
 - 26 GA. HIGH TENSILE STANDING SEAM CLADDING
 - ROOFING PAPER
 - 1/2" SPF PLYWOOD
 - ENGINEERED TRUSSES @ 24" O.C. SEE MANUFACTURER'S DRAWINGS FOR PERMANENT AND TEMPORARY CROSS BRACING
 - PERMANENT TRUSS BRACING PLACE 1-2X4 SPF NO 1/2 CENTERED ON TRUSS COMPRESSION WEB EACH SIDE OF CENTER COMPRESSION WEB FULL LENGTH OF BUILDING C/W DIAGONAL 2X4 SPF NO 1/2 BRACE NAILED TO WEB @ APPROX 20'-0" INTERVALS

R2 ROOF EAVE CONSTRUCTION

- 26ga. HIGH TENSILE STANDING SEAM
- ROOFING PAPER
- 1/2" SPF PLYWOOD
- ENGINEERED TRUSS @ 24" O.C. SEE MANUFACTURER'S DRAWINGS FOR PERMANENT AND TEMPORARY CROSS BRACING
- PERMANENT TRUSS BRACING PLACE 1-2X4 SPF NO 1/2 CENTERED ON TRUSS COMPRESSION WEB EACH SIDE OF CENTER COMPRESSION WEB FULL LENGTH OF BUILDING C/W DIAGONAL 2X4 SPF NO 1/2 BRACE NAILED TO WEB @ APPROX 20'-0" INTERVALS
- FASTEN ALL TRUSS ENDS WITH MIN OF 4-4" COMMON SPIKES/TRUSS
- CONTINUOUS CLOSED PROTECTED SOFFIT REFERENCE 2019 NBC-AE SECTION 9.10.15.5.(11)

R3 ROOF LADDER ASSEMBLY

- 26GA. HIGH TENSILE STANDING SEAM
- ROOFING PAPER
- 1/2" SPF PLYWOOD
- 2X4 SPF NO 1/2 LADDER ASSEMBLY 24" O.C.
- CONTINUOUS CLOSED PROTECTED SOFFIT REFERENCE 2019 NBC-AE SECTION 9.10.15.5.(11)

FLOOR DESCRIPTION:

- F1 CONCRETE SLAB-BY OTHERS**
- SURFACE SEALANT
 - 4" THK. CONCRETE STRUCTURAL SLAB r/w 10M BAR REINFORCING @ 16" O.C. E/W
 - CONCRETE TO BE 32 mPa 28 DAY COMPRESSIVE STRENGTH (TYPE 10 PORTLAND CEMENT)
 - CONTROL JOINTS SPACED @ 20'-0" O.C. E/W FILL CONTROL JOINTS WITH ELASTAMERIC SEALANT
 - 6 mil POLY VAPOUR BARRIER
 - 6" THK. OF 3/4" CRUSHED ROCK COMPACTED TO 98% PROCTOR DENSITY
 - PROOF ROLL THE ENTIRE SUB GRADE TO ENSURE ALL LOW BEARING SOILS ARE DETECTED & REMOVED-PROOF ROLL SUBGRADE ONLY ONCE TO AVOID WEAKENING SOIL BEARING STRENGTH.
 - EXCAVATE LOW BEARING SOILS AREAS TO A MIN. DEPTH OF 24" AND REPLACE WITH ONE LAYER OF GEOTEXTILE MATERIAL AND FILL WITH 3"Ø MINUS PIT RUN IN LIFTS NO GREATER THAN 6" WITH EACH LIFT BEING COMPACTED TO 98% PROCTOR DENSITY

F2 CONCRETE APRON CONSTRUCTION-BY OTHERS

- 5" THK. CONCRETE STRUCTURAL SLAB r/w 10M BAR REINFORCING @ 12" O.C. E/W
- CONCRETE TO BE 32 mPa 28 DAY COMPRESSIVE STRENGTH (TYPE 10 PORTLAND CEMENT)
- CONTROL JOINTS SPACED @ 20'-0" O.C. E/W FILL CONTROL JOINTS WITH ELASTAMERIC SEALANT
- 2" LOW DENSITY INSULATION
- 6" THK. OF 3/4" CRUSHED ROCK COMPACTED TO 98% PROCTOR DENSITY
- PROOF ROLL THE ENTIRE SUB GRADE TO ENSURE ALL LOW BEARING SOILS ARE DETECTED & REMOVED-PROOF ROLL SUBGRADE ONLY ONCE TO AVOID WEAKENING SOIL BEARING STRENGTH.
- EXCAVATE LOW BEARING SOILS AREAS TO A MIN. DEPTH OF 24" AND REPLACE WITH ONE LAYER OF GEOTEXTILE MATERIAL AND FILL WITH 3"Ø MINUS PIT RUN IN LIFTS NO GREATER THAN 6" WITH EACH LIFT BEING COMPACTED TO 98% PROCTOR DENSITY

ROOF SOFFIT NOTE:
REFERENCE 2019 NBC-AE - SECTION 9.10.15.5. (11) - WHERE ROOF SOFFITS PROJECT TO LESS THAN 1.2m FROM THE PROPERTY LINE, THE CENTER LINE OF A LANE OR PUBLIC THOROUGHFARE, OR AN IMAGINARY LINE BETWEEN TWO BUILDINGS OR FIRE COMPARTMENTS ON THE SAME PROPERTY, THEY SHALL
A) HAVE NO OPENINGS AND
B) BE PROTECTED BY
I) NOT LESS THAN 0.38mm THICK SHEET STEEL,
II) UNVENTED ALUMINUM CONFORMING TO CAN/CGSB-93.2M, "PRE-FINISHED ALUMINUM SIDING, SOFFITS, AND FASCIA, FOR RESIDENTIAL USE,"
III) NOT LESS THAN 12.7mm GYPSUM SOFFIT BOARD OR GYPSUM CEILING BOARD INSTALLED ACCORDING TO CSA A82.31-M, "GYPSUM BOARD APPLICATION"
IV) NOT LESS THAN 11mm THICK PLYWOOD,
V) NOT LESS THAN 12.5mm THICK OSB OR WAFERBOARD, OR
VI) NOT LESS THAN 11mm THICK LUMBER

DOOR & HARDWARE SCHEDULE

QTY	MARK	SIZE	LOCATION	STYLE	DOOR SLAB	FRAME	HARDWARE	ACCESS	COMMENTS
					METAL ALUMINUM WOOD SOLID HOLLOW INSULATED STAIN PAINT GLAZING RATED	METAL ALUMINUM WOOD STAIN PAINT RATED	LOCKSET PASSAGE PRIVACY PANIC PUSH/PULL DEAD BOLT CLOSER DOOR STOP THRESHOLD WEATHER-STRIPPING		
1	D1	3'-0" X 7'-0"	MAN DOOR	SWING	●	●	● ●	●	● EXIT DOOR
1	D2	12'-0" X 12'-0"	O/H GARAGE DOOR	O/H	●	●			● O/H AUTOMATIC DOOR

ACCEPTED BY: _____
DATE: _____
SIGNATURE: _____

ISSUED FOR PERMIT



PERMIT TO PRACTICE
RICHARDS CONSULTING AND ASSOCIATES LTD
PRO SIGNATURE: MAR
PRO AREA ID: 48620
DATE: 01-SEP-2023
PERMIT NUMBER: **P006515**
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)

STAMPS			
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NO.	REVISION	DATE	BY

RICHARDS CONSULTING & ASSOCIATES LIMITED
27317 TWP RD 372
RED DEER COUNTY
ALBERTA T4E 1N9
P: 403-886-2919 F: 403-886-2733

CLIENT
SKAKUN GARAGE

PROJECT
30'-0"x42X13'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA
LEGAL DESCRIPTION
22 HUMMINGBIRD, HALF MOON BAY

DRAWING TITLE
CONSTRUCTION ASSEMBLIES

SCALE AS NOTED		
DESIGNED BY M. RICHARDS	DATE 2023AUG31	
DRAWN BY M. ANTHONY	DATE 2023AUG31	
CHECKED BY M. RICHARDS	DATE 2023AUG31	
JOB NUMBER 22440	PAGE NUMBER A5.0	REVISION 2

- 1) ALL WOOD MEMBERS TO BE S.P.F. No. 1/2 UNLESS OTHERWISE NOTED
- 2) ALL WOOD MEMBER TO CONFORM TO CAN/CSA 086.1-94
- 3) ALL BUILT UP WOOD BEAMS AND SCL TECLAM BEAMS TO HAVE A MIN OF 1 1/2" END BEARING UNLESS OTHERWISE NOTED
- 4) ALL MEMBER SHALL BE SO FRAMED, ANCHORED, TIED AND BRACED TOGETHER AS TO PROVIDE THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSE FOR WHICH THEY ARE DESIGNED
- 5) WHEN CONDITIONS CONDUCTIVE TO DECAY OR OTHER DETERIORATION ARE LIKELY TO OCCUR IN THE CASE OF PERMANENT STRUCTURES, WOOD SHOULD BE PRESSURE-TREATED WITH PRESERVATIVE IN ACCORDANCE WITH THE REQUIREMENTS OF CSA STANDARD CAN/CSA-080 SERIES. IF POSSIBLE ALL BORING, GROOVING, CUTTING AND OTHER FABRICATION SHOULD BE COMPLETED BEFORE TREATMENT. FABRICATION CARRIED OUT AFTER TREATMENT SHALL BE TREATED LOCALLY IN ACCORDANCE WITH CSA STANDARD CAN/CSA-080 SERIES.
- 6) UNTREATED WOOD IN PERMANENT STRUCTURES SHALL NOT BE IN DIRECT CONTACT WITH MASONRY, CONCRETE, OR SOIL WHERE MOISTURE TRANSFER CAN OCCUR.
- 7) LUMBER USED SHALL BE IDENTIFIED BY THE GRADE STAMP OF AN ASSOCIATION OR INDEPENDENT GRADING AGENCY IN ACCORDANCE WITH THE PROVISIONS OF CSA STANDARD CAN/CSA-0141
- 8) CANADIAN SPECIES ARE DESIGNATED ACCORDING TO SPECIES COMBINATIONS SUCH AS S.P.F. (SPRUCE, PINE OR FIR)
- 9) FINGER JOINED LUMBER SHALL BE PRODUCED AND GRADE STAMPED IN ACCORDANCE WITH NLGA SPECIAL PRODUCT STANDARD SP51.
- 10) IN THE CASE OF NAILED BUILT-UP COMPRESSION MEMBERS (COLUMNS) ALL NAILS SHALL PENETRATE THROUGH AT LEAST 3/4 OF THE THICKNESS OF THE LAST INDIVIDUAL PIECE AND NAILS SHALL BE DRIVEN ALTERNATELY FROM EITHER FACE OF THE BUILT-UP MEMBER ALONG THE LENGTH. WHEN INDIVIDUAL PIECES OF THE BUILT-UP MEMBER ARE WIDER THAN 3 TIMES THEIR THICKNESS, THERE SHALL BE AT LEAST 2 ROWS OF NAILS ACROSS THE MEMBER WIDTH.
- 11) IN THE CASE OF BOLTED BUILT-UP COMPRESSION MEMBERS THE INDIVIDUAL PIECES OF THE BUILT-UP MEMBER ARE WIDER THAN 3 TIMES THEIR THICKNESS, THERE SHALL BE AT LEAST 3 ROWS OF BOLTS ACROSS THE MEMBER WIDTH.
- 12) SPLICED BUILT-UP COMPRESSION MEMBERS SHALL CONSIST OF A MIN OF 3 MEMBERS, WITH NAILS PENETRATING ALL 3 MEMBERS, THE MIN OVERALL SPLICE LENGTH SHALL BE 1200mm (3'-11 1/4") SPLICED COLUMNS SHALL BE BRACED BY SHEATHING OR PURLINS SPACED AT A MAX OF 600mm (1'-11 5/8") O/C IN THE DIRECTION PERPENDICULAR TO THE WIDE FACE OF THE LAMINATIONS, THE MIN LAMINATION SIZE SHALL BE 38mm x 140mm (2X6) AND THE MAX SHALL BE 38mm x 184mm (2X8)
- 13) IF PRESERVED WOOD FOUNDATIONS ARE USED ALL LUMBER AND PLYWOOD SHALL BE TREATED IN ACCORDANCE WITH CSA STANDARD CAN/CSA-080.15 EXCEPT WHERE EXEMPTED FROM TREATMENT BY CSA STANDARD CAN/CSA-5406
- 14) THE NATIONAL BUILDING CODE PART 4 STATES THAT GLUED-LAMINATED TIMBER BE FABRICATED IN PLANTS CONFORMING TO CSA STANDARD CAN/CSA-0177
- 15) PLYWOOD USE FOR STRUCTURAL PANELS - REGULAR GRADES OF UNSANDED D.FIR PLYWOOD MANUFACTURED AND IDENTIFIED IN ACCORDANCE WITH CSA STANDARD 0121 AND TO STANDARD CONSTRUCTION OF REGULAR GRADES OF UNSANDED CANADIAN SOFTWOOD PLYWOOD MANUFACTURE'S AND IDENTIFIED IN ACCORDANCE WITH CSA STANDARD 0151
- 16) O.S.B. SHEATHING USED AS STRUCTURAL PANELS SHALL BE OF TYPES 1,2 AND 3 THAT ARE QUALIFIED AND CERTIFIED FOR ENGINEERING USES, AND IDENTIFIED IN ACCORDANCE WITH CSA STANDARD 0452.0 MAY BE USED.
- 17) ADHESIVES FOR STRESS JOINTS FOR STRUCTURAL PANELS SHALL MEET THE REQUIREMENTS OF CSA STANDARD 0112.7
- 18) SHEAR PANELS USING PLYWOOD O.S.B. OR WAFERBOARD SHALL BE CONSTRUCTED WITH PANELS NOT LESS THAN 1200mm x 2400mm (48" x 96"), EXCEPT NEAR BOUNDARIES AND CHANGES IN FRAMING WHERE UP TO 2 SHORT OR NARROW PANELS MAY BE USED. FRAMING MEMBERS SHALL BE PROVIDED AT THE EDGE OF ALL PANELS IN SHEAR WALLS.
- 19) THE NAILS AND SPACING OF NAILS AT SHEAR PANEL BOUNDARIES AND THE EDGES OF EACH PANEL SHALL BE DONE WITH NAILS OF THE SAME SIZE PLACED ALONG ALL INTERMEDIATE FRAMING MEMBERS AT 250mm (10") O/C FOR FLOORS, 300mm (12") O/C FOR ROOFS AND 300mm (12") O/C FOR WALLS UNLESS OTHERWISE NOTED ON THE DRAWINGS: EXCEPT THAT THE NAIL SPACINGS SHALL BE 150mm (6") O/C FOR WALLS OF 9.5mm (3/8") PANELS INSTALLED WITH THE FACE GRAIN PARALLEL TO THE STUDS, AND THE STUDS SHALL BE SPACED 600mm (24") O/C OR LESS. UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- 20) UNLESS NOTED OTHERWISE ALL LUMBER SHALL BE S.P.F. No. 1/2 MEMBERS
- 21) RICHARDS CONSULTING AND ASSOCIATES SHALL NOT ASSUME ANY LIABILITY FOR THE ENGINEERED COMPONENTS (TRUSSES, JOISTS) DESIGNED BY OTHERS WHICH ARE USED ON THIS PROJECT.

1) DRAWINGS ARE TO BE READ AND NOT SCALED.

2) ALL DIMENSIONS ARE TO BE VERIFIED WITH THE ARCH. & MECH DRAWINGS PRIOR TO CONSTRUCTION & EACH SUB TRADE IS RESPONSIBLE FOR VERIFYING DIMENSION IN THE FIELD.

3) DESIGN LOADS:

Ss = 43.91 psf	Sr = 2.04 psf	Or/50 = 9.402 psf
LL = 98.11 psf	D.L. = 15.33 psf	

4) DESIGN CONFORMS TO APPLICABLE BUILDING CODES

5) CONTRACTOR TO ENSURE ALL CONSTRUCTION CONFORMS TO APPLICABLE BUILDING CODES

[illegible]

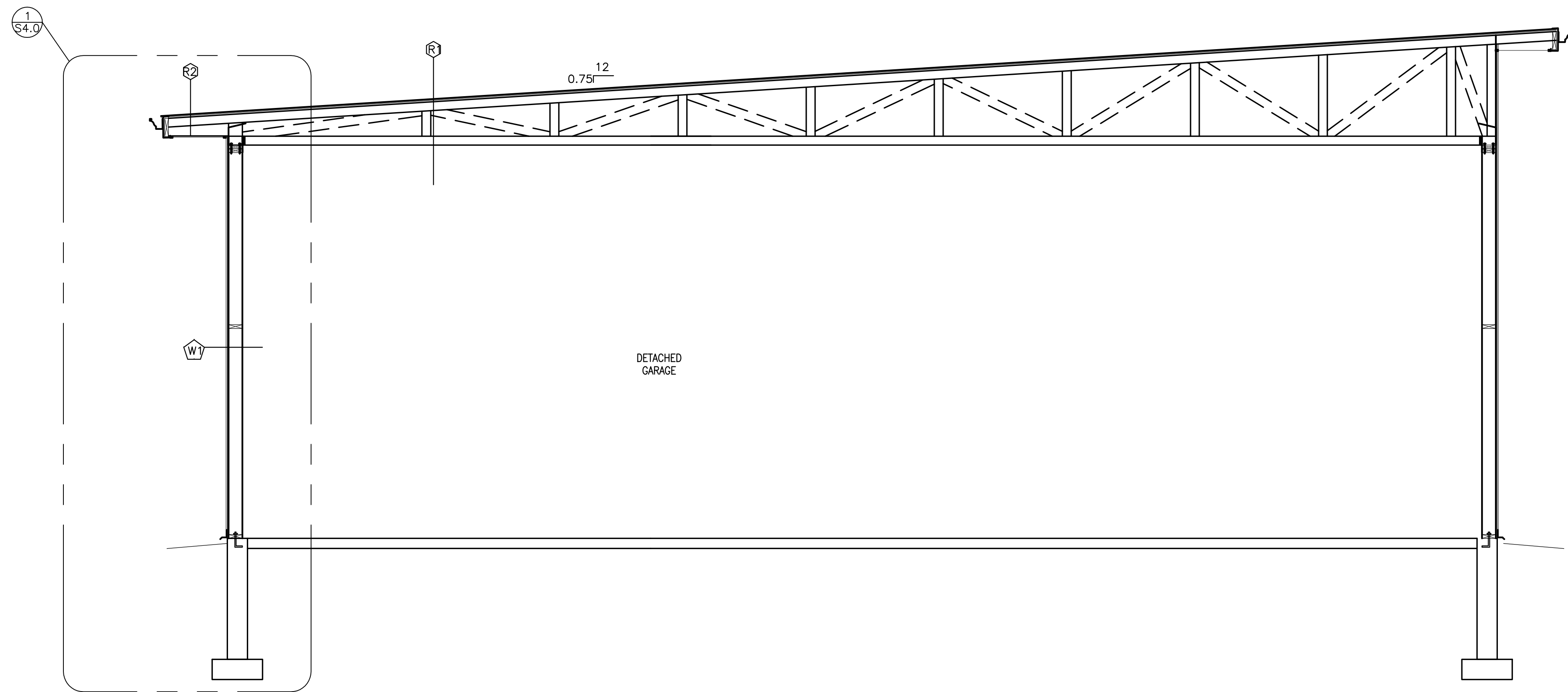
- 1) ALL STRUCTURAL STEEL COLUMNS TO BE G40.21-M 350W GRADE
- 2) ALL STRUCTURAL STEEL BEAMS TO BE G40.21-M 300W GRADE
- 3) ALL BOLTS TO BE 3/4" ASTM A36 UNLESS NOTED OTHERWISE
- 4) GROUT UNDER COLUMN BASEPLATES TO BE A NON-SHRINKING, NON-METALLIC, PRE-BLENDED GROUTING COMPOUND CAPABLE OF A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AT 3 DAYS AND 50 MPa AT 28 DAYS
- 5) STEEL FABRICATOR SHALL BE CERTIFIED BY THE CWB AS PER W47.1 DIVISION #2
- 6) RICHARDS CONSULTING & ASSOCIATES LTD. REQUIRES TWO SETS OF SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE ANY STRUCTURAL STEEL WORK CAN BEGIN
- 7) STRUCTURAL STEEL TO CONFORM TO CSA CAN-G40.21, "STRUCTURAL QUALITY STEELS" AND CSA G40.20 "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL"
- 8) ALL STRUCTURAL STEEL PLATES TO BE G40.21-44W
- 9) FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE PERFORMED IN ACCORDANCE WITH CAN3-S16.1-M84 "STEEL STRUCTURES FOR BUILDINGS"
- 10) ALL WELDING SHALL CONFORM TO THE LATEST EDITION OF SCA W59 "WELDED STEEL CONSTRUCTION"
- 11) ALL STRUCTURAL STEEL IS TO RECEIVE ONE COAT OF SHOP PRIMER
- 12) NO HOLES PERMITTED IN TOP FLANGE OF BEAMS AT COLUMNS WHERE BEAMS ARE CONTINUOUS OVER COLUMNS
- 13) ALL BEAMS CONTINUOUS OVER COLUMNS ARE TO HAVE WEB STIFFENERS THE SAME SIZE AND ORIENTATION AS THE COLUMN BELOW, UNLESS OTHERWISE NOTED
- 14) ANCHOR BOLTS TO BE PROVIDED BY STEEL SUPPLIER AND SET BY THE GENERAL CONTRACTOR
- 15) FABRICATOR TO NOTIFY ENGINEER OF ANY PROPOSED MEMBER SUBSTITUTIONS AND CHANGED CONNECTION DETAILS
- 16) THE STRUCTURAL STEEL SUPPLIER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL HOLES IN STEEL SECTIONS REQUIRED BY OTHER TRADES. SECTION SHALL BE STRENGTHENED WHERE REQUIRED TO GUARANTEE THE ORIGINAL STRENGTH OF THE BEAM. ANY CUTTING OF STEEL AT THE JOB SITE SHALL BE DONE ONLY AS DIRECTED AND APPROVED BY THE ENGINEER
- 17) THE STRUCTURAL STEEL ERECTOR SHALL BE RESPONSIBLE FOR SUPPLYING AND ERECTING ALL TEMPORARY GUYING AND BRACING TO PROVIDE STABILITY FOR THE STRUCTURE AS A WHOLE. THESE SHALL REMAIN IN PLACE UNTIL ALL STEEL DECKING IS ERECTED, WELDED IN PLACE AND ALL MASONRY WALLS CONSTRUCTED
- 18) ALL DUCTS LARGER THAN 18" X 18" THROUGH ROOF DECK TO BE FRAMED WITH 3X3X1/4 ANGLES ALL AROUND, EXCEPT AS NOTED. SMALLER OPENINGS THROUGH STEEL DECK TO BE STIFFENED BY STEEL DECK SUPPLIER. WHERE STEEL DECK REVERSES ITS FRAMING DIRECTION, USE 2 1/2"X2 1/2"X1/2" ANGLE TO SUPPORT THE EDGE

1) 1/8"x4" (3mmX100mm) COLORED COVE BASE COMPLETE WITH MATCHING PREFORMED INSIDE AND OUTSIDE CORNERS, COLOR BY OWNER.

- 1) REFER TO WASHROOM GENERAL NOTES
- 2) GRAB BARS:
 - GRAB BAR IS REQUIRED IN EVERY BARRIER-FREE STALL OR TOILET COMPARTMENT
 - GRAB BAR TO BE MOUNTED HORIZONTALLY ON WALL BESIDE TOILET, LOCATED WITH ITS CENTERLINE 12" (300 mm) ABOVE THE HEIGHT OF THE TOILET SEAT AND WITH ITS MIDPOINT LOCATED IN LINE WITH THE FRONT EDGE OF THE TOILET
 - GRAB BAR TO BE 1 1/2" (40 mm) IN DIAMETER, POLISHED CHROME FINISH WITH KNURLED GRIP AND EXPOSED FASTENERS
 - GRAB BAR TO BE 48" (1200 mm) LONG AND HAVE A CLEARANCE OF 1 3/8" (35 mm) TO 1 3/4" (45 mm) FROM WALL
 - GENERAL CONTRACTOR IS TO SUPPLY BLOCKING AS REQUIRED FOR ALL GRAB BARS.
- 3) MIRRORS:
 - MAX. DISTANCE FROM FLOOR TO UNDERSIDE OF MIRROR TO BE 39" (1000 mm)
 - IF THIS IS NOT ACHIEVABLE, USE TILTED MIRRORS
- 4) COUNTERS:
 - COUNTER SURFACE TO BE MAX. 34" (865 mm) ABOVE THE FLOOR
 - FRONT EDGE CLEARANCE TO BE MINIMUM 29" (735 mm)
- 5) SINKS:
 - SINKS TO BE LOCATED SO THAT THE DISTANCE BETWEEN ITS CENTERLINE AND THE SIDE WALL IS MIN. 18" (460 mm)
 - RIM HEIGHT TO BE MAX. 34" (865 mm) ABOVE FLOOR
 - CLEARANCE BENEATH SINK TO BE MIN. 30" (760 mm) WIDE X 29" (735 mm) HIGH @ FRONT EDGE, 27" (685 mm) HIGH @ 8" (205 mm) BACK FROM FRONT EDGE, 9" (230 mm) HIGH OVER THE DISTANCE FROM 11" (280 mm) TO 17" (430 mm) BACK FROM FRONT EDGE
 - EXPOSED PARTS TO BE INSULATED WHERE THEY WOULD OTHERWISE PRESENT A BURN HAZARD
 - FAUCET HANDLES TO BE LEVER TYPE WITHOUT SPRING LOADING OR BE AUTOMATIC OPERABLE
 - SOAP AND TOWEL DISPENSERS TO BE LOCATED MAX. 48" (1200 mm) ABOVE FLOOR IN THE AREA ACCESSIBLE BY WHEELCHAIR

JOB NUMBER	PAGE NUMBER	REVISION
22440	S1.0	2

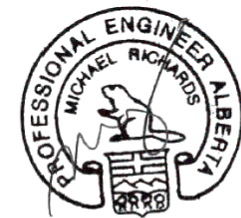
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BUILDING SECTION
SCALE: 3/8" = 1'-0"

ACCEPTED BY: _____
DATE: _____
SIGNATURE: _____

ISSUED FOR
PERMIT



PERMIT TO PRACTICE
RICHARDS CONSULTING AND ASSOCIATES LTD
FOR SIGNATURE: M. Richards
FOR AREA: 48620
DATE: 03 October 2023
PERMIT NUMBER: P006515
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA, Ltd.)

STAMPS

0	ISSUED FOR PERMIT	1 SEPT 2023	MA
NO.	REVISION	DATE	BY

 **RICHARDS
CONSULTING &
ASSOCIATES
LIMITED**
27317 TWP RD 372
RED DEER COUNTY
ALBERTA T4E 1N9
P: 403-886-2919 F: 403-886-2733

CLIENT
SKAKUN GARAGE

PROJECT
30'-0"X42X13'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA

LEGAL DESCRIPTION
22 HUMMINGBIRD, HALF MOON
BAY

DRAWING TITLE
BUILDING SECTIONS

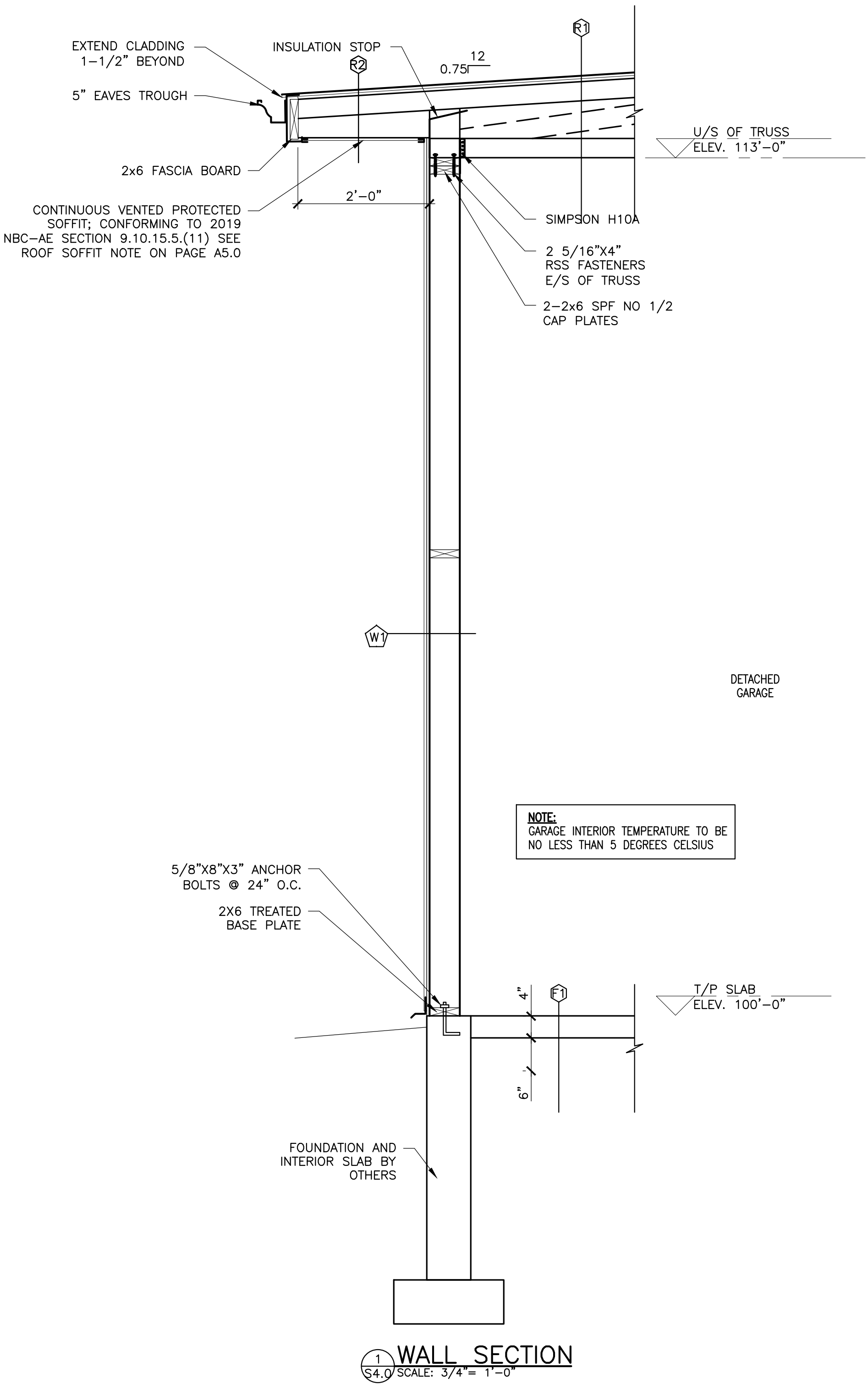
SCALE AS NOTED

DESIGNED BY	DATE
M. RICHARDS	2023AUG31

DRAWN BY	DATE
M. ANTHONY	2023AUG31

CHECKED BY	DATE
M. RICHARDS	2023AUG31

JOB NUMBER	PAGE NUMBER	REVISION
22440	S3.0	2



ACCEPTED BY: _____
DATE: _____
SIGNATURE: _____

ISSUED FOR
PERMIT



PERMIT TO PRACTICE
RICHARDS CONSULTING AND ASSOCIATES LTD
PRO SIGNATURE: *M. Richards*
PRO AREA ID: 48620
DATE: 03 October 2023
PERMIT NUMBER: P006515
The Association of Professional Engineers and
Geoscientists of Alberta (APEGA/AGS)

STAMPS

0	ISSUED FOR PERMIT	1 SEPT 2023	MA
NO.	REVISION	DATE	BY

 RICHARDS
CONSULTING &
ASSOCIATES
LIMITED

27317 TWP RD 372
RED DEER COUNTY
ALBERTA T4E 1N9
P: 403-886-2919 F: 403-886-2733

CLIENT
SKAKUN GARAGE

PROJECT
30'-0"X42X13'-0"
DETACHED GARAGE

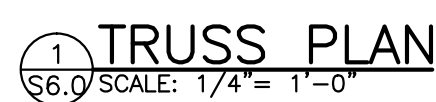
RED DEER COUNTY, ALBERTA
LEGAL DESCRIPTION
22 HUMMINGBIRD, HALF MOON
BAY

DRAWING TITLE
WALL SECTIONS

SCALE AS NOTED

DESIGNED BY	DATE
M. RICHARDS	2023AUG31
DRAWN BY	DATE
M. ANTHONY	2023AUG31
CHECKED BY	DATE
M. RICHARDS	2023AUG31

JOB NUMBER	PAGE NUMBER	REVISION
22440	S4.0	2



SECURE BEAM B2 TO SUPPORTING STUDS USING 2-C20 COIL STRAPS EXTEND 12" ONTO COLUMN
SECURE IN PLACE WITH 2-4" C.S. PER LEG E/S OF WALL

☒ - DENOTES SIMPSON HD5B HOLD DOWN

ACCEPTED BY: _____
DATE: _____
SIGNATURE: _____

ISSUED FOR
PERMIT



PERMIT TO PRACTICE
RICHARDS CONSULTING AND ASSOCIATES LTD
 RM SIGNATURE: 
 RM APECA ID #: 46620
 DATE: 03 October 2023
PERMIT NUMBER: P006515
 The Association of Professional Engineers and
 Geoscientists of Alberta (APEGA)

STAMPS

0	ISSUED FOR PERMIT	1 SEPT 2023	MA
NO.	REVISION	DATE	BY



CLIENT	SKAKUN GARAGE
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PROJECT
30'-0"X42X13'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA
LEGAL DESCRIPTION
22 HUMMINGBIRD, HALF MOON BAY

DRAWING TITLE
TRUSS PLAN

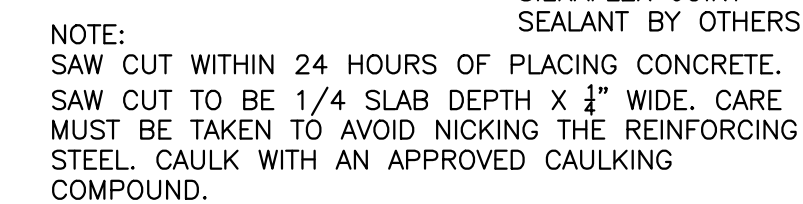
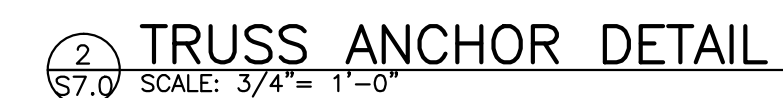
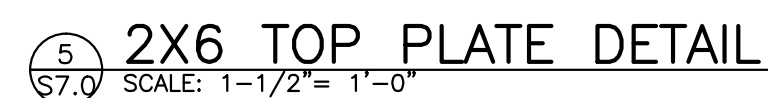
SCALE	AS NOTED
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DESIGNED BY M. RICHARDS	DATE 2023AUG31
DRAWN BY M. ANTHONY	DATE 2023AUG31
CHECKED BY M. RICHARDS	DATE 2023AUG31

JOB NUMBER	PAGE NUMBER	REVISION
22440	S6.0	2



1 TRUSS BRACING DETAIL
S7.0 SCALE: 3/4" = 1'-0"

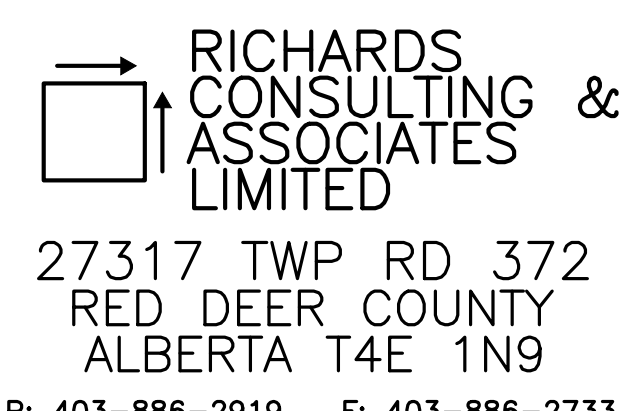


3 SAW CUT DETAIL
S7.0 SCALE: 3" = 1'-0"



STAMPS

0	ISSUED FOR PERMIT	1 SEPT 2023	MA
NO.	REVISION	DATE	BY



CLIENT SKAKUN GARAGE

PROJECT
30'-0"X42X13'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA

LEGAL DESCRIPTION
22 HUMMINGBIRD, HALF MOON BAY

DRAWING TITLE	DETAILS
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SCALE	AS NOTED
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DESIGNED BY M. RICHARDS	DATE 2023AUG31
DRAWN BY M. ANTHONY	DATE 2023AUG31
CHECKED BY M. RICHARDS	DATE 2023AUG31






JOB NUMBER	PAGE NUMBER	REVISION
22440	S7.0	2

ACCEPTED BY:

DATE: _____

SIGNATURE: _____

Landscape & Drainage.

- C-1**
-  - Shrubs.
 -  - Shrubs.
 -  - Sidewalk.
 -  - Grass.
 -  - Gravel.

PLOT PLAN SHOWING PROPOSED LOCATION OF BUILDING(S)

Civic Address: 22 Hummingbird Lane
Summer Village of
Half Moon Bay, Alberta
Legal Description: Lot 2, Block 2, Plan 3741 MC



APPROVED BY:

Print Name & Signature:

NOTES:
Distances are in meters and assume
the outside face of the proposed building.
The above ground and buried facilities
shown on this plan. If the respondents
have the facilities located prior to completion
of boundaries have been calculated
due to located survey evidence at the

COM

11-802-10
Midland Ave
Oshawa, ON L1G 3H1
www.com.ca

0000000000 0000000000

Lot Area:	1120.7m ²
Foundation:	141.0m ²
Patio:	50.1m ²
Covered Patio:	48.7m ²
Driveway:	71.2m ²
Shop:	117.1m ²
Sidewalk:	8.0m ²
	38.9%
	35% to be landscaping

REVISION SUMMARY

- △ Revised Shop Location (24/05/2014) P.0000
- △ Revised Dwelling (24/05/2014) P.0000
- △ Revised Dwelling A (24/05/2014) P.0000
- △ Add Section 11 (24/05/2014) P.0000
- △ Revised Dwelling A Shop Location (24/05/2014) P.0000
- △ Original Issue (24/05/2014) P.0000

LAND USE DISTRICT

R Residential District

CLIENT

Colagrain Contracting Ltd

SCALE

1 of 1

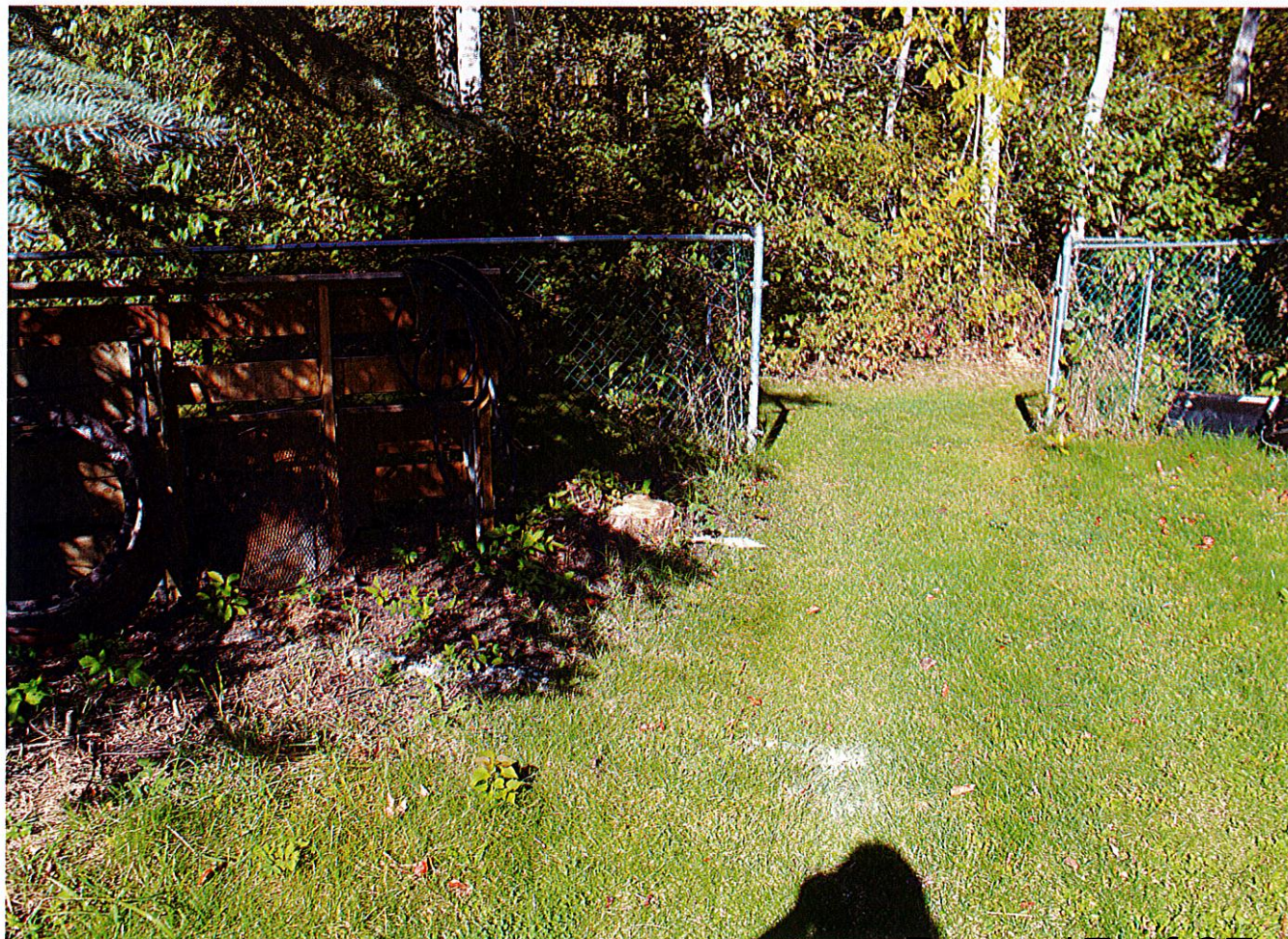


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SEP 14 2023



C-1



SEP 14 2023

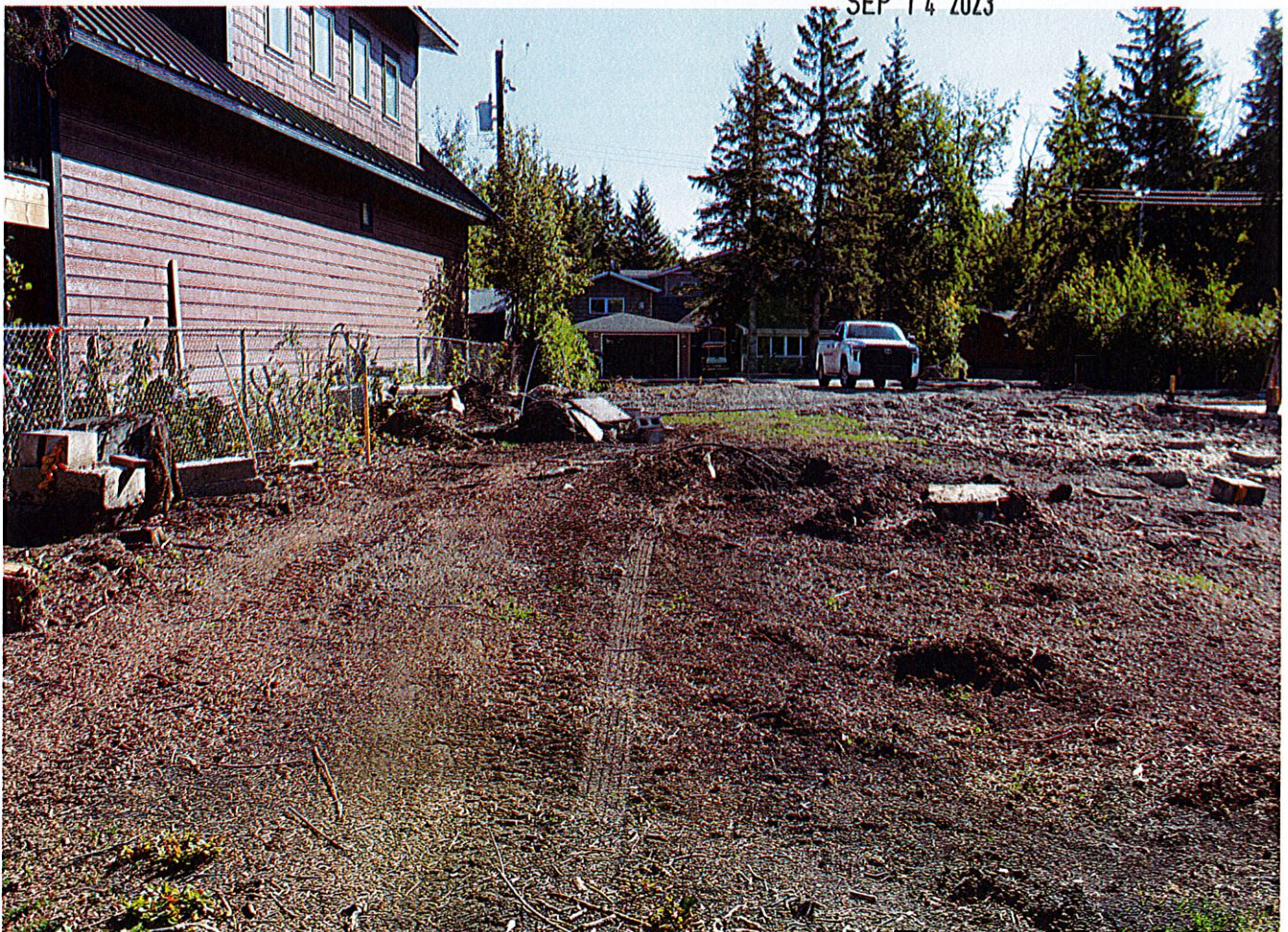




C-1



SEP 14 2023



C-1



SEP 14 2023



C-1



SEP 14 2023





SEP 14 2023





Lot 2