

**MUNICIPAL PLANNING COMMISSION AGENDA
SUMMER VILLAGE OF HALF MOON BAY
SUMMER VILLAGES ADMINISTRATION OFFICE
DECEMBER 19, 2023 @ 9:00 A.M.**

A. CALL TO ORDER

B. ADOPTION OF AGENDA

C. DEVELOPMENT ITEMS

1. 10 Hummingbird Lane
2. 22 Hummingbird Lane

D. ADJOURNMENT

Summer Village of Half Moon Bay – Municipal Planning Commission

December 19, 2023

Agenda Item

10 Hummingbird Lane (Lot 9, Block 2, Plan 3741MC)

Development Permit Application

Background:

In November 2023 a dwelling development permit was issued for the property at 10 Hummingbird Lane (Lot 2, Block 2, Plan 3741MC) in the village of Half Moon Bay. This property is located within the R District (Residential). This application before the Municipal Planning Commission today, has been applied for on behalf of the homeowner and is for a proposed detached garage with a guest house on the property.

The proposed garage with guest house is within the setback requirements, within the maximum height, and when the dwelling permit was approved the landscaping and drainage plans were approved as well. The proposed detached garage is to be 1,280.00ft² and to be separate and subordinate to the main dwelling. The garage is intended to be used for short term stay by guests of the main residence. The parcel coverage for the property is to be within the maximum 45%.

Discussion:

This application is before MPC for the following reasons:

- Land Use Bylaw, Part Four, Land Use District Uses: An accessory building where the total floor area is over 74m² (796.54ft²) is listed as a Discretionary Use. The proposed detached garage is 118.9m² (1,280.00ft²) therefore requires approval from the Municipal Planning Commission.
- Land Use Bylaw, Part Four, Land Use District Uses: Guest Houses are listed as a discretionary use, therefore requires approval from the Municipal Planning Commission.

Application Review:

After reviewing the application and all relevant planning documents, administration does not see any reason for the board to deny the discretionary use as requested. The proposed detached garage with guest house does not require any variances and meets the requirements of the Land Use Bylaw as mentioned above.

Conditions:

If approved, Administration would recommend the following conditions:

December 11, 2023

- Landscaping to be completed according to the landscaping plan. A minimum 35% of the parcel shall be a landscaped area.
- All applicable Building, Electrical, and Plumbing & Gas permits shall be obtained with Superior Safety Codes.
- The height of the garage with guest house shall not exceed 7.62m (25ft.) in building height measured from grade.
- An accessory building erected or placed on a parcel shall not be used as a dwelling unit.
- Completions deposit of \$5,000.00.
- The exterior of an accessory building must be finished to match or compliment the exterior finish of the main building.
- “Guest House” means an accessory building containing sleeping facilities for temporary usage only and may have a bathroom but shall not have a kitchen or other cooking facilities.
- In situations where a detached dwelling is being rented out and there is a guest house on the parcel, the guest house shall not to be rented out to a separate party other than those renting the detached dwelling.
- A lot grade certificate is required to be submitted to the Development Authority at completion to ensure proper drainage on the property exists.
- A final as build real property report from an Alberta Land Surveyor at completion of landscaping to ensure parcel coverage is within the maximum and to verify heights are within the maximum.

Authorities:

For a discretionary use in any district:

- (a) The Municipal Planning Commission may approve an application for a Development Permit:
 - (i) With or without conditions;
 - (ii) Based on the merits of the proposed development, including its relationship to any approved statutory plan, non-statutory plan or approved policy affecting the site;
 - (iii) Where the proposed development conforms in every respect to this Land Use Bylaw; or
- (b) The Municipal Planning Commission may refuse an application for a Development Permit based on the merits of the proposed development, even though it meets the requirements of this Land Use Bylaw; or
- (c) Subject to the provisions of section 2.4(2) the Municipal Planning Commission shall refuse an application for a Development Permit if the proposed development does not conform in every respect to this Land Use Bylaw.

Decision:

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (*Section 642 of the MGA*), or
2. Deny the application stating reasons why (*Section 642(4) of the MGA*).


LETTER OF INTENT

NOVEMBER 17, 2023

HALF MOON BAY SV, AB
DEVELOPMENT APPLICATION, ACCESSORY BUILDING
10 HUMMINGBIRD LN

TO WHOM IT MAY CONCERN:

AS PART OF OUR APPLICATION FOR ACCESSORY BUILDING (2 CAR GARAGE) WITH GUEST HOUSE ABOVE, WE WANT TO EXPRESS THE USE OF SUCH IS SOLEY FOR SHORT TERM STAY BY GUESTS OF THE MAIN RESIDENCE. THE SUITE DOES NOT INCLUDE COOKING FACILITIES. IT IS INTENDED TO MATCH THE DESIGN OF THE MAIN HOUSE AND FALL IN LINE WITH THE DISCRETIONARY USES AS OUTLINED IN THE HALFMOON BAY - LAND USE BYLAWS.



Signature DP Applicant

RILEY HILMAN, KOTI HOMES LTD.

Name DP Applicant

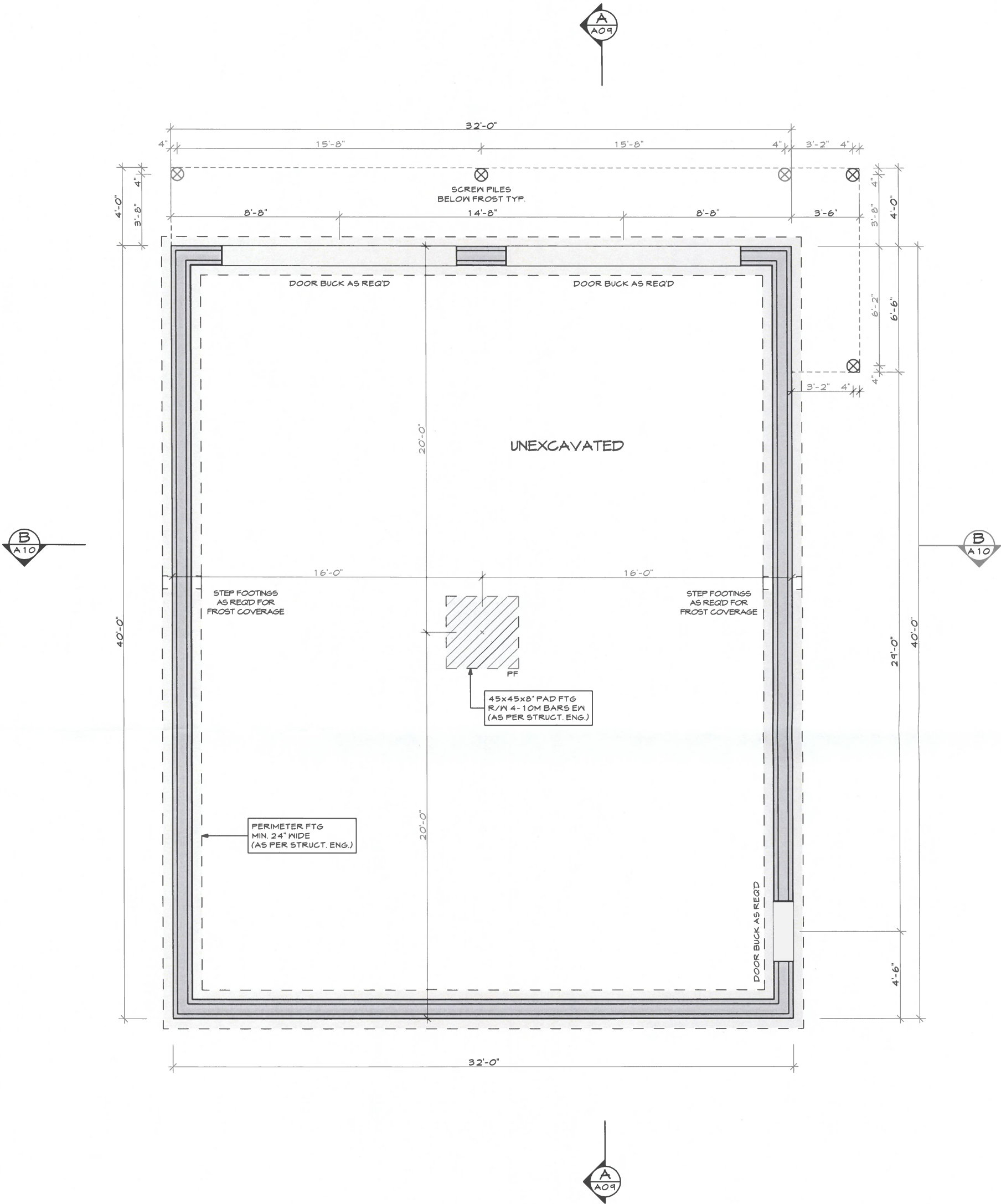
10 HUMMINGBIRD LANE GARAGE SUITE



LIST OF DRAWINGS

- A01 TITLE PAGE
- A02 FOUNDATION PLAN
- A03 MAIN FLOOR PLAN
- A04 UPPER FLOOR PLAN
- A05 ROOF PLAN
- A06 ELEVATIONS
- A07 ELEVATIONS
- A08 ELEVATIONS
- A09 BUILDING SECTIONS
- A10 BUILDING SECTIONS
- A11 BUILDING SECTIONS
- A12 CNST DTLS / NOTES / LEGENDS
- A13 SITE PLAN
- E01 MAIN FLOOR ELECTRICAL
- E02 UPPER FLOOR ELECTRICAL

ALL SPECIFICATIONS FOR THE NBC 2019 (AE). 9.36. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	LEGAL ADDRESS: LOT: 9, BLOCK: 2, PLAN: 3741 MC	CIVIC ADDRESS: 10 HUMMINGBIRD LANE, S.V. OF HALF MOON BAY, AB	CLIMATE ZONE: 7A	BUILDING AREA: 119 SQ M	AIRTIGHTNESS 25
UPPER FLOOR : 1088 SF GARAGE : 1280 SF	CLIENT CONTACT INFO: KOTI HOMES DREAM · DESIGN · BUILD	DRAFTED BY: KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 10 HUMMINGBIRD LANE GARAGE SUITE	PROJECT NUMBER: KO-2023-03	SCALE:
			SHEET TITLE: TITLE PAGE	DATE: 2023-11-28	SHEET: A01

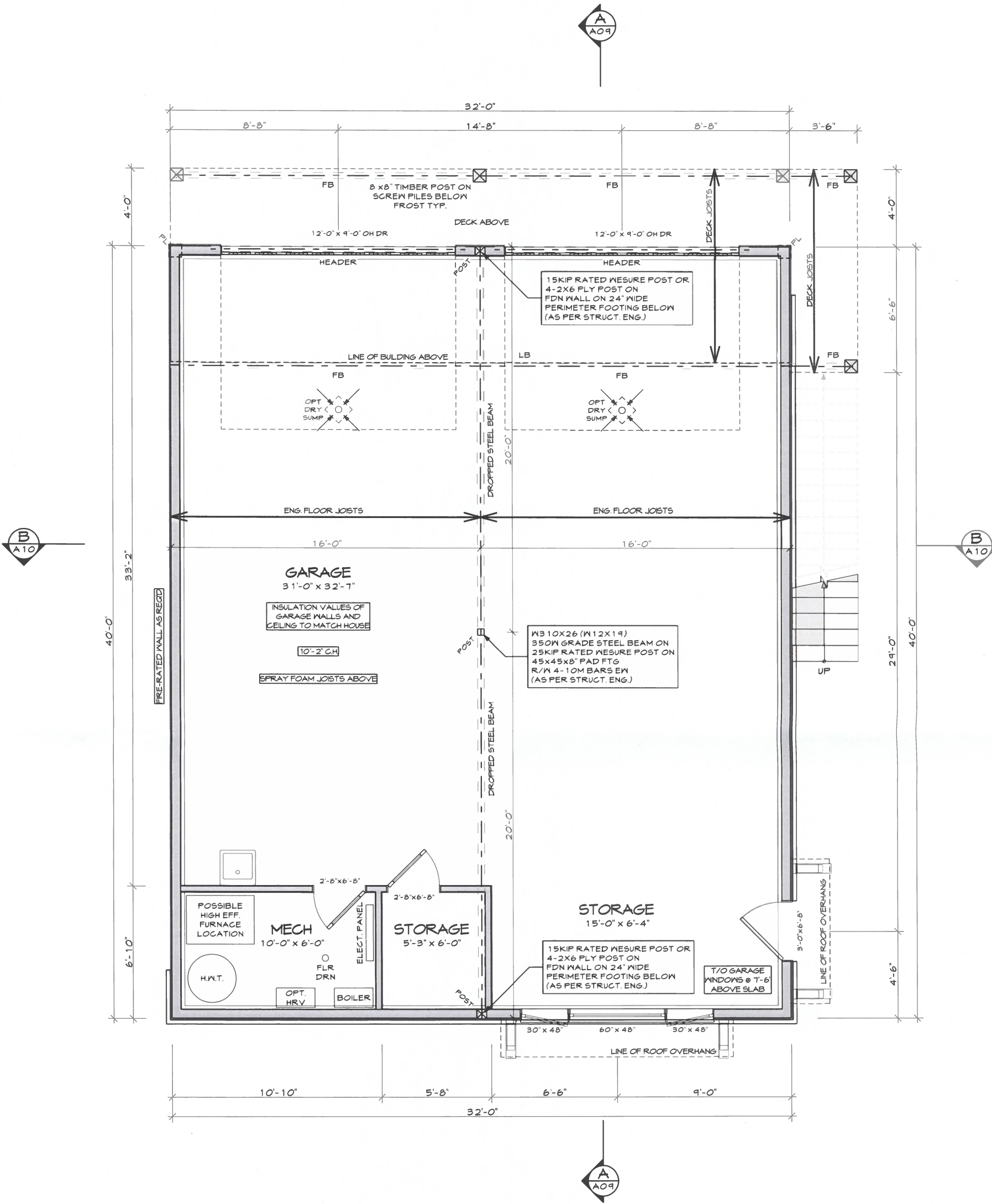


FOUNDATION PLAN

ALL ICF WALLS
SHOWN AS LOGIX
11 3/4" WIDE

ROUGH-IN FOR RADON EXTRACTION SYSTEM/
SUBFLOOR DEPRESSURIZATION SYSTEM TO BE
INSTALLED AS PER BUILDING CODE REQUIREMENTS

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UPPER FLOOR : 1088 SF GARAGE : 1280 SF		CLIENT CONTACT INFO: <div>KOTI HOMES DREAM · DESIGN · BUILD</div>	DRAFTED BY: <div><div>KD RESIDENTIAL DESIGN</div><div>KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.306.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA</div></div>	PROJECT NAME: 10 HUMMINGBIRD LANE GARAGE SUITE	PROJECT NUMBER: KO-2023-03	SCALE: 3/16" = 1'-0"
				SHEET TITLE: FOUNDATION PLAN	DATE: 2023-11-28	SHEET: A02



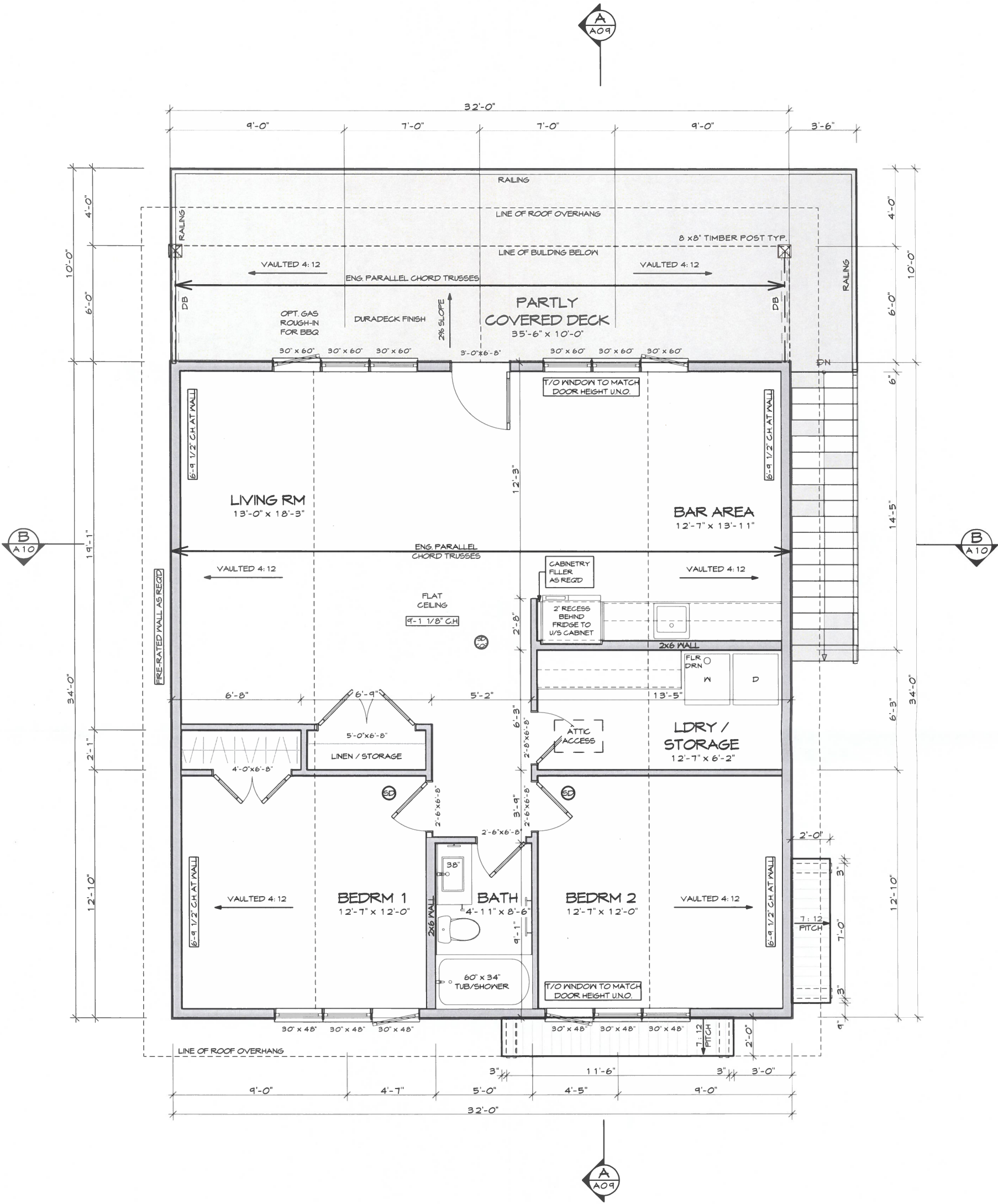
MAIN FLOOR PLAN

ALL DOWNSPOUT LOCATIONS TO BE CONFIRMED WITH BUILDER PRIOR TO INSTALLATION

ALL ROUGH OPENINGS TO BE SUPPLIED BY OTHERS

ALL WINDOWS TO HAVE A MAX U-VALE OF 1.6 OR MIN. ENERGY RATING OF 25

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UPPER FLOOR : 1088 SF GARAGE : 1280 SF	CLIENT CONTACT INFO: KOTI HOMES DREAM - DESIGN - BUILD	DRAFTED BY: KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 10 HUMMINGBIRD LANE GARAGE SUITE	PROJECT NUMBER: KO-2023-03	SCALE: 3/16" = 1'-0"
		SHEET TITLE: MAIN FLOOR PLAN	DATE: 2023-11-28	SHEET: A03	



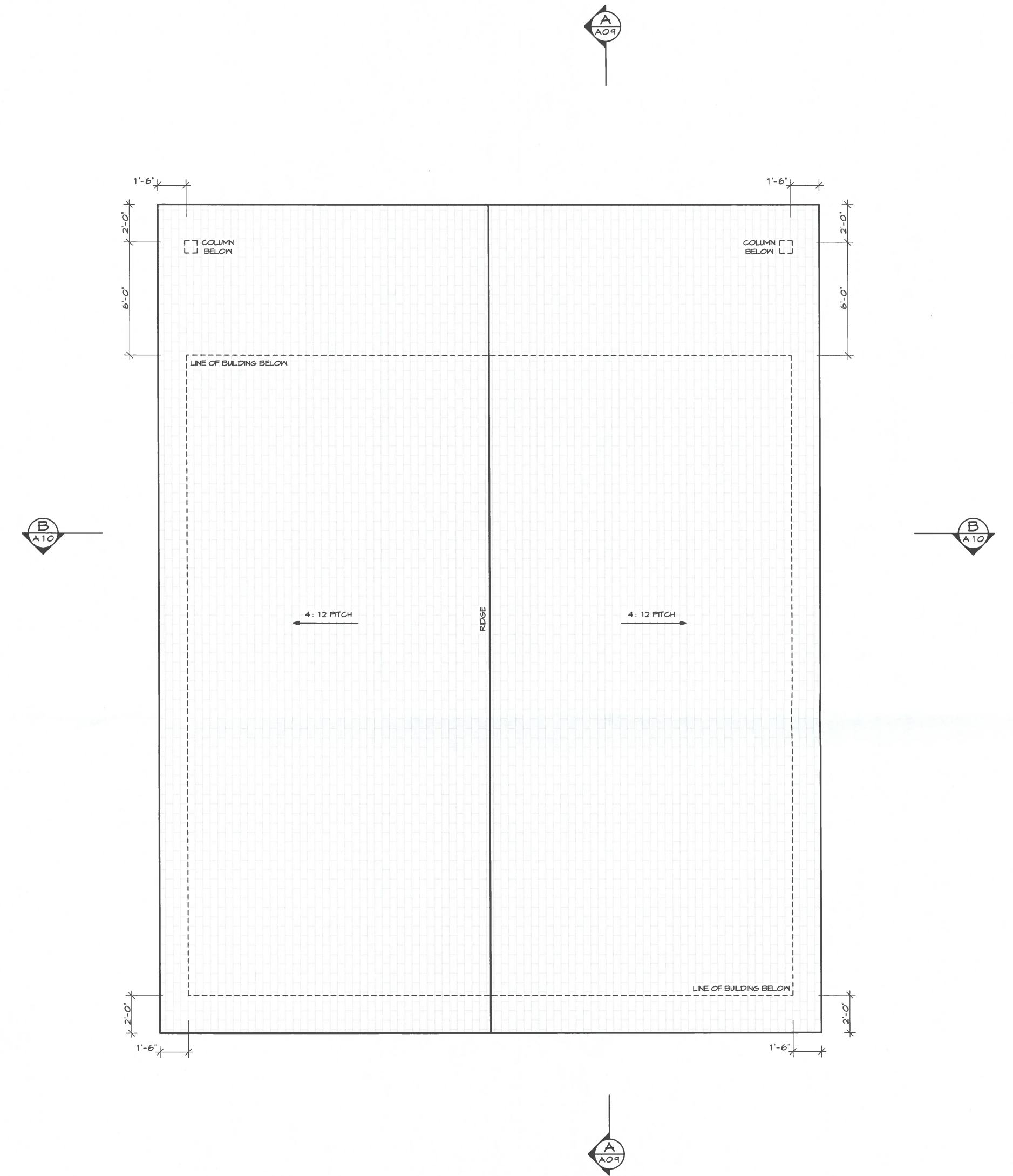
UPPER FLOOR PLAN

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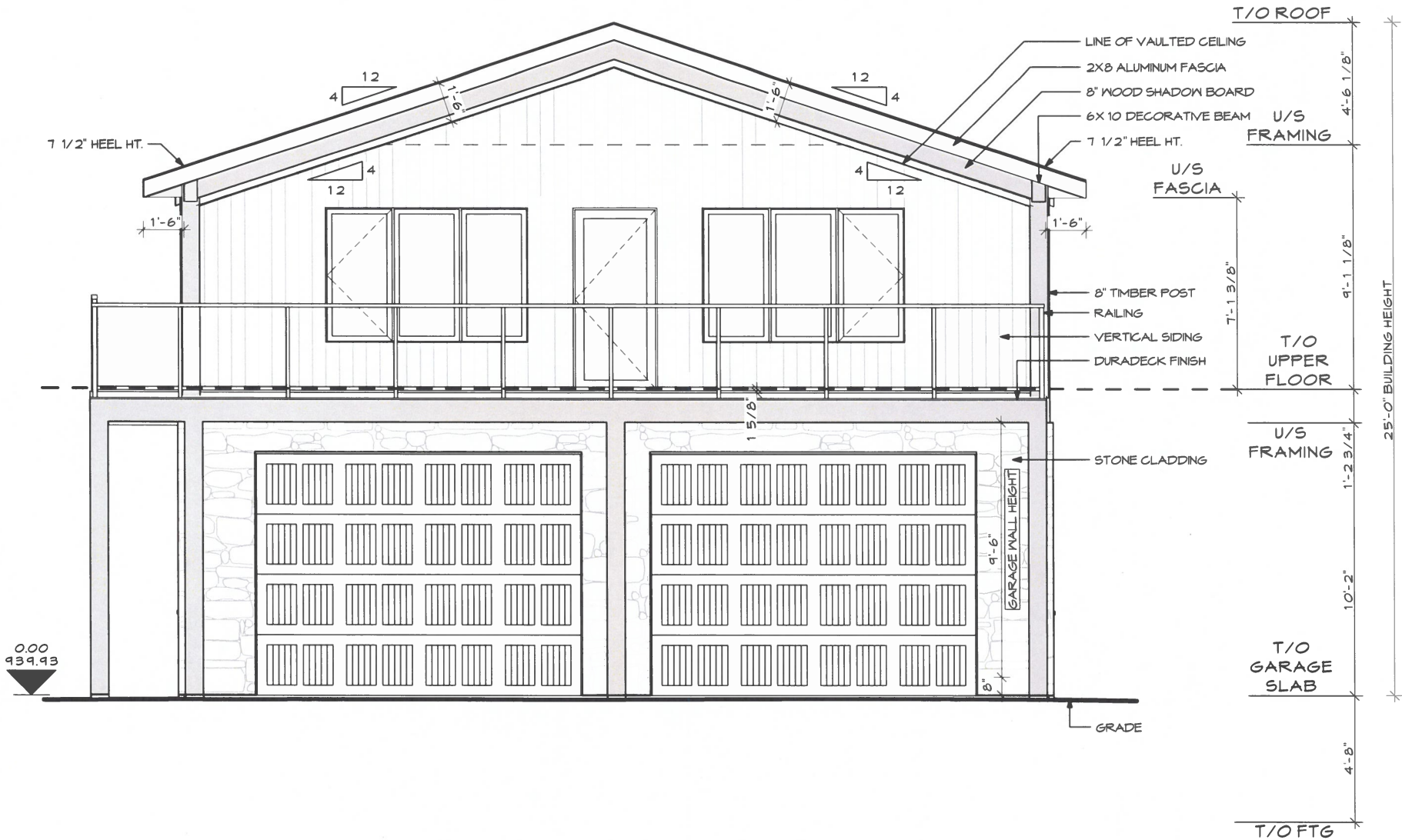
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			SHEET TITLE: UPPER FLOOR PLAN	DATE: 2023-11-28	SHEET: A04



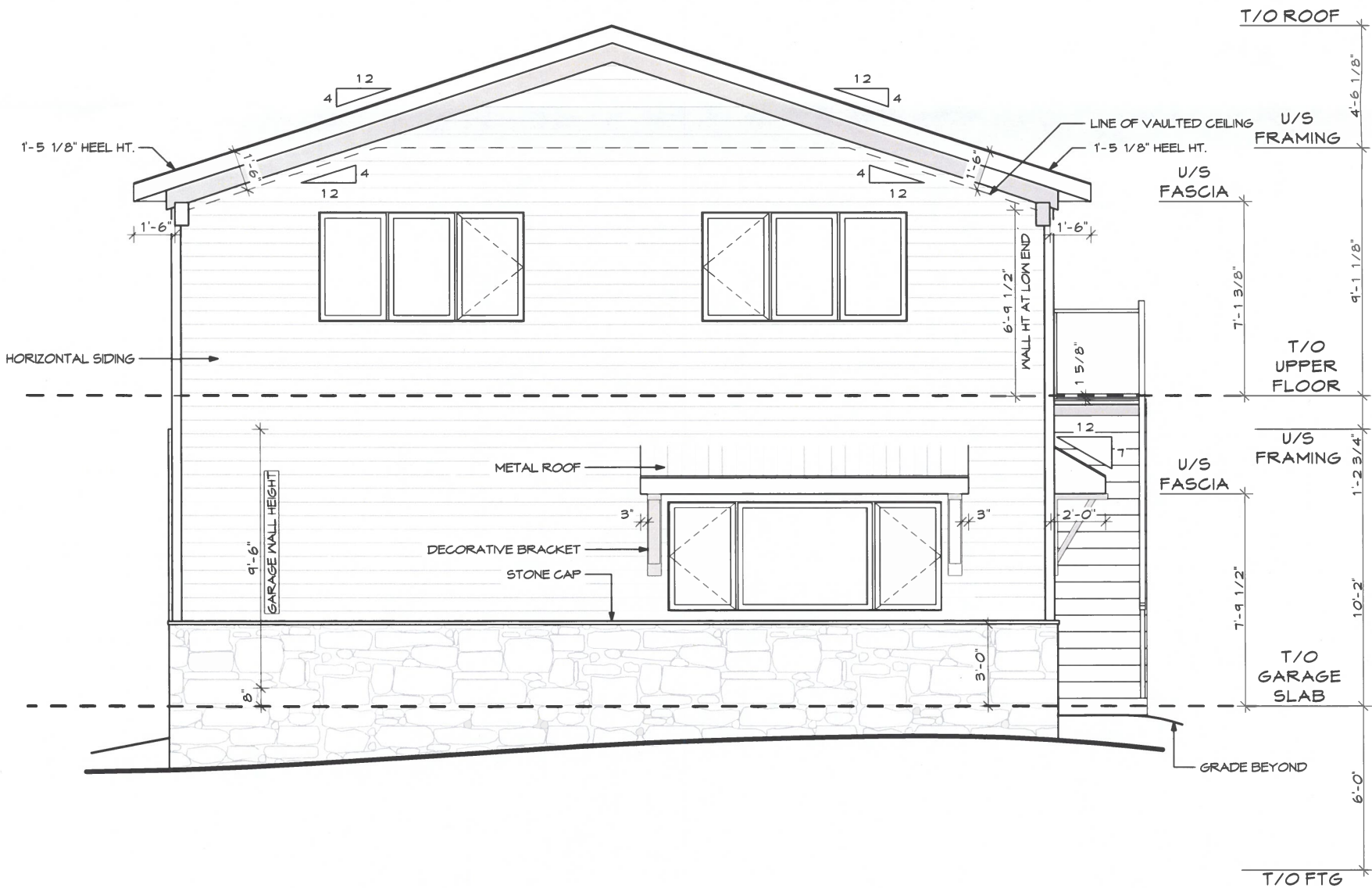
ROOF PLAN

ALL DOWNSPOUT LOCATIONS
TO BE CONFIRMED WITH BUILDER
PRIOR TO INSTALLATION

ALL SPECIFICATIONS FOR THE NBC 2019 (AE), 9.36: ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	LEGAL ADDRESS: LOT: 9, BLOCK: 2, PLAN: 3741 MC	CIVIC ADDRESS: 10 HUMMINGBIRD LANE, S.V. OF HALF MOON BAY, AB	CLIMATE ZONE: 7A	BUILDING AREA: 119 SQ M	AIRTIGHTNESS 25
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			SHEET TITLE: ROOF PLAN	DATE: 2023-11-28	SHEET: A05



FRONT ELEVATION



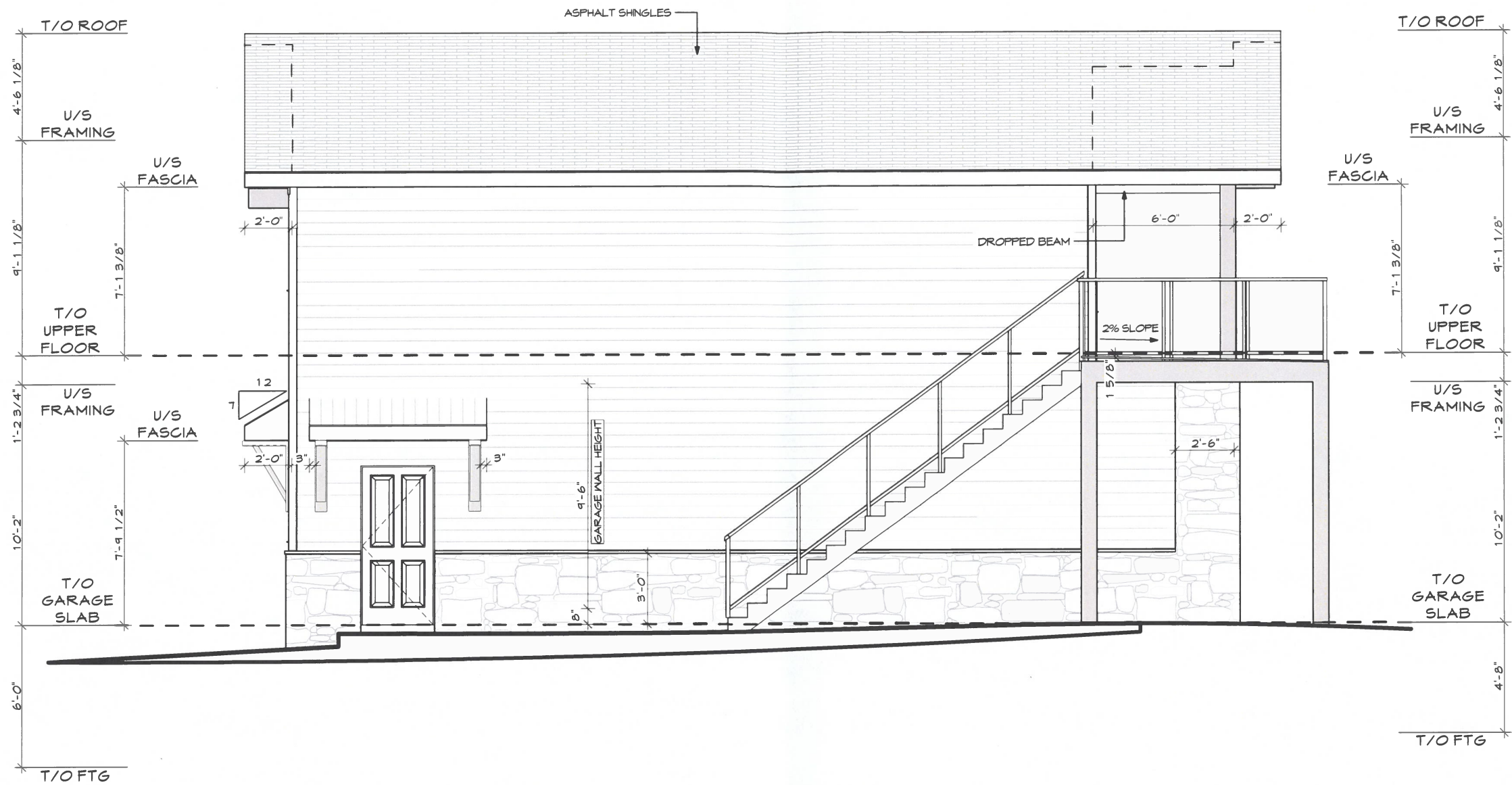
REAR ELEVATION

ALL STRUCTURAL TIMBER MATERIAL TO BE SIZED & CONFIRMED BY OTHERS

ALL DOWNSPOUT LOCATIONS TO BE CONFIRMED WITH BUILDER PRIOR TO INSTALLATION

ALL GRADES TO BE CONFIRMED BY OTHERS PRIOR TO CONSTRUCTION

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			SHEET TITLE: ELEVATIONS	DATE: 2023-11-28	SHEET: A06



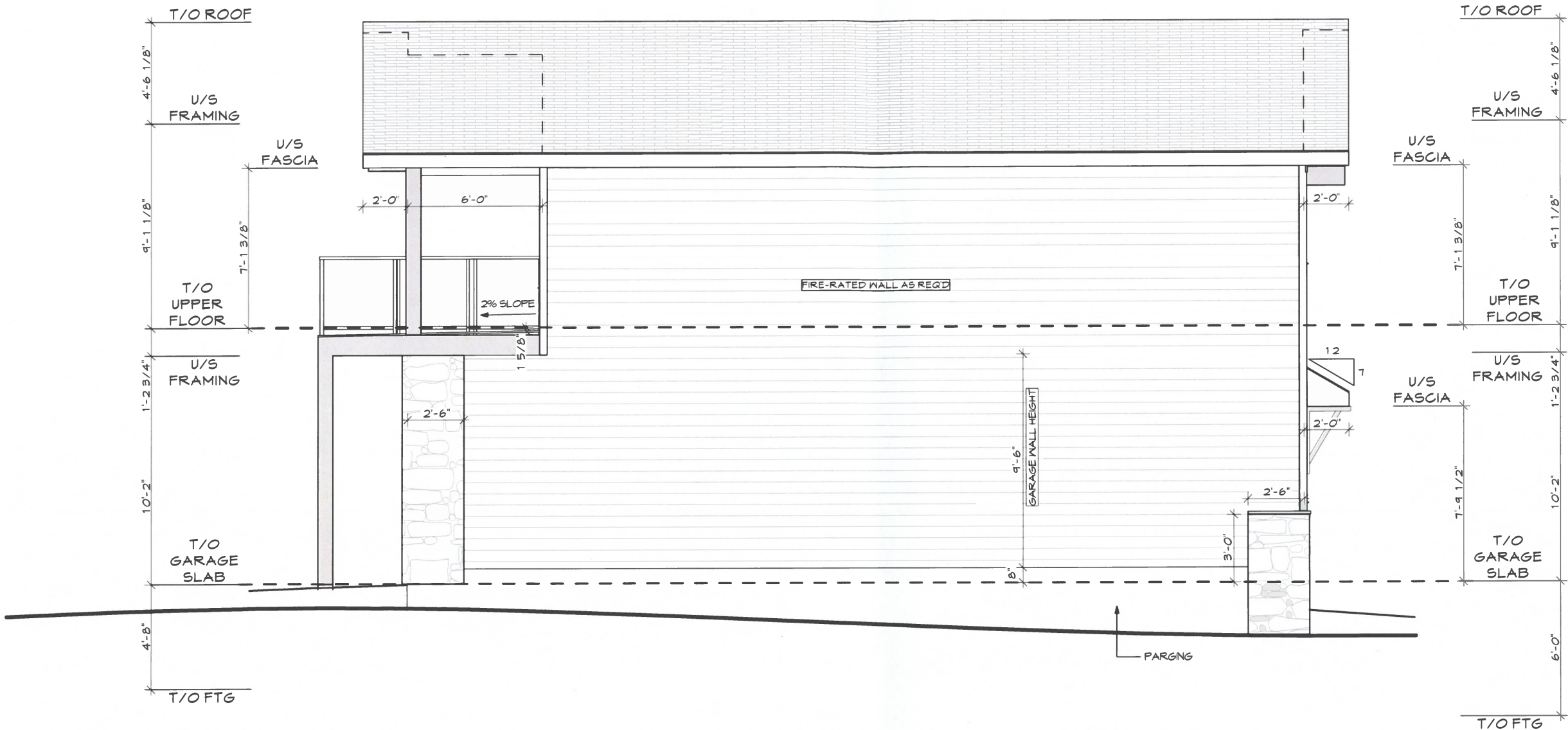
LEFT SIDE ELEVATION

ALL STRUCTURAL TIMBER MATERIAL TO BE SIZED & CONFIRMED BY OTHERS

ALL DOWNSPOUT LOCATIONS TO BE CONFIRMED WITH BUILDER PRIOR TO INSTALLATION

ALL GRADES TO BE CONFIRMED BY OTHERS PRIOR TO CONSTRUCTION

ALL SPECIFICATIONS FOR THE NBC 2019 (AB) 4.36. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	UPPER FLOOR : 1088 SF GARAGE : 1280 SF	CLIMATE ZONE: 7A	LEGAL ADDRESS: LOT: 9, BLOCK: 2, PLAN: 3741 MC	CLIENT CONTACT INFO: KOTI HOMES DREAM · DESIGN · BUILD	DRAFTED BY: KD RESIDENTIAL DESIGN KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 10 HUMMINGBIRD LANE GARAGE SUITE	PROJECT NUMBER: KO-2023-03	SCALE: 3/16" = 1'-0"
		BUILDING AREA: 119 SQ M AIRTIGHTNESS 25	CIVIC ADDRESS: 10 HUMMINGBIRD LANE, S.V. OF HALF MOON BAY, AB			SHEET TITLE: ELEVATIONS	DATE: 2023-11-28	SHEET: A07



RIGHT SIDE ELEVATION

THE FACE & SIDES OF WALLS AND UNDERSIDE OF CANTILEVERS
WITHIN 1.2 M FROM PROPERTY LINE TO HAVE NON-COMBUSTIBLE
CLADDING TO ACHIEVE 45 MIN. FIRE RESISTANCE RATING.
-EITHER CEMENT BOARD CLADDING OR EXTERIOR
DRYWALL BENEATH VINYL SIDING TO BE INSTALLED

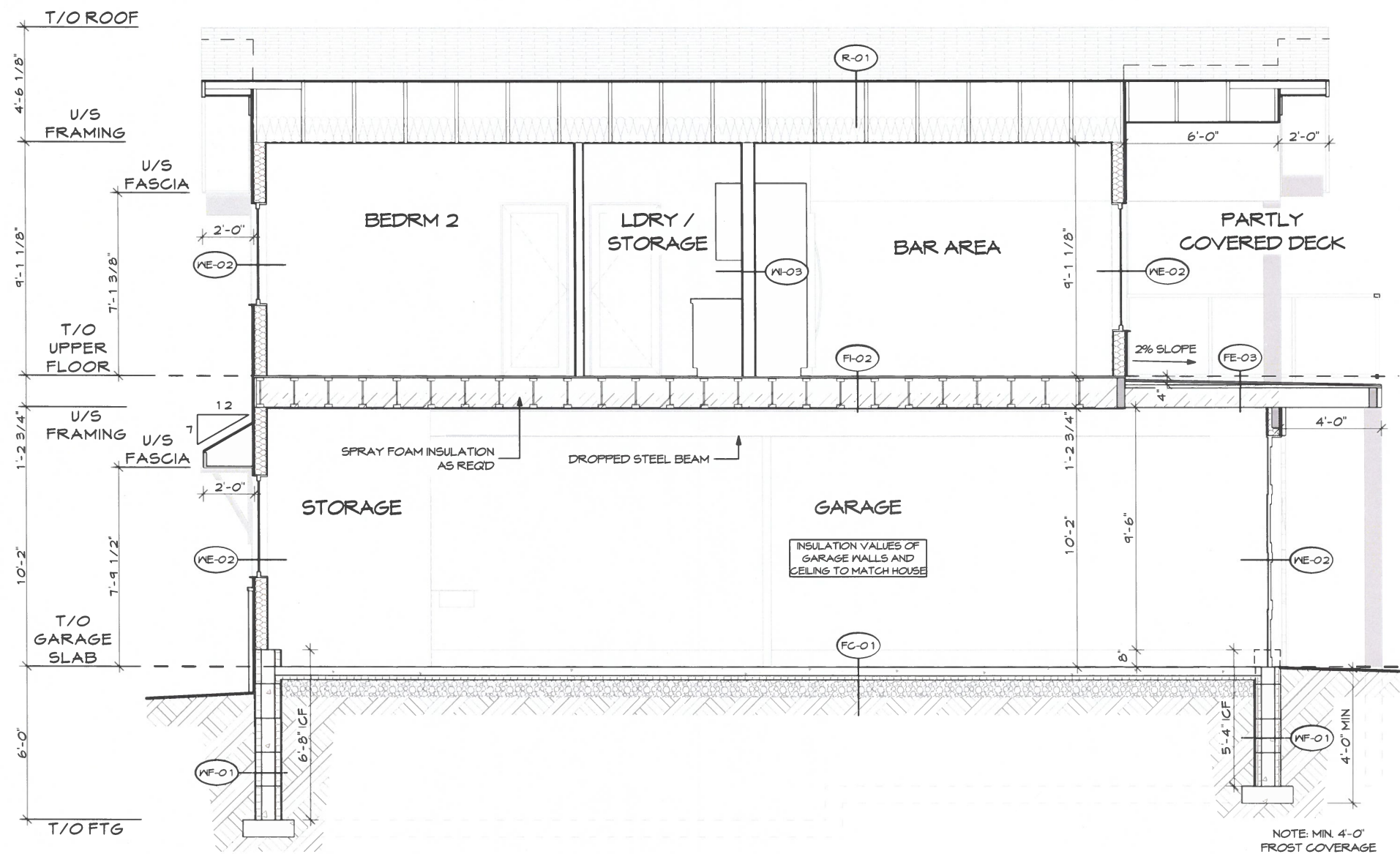
UNVENTED SOFFIT REQUIRED ON EAVES
CLOSER THAN 1.2 M TO PROPERTY LINE
C/W ADDITIONAL ROOF VENTING AS REQ'D

ALL STRUCTURAL TIMBER
MATERIAL TO BE SIZED
& CONFIRMED BY OTHERS

ALL DOWNSPOUT LOCATIONS
TO BE CONFIRMED WITH BUILDER
PRIOR TO INSTALLATION

ALL GRADES TO BE
CONFIRMED BY OTHERS
PRIOR TO CONSTRUCTION

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DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.						SHEET TITLE: ELEVATIONS	DATE: 2023-11-28	SHEET: A08



BUILDING SECTION A

CONSTRUCTION ASSEMBLIES

(AS PER NBC 2019 (AE))

WALL ASSEMBLIES

WF-01 ICF FROST WALL (GARAGE)

ICF FOUNDATION WALL
DAMP-PROOFING (BELOW FINISHED GRADE)(9.13.2)
PARGING (ABOVE FINISHED GRADE)

WE-02 EXTERIOR WALL ASSEMBLY

1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE
6 MIL POLY VAPOR BARRIER (9.25.4)
INSULATION (9.36.2.6)
2x6 K.D. SPRUCE/PINE STUDS (SPACING BY OTHERS) (P.T. MATERIAL BELOW GRADE)
3/8" OSB SHEATHING (9.23.1.7)
PERMEABLE BUILDING PAPER (9.36.2.10)
FINISH AS SPECIFIED

WI-03 INTERIOR PARTITION WALL ASSEMBLY

1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE
(MOISTURE RESISTANT GYPSUM IN BATHROOMS - WONDER BOARD IN SHOWERS)
2x4 K.D. SPRUCE / PINE STUDS (SPACING BY OTHERS) (UNLESS NOTED OTHERWISE)
ACOUSTICAL INSULATION (WHERE APPLICABLE)
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE

FLOOR ASSEMBLIES

FC-01 GARAGE SLAB ASSEMBLY (4")

4" CONCRETE SLAB - REINFORCED AS PER STRUCTURAL REQ.
4 SLOPED AS SPECIFIED
INSULATION (IF REQ'D) (9.36.2.8.)
6 MIL POLY VAPOUR BARRIER (9.25.4)
4" MIN. WASHED ROCK (9.16.2.1)
UNDISTURBED SOIL

FI-02 RESIDENCE FLOOR ASSEMBLY OVER GARAGE

FINISHED FLOOR AS SPECIFIED
3/4" T&G EXTERIOR GRADE SHEATHING (9.23.15)
(OPT. BUILT-UP SHEATHING FOR FINISHED FLOOR SELECTIONS)
TJI FLOOR SYSTEM - ENGINEERED BY OTHERS
CROSS BRACING AS REQ'D
6 mil POLY VAPOUR BARRIER (9.25.4)
STRAPPING AS REQ'D BELOW JOISTS FOR INSULATION
INSULATION (9.36.2.6)
1/2" GYPSUM BOARD FIRE-TAPED AS REQ'D FOR FUME BARRIER
FINISH AS SPECIFIED

FE-03 EXTERIOR DECK ASSEMBLY OPTION B

WATERPROOF MEMBRANE
3/4" T&G EXTERIOR GRADE SHEATHING (SLOPED)
FRAMING AS REQ'D FOR SLOPE
WOOD JOISTS - AS PER STRUCTURAL REQ.
CROSS BRACING AS REQ'D
INSULATION (IF REQ'D) (9.36.2.6)
VENTED SOFFIT (EXTERIOR AREAS)
FINISH AS SPECIFIED (INTERIOR SPACE)
1/2" GYPSUM BOARD FIRE-TAPED AS REQ'D FOR
FUME BARRIER (GARAGE SPACE)

ROOF ASSEMBLIES

R-01 ROOF ASSEMBLY - SLOPED

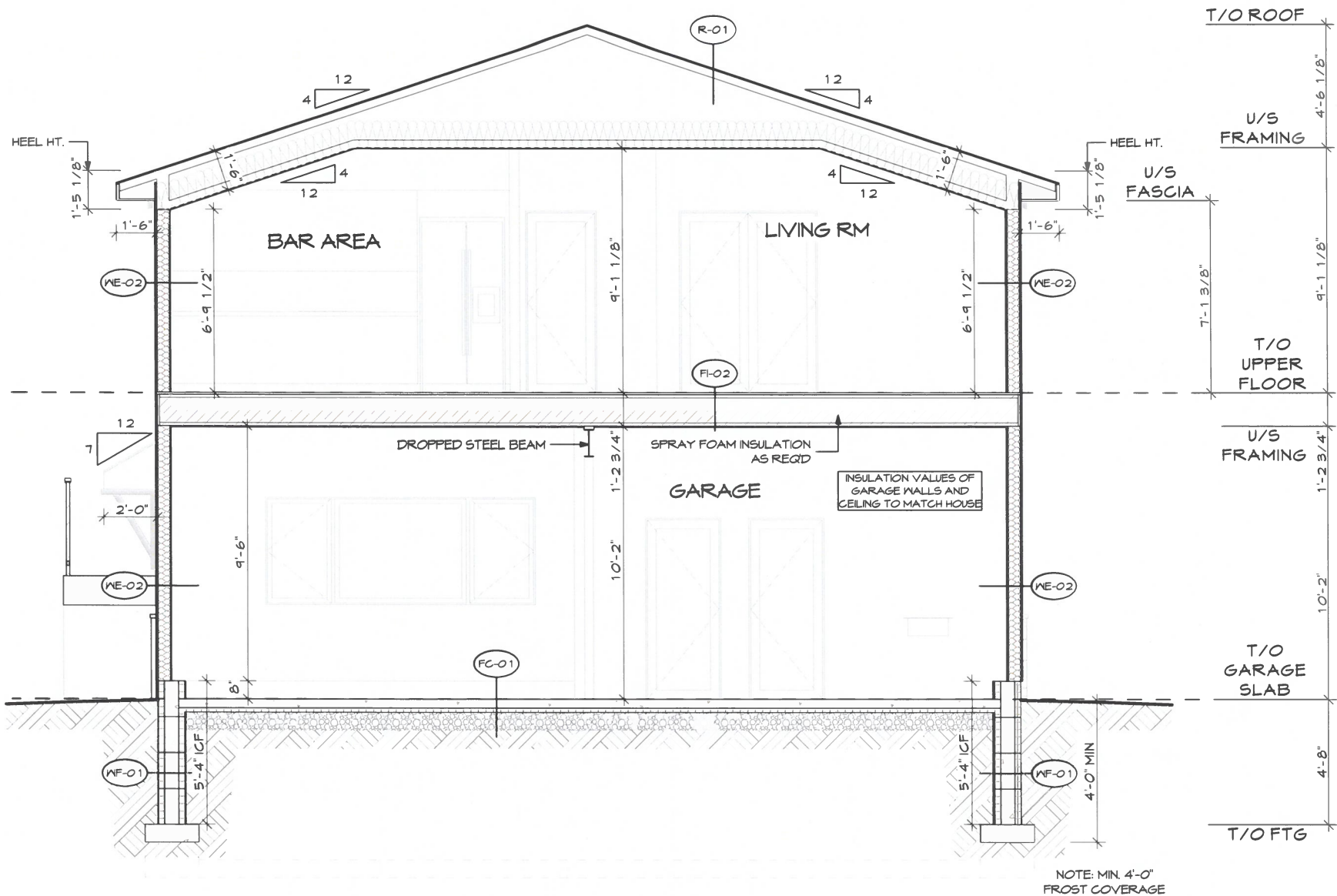
FINISHED ROOFING AS SPECIFIED
EAVE PROTECTION (9.26.5)
1/16" OSB SHEATHING c/w H CLIPS (9.23.16)
PRE-ENGINEERED ROOF JOISTS / TRUSSES (ENGINEERED BY OTHERS)
INSULATION (ABOVE LIVING SPACE)(9.36.2.6)
6 MIL POLY VAPOUR BARRIER (ABOVE LIVING SPACE)(9.25.4)
1/2" GYPSUM BOARD
VENTED SOFFIT @ EAVES (UNVENTED AS PER 3.2.3.6)

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		KD RESIDENTIAL DESIGN	SHEET TITLE: BUILDING SECTIONS	DATE: 2023-11-28	SHEET: A09

NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE PERMISSION OF KD RESIDENTIAL DESIGN INC.

11x 17



BUILDING SECTION B

CONSTRUCTION ASSEMBLIES

(AS PER NBC 2019 (AE))

WALL ASSEMBLIES

WF-01 ICF FROST WALL (GARAGE)

ICF FOUNDATION WALL
DAMP-PROOFING (BELOW FINISHED GRADE)(9.13.2)
PARGING (ABOVE FINISHED GRADE)

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FINISH AS SPECIFIED

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FLOOR ASSEMBLIES

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FINISH AS SPECIFIED

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VENTED SOFFIT (EXTERIOR AREAS)
FINISH AS SPECIFIED (INTERIOR SPACE)
1/2" GYPSUM BOARD FIRE-TAPED AS REQ'D FOR
FUME BARRIER (GARAGE SPACE)

ROOF ASSEMBLIES

R-01 ROOF ASSEMBLY - SLOPED

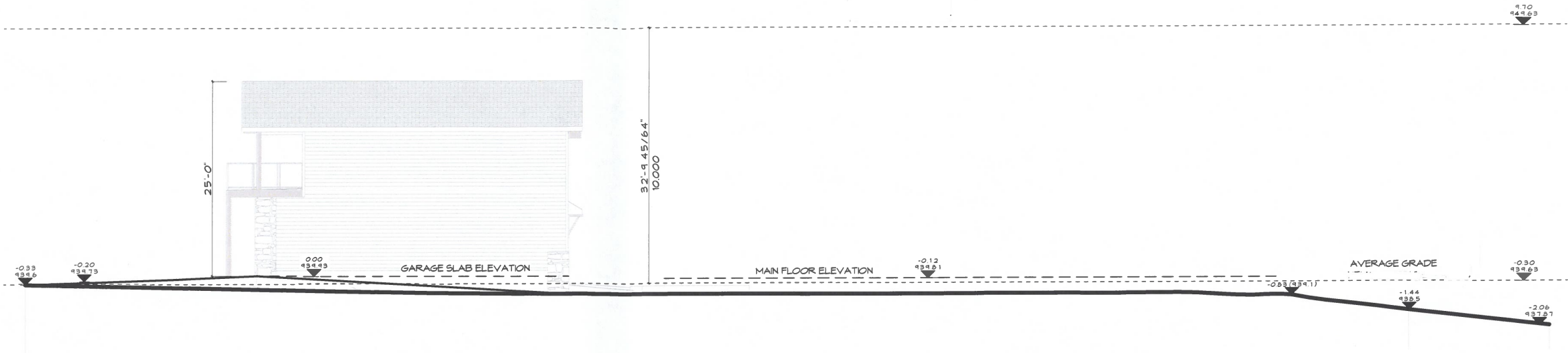
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PRE-ENGINEERED ROOF JOISTS / TRUSSES (ENGINEERED BY OTHERS)
INSULATION (ABOVE LIVING SPACE)(9.36.2.6)
6 MIL POLY VAPOUR BARRIER (ABOVE LIVING SPACE)(9.25.4)
1/2" GYPSUM BOARD
VENTED SOFFIT @ EAVES (UNVENTED AS PER 3.2.3.6)

ALL SPECIFICATIONS FOR THE NBC 2019 (AE). 9.36. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	LEGAL ADDRESS: LOT: 9, BLOCK: 2, PLAN: 3741 MC	CIVIC ADDRESS: 10 HUMMINGBIRD LANE, S.V. OF HALF MOON BAY, AB	CLIMATE ZONE: 7A	BUILDING AREA: 119 SQ M	AIRTIGHTNESS 25
UPPER FLOOR : 1088 SF GARAGE : 1280 SF	CLIENT CONTACT INFO: KOTI HOMES DREAM · DESIGN · BUILD	DRAFTED BY: KD RESIDENTIAL DESIGN	PROJECT NAME: 10 HUMMINGBIRD LANE GARAGE SUITE	PROJECT NUMBER: KO-2023-03	SCALE: 3/16" = 1'-0"
		KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	SHEET TITLE: BUILDING SECTIONS	DATE: 2023-11-28	SHEET: A 10

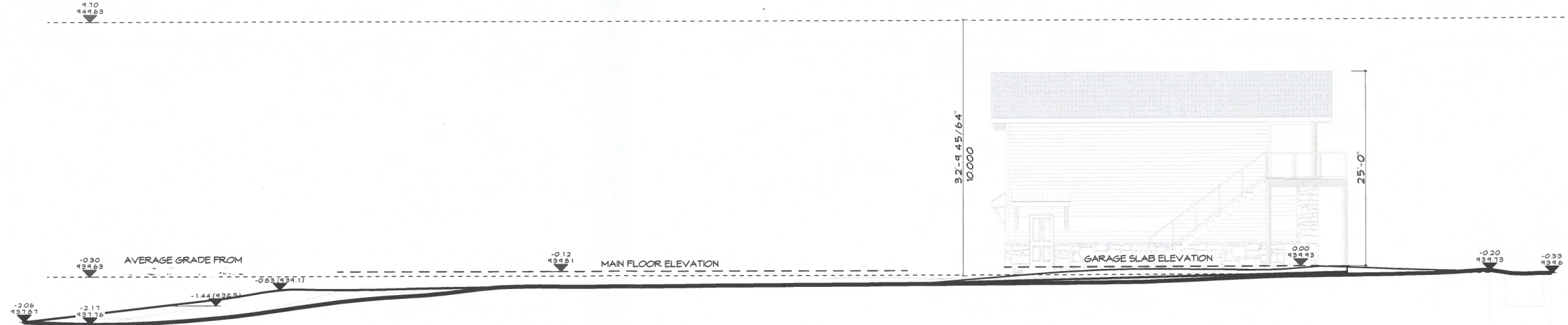
NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE PERMISSION OF KD RESIDENTIAL DESIGN INC.

11x 17



EAST PROPERTY SECTION

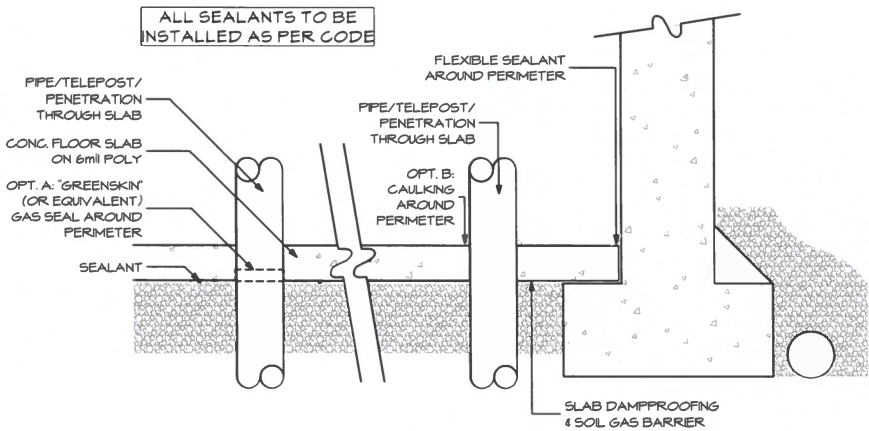


WEST PROPERTY SECTION

<p>ALL SPECIFICATIONS FOR THE NBC 2019 (AE) 9.96. ENERGY CODE TO BE SUPPLIED BY OTHERS.</p> <p>DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.</p>	<p>UPPER FLOOR : 1088 SF</p> <p>GARAGE : 1280 SF</p>	<p>CLIMATE ZONE: 7A</p> <p>BUILDING AREA: 119 SQM</p> <p>AIRTIGHTNESS 25</p>	<p>LEGAL ADDRESS: LOT: 9, BLOCK: 2, PLAN: 3741 MC</p> <p>CIVIC ADDRESS: 10 HUMMINGBIRD LANE, S.V. OF HALF MOON BAY, AB</p>	<p>CLIENT CONTACT INFO:</p> <p>KOTI HOMES DREAM - DESIGN - BUILD</p>	<p>DRAFTED BY:</p> <p>KD RESIDENTIAL DESIGN</p> <p>KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST</p> <p>CELL: 403.396.0354 EMAIL: KAREN@KDRO.CA WEB: WWW.KDRO.CA</p>	<p>PROJECT NAME: 10 HUMMINGBIRD LANE GARAGE SUITE</p> <p>SHEET TITLE: BUILDING SECTIONS</p>	<p>PROJECT NUMBER: KO-2023-03</p> <p>DATE: 2023-11-28</p>	<p>SCALE: 1/16" = 1'-0"</p> <p>SHEET: A 11</p>
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SLAB PENETRATION SEALING DTL

N.T.S.

GENERAL NOTES:

- KD RESIDENTIAL DESIGN INC. SHALL NOT BE HELD LIABLE AND ASSUMES NO RESPONSIBILITY FOR ANY HOME CONSTRUCTED FROM THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY COMPLIANCE WITH LOCAL BUILDING CODES AND ANY MODIFICATIONS THAT MAY NEED TO BE MADE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR VERIFYING SITE/SOIL CONDITIONS AND ALL DIMENSIONS AND SQUARE FOOTAGE CALCULATIONS BEFORE BEGINNING CONSTRUCTION.
- ALL STRUCTURAL INFORMATION IS TO BE USED AS A GUIDELINE ONLY. ALL STRUCTURE TO BE SIZED AND SUPPLIED BY OTHERS TO MEET ALL LOCAL BUILDING CODES.
- ALL CONSTRUCTION TO CONFORM TO THE LATEST EDITION OF THE LOCAL BUILDING CODE, AS WELL AS ALL OTHER LOCAL CODES AND BY-LAWS.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO REPORT ANY CHANGES, ERRORS OR OMISSIONS TO THEIR SUPERIOR BEFORE PROCEEDING.
- CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS, SPECIFICATIONS AND CONSTRUCTION METHODS.
- CONTRACTOR TO CONFIRM THAT ANY DETAILS PROVIDED COMPLY WITH LOCAL BUILDING CODES AND METHODS OF CONSTRUCTION, AS DETAILS ARE ONLY TO BE USED AS A GUIDELINE.
- FOUNDATION WATERPROOFING AND 4" PERFORATED TUBING TO BE PROVIDED WHERE EXTERIOR GRADE IS ABOVE THE BASEMENT SLAB OR CRAWL SPACE.
- EXTERIOR FLASHING TO BE APPLIED AT ALL CHANGES IN EXTERIOR MATERIALS, ABOVE ALL DOOR/ WINDOWS, AT ALL INTERSECTIONS BETWEEN WALLS AND ROOF, IN ALL ROOF VALLEYS AND AROUND ALL CHIMNEYS.
- ADDITIONAL FLASHING AND/OR CAULKING TO BE APPLIED AS PER LOCAL CODES TO ANY OTHER EXTERIOR SURFACES WITH POTENTIAL TO WEATHER.
- STEP FLASHING TO BE PROVIDED WHERE ANY ROOF SHINGLES ARE APPLIED AGAINST A VERTICAL SURFACE.
- ALL WINDOWS SHOWN ARE TO BE USED AS A GUIDELINE. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS WITH SUPPLIER AND CONFIRM ANY CHANGES WITH THEIR SUPERIOR. CONTRACTOR IS ALSO RESPONSIBLE FOR SELECTING WINDOWS THAT MEET EGRESS AND TEMPERED GLASS REQUIREMENTS.
- ALL EXTERIOR DOORS/WINDOWS TO INCLUDE WEATHER-STRIPPING AS PER LOCAL BUILDING CODES.
- DOOR FROM HOUSE TO GARAGE TO BE INSTALLED WITH WEATER-STRIPPING AND A SELF-CLOSER DEVICE.
- ROOF TO BE ADEQUATELY VENTED AS PER LOCAL BUILDING CODES AND REGULATIONS.
- CHIMNEYS SHALL EXTEND AT LEAST 2'-0" ABOVE ANY PORTION OF THE BUILDING WITHIN 10'-0" OR AS LOCAL BUILDING CODES.
- SERVICE LOCATIONS TO BE DETERMINED BY CONTRACTOR AND CONFIRMED BY THEIR SUPERIOR.
- ALL ANGLED WALLS ARE AT 45 DEGREES UNLESS NOTED OTHERWISE.
- CONTRACTOR TO BUILD-UP FLOORING AS REQUIRED TO ENSURE FINISHED FLOORING IS FLUSH AND LEVEL.
- BLOCKING IS TO BE PROVIDED AT ALL CABINET AND HARDWARE LOCATIONS INCLUDING TOWEL BARS AND TOILET PAPER HOLDERS.
- KITCHEN LAYOUT IS TO BE USED AS A GUIDELINE. SUPPLIER IS TO HAVE FINAL LAYOUT AND DETAILS APPROVED BY THEIR SUPERIOR.
- CAVITIES TO BE PROVDED WHERE RECESS MEDICINE CABINETS ARE LOCATED.
- CONTRACTOR TO ENSURE FRAMING SUITS ELECTRICAL, PLUMBING AND MECHANICAL FIXTURES (INCLUDING FIREPLACES) AS SPECIFIED BY OTHERS.
- CONTRACTOR TO ENSURE THERE IS ADEQUATE ROOM FOR MECHANICAL CHASES, PLUMBING STACKS, ETC.
- MECHANICAL EQUIPMENT LOCATIONS IS TO BE USED AS A GUIDELINE. CONTRACTOR TO CONFIRM FINAL LOCATION WITH THEIR SUPERIOR.
- ALL ELECTRICAL WIRING AND PLACEMENT OF OUTLETS AND SWITCHES TO MEET LOCAL BUILDING CODES AND PROVIDE ADEQUATE SERVICE TO ALL APPLIANCES AND EQUIPMENT. ELECTRICAL LAYOUT TO BE USED AS A GUIDELINE WITH FINAL PLACEMENT AND FIXTURE SELECTION APPROVED BY THEIR SUPERIOR.

STRUCTURAL LEGEND

DB	DROPPED BEAM
FB	FLUSH FRAMED BEAM
BP	BEAM POCKET
DJ	DOUBLE JOIST
GT	GIRDER TRUSS
LBW	LOAD BEARING WALL
LB	LEDGER BOARD
PL	POINT LOAD ABOVE
PF	PAD FOOTING
SF	STRIP FOOTING

ELECTRICAL LEGEND

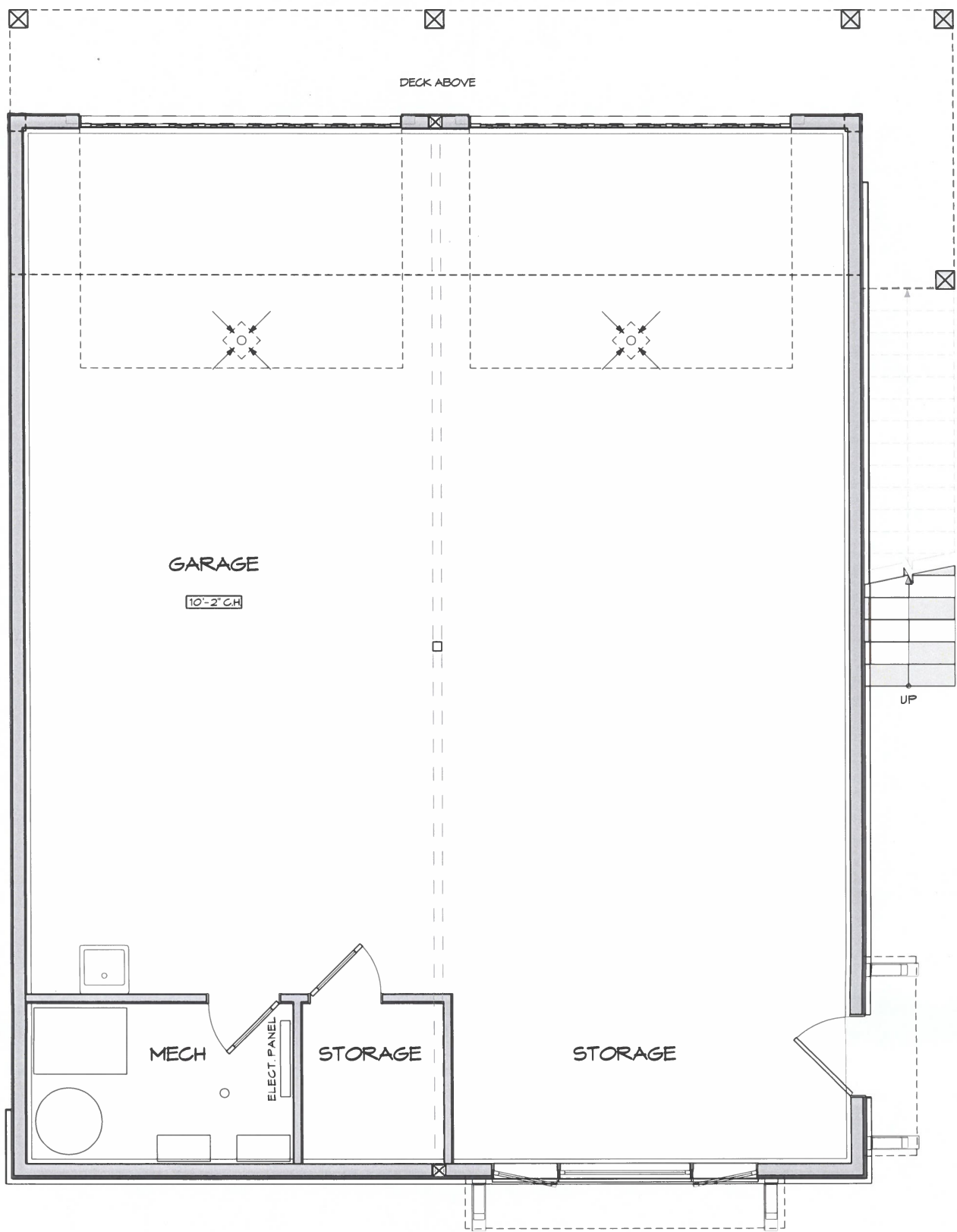
	CEILING MOUNTED FIXTURE		SPEAKER
	RECESSED POT LIGHT		TELEPHONE
	SMALL RECESSED POT LIGHT		CAT V WIRING
	WALL SCONCE		CABLE OUTLET
	CEILING FAN		USB RECEPTACLE
	UNDER CABINET LIGHT		THERMOSTAT
	WP SHOWER POT		CENTRAL VAC
	EXHAUST FAN		SWITCH
	110V OUTLET		3 WAY SWITCH
	220V OUTLET		4 WAY SWITCH
	GFI OUTLET		SMOKE DETECTOR
	EXTERIOR WATERPROOF OUTLET		SMOKE/CO ² DETECTOR
	DEDICATED OR KITCHEN OUTLET		HOSE BIB

ALL SPECIFICATIONS FOR THE NBC 2019 (AE) 9.36. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	LEGAL ADDRESS: LOT: 9, BLOCK: 2, PLAN: 3741 MC	CIVIC ADDRESS: 10 HUMMINGBIRD LANE, S.V. OF HALF MOON BAY, AB	CLIMATE ZONE: 7A	BUILDING AREA: 119 SQ M	AIRTIGHTNESS 25
UPPER FLOOR : 1088 SF GARAGE : 1280 SF	CLIENT CONTACT INFO: KOTI HOMES DREAM - DESIGN - BUILD	DRAFTED BY: KD RESIDENTIAL DESIGN KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 10 HUMMINGBIRD LANE GARAGE SUITE	PROJECT NUMBER: KO-2023-03	SCALE:
		SHEET TITLE: CNST DTLS / NOTES / LEGENDS	DATE: 2023-11-28	SHEET: A 12	

NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

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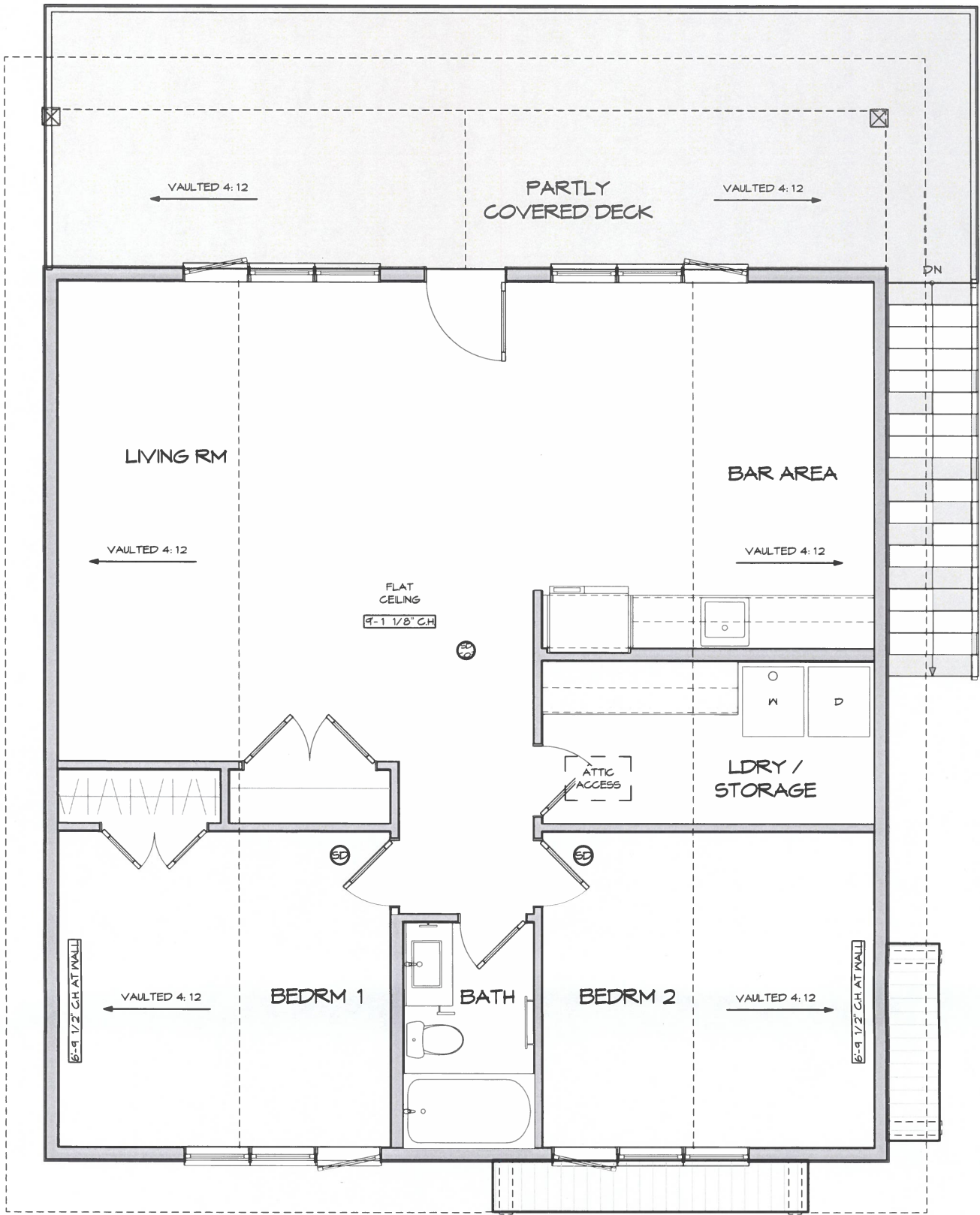
11x 17



MAIN FLOOR ELECTRICAL

ELECTRICAL LEGEND			
	CEILING MOUNTED FIXTURE		SPEAKER
	RECESSED POT LIGHT		TELEPHONE
	SMALL RECESSED POT LIGHT		CAT V WIRING
	WALL SCONCE		CABLE OUTLET
	CEILING FAN		USB RECEPTACLE
	UNDER CABINET LIGHT		THERMOSTAT
	WP SHOWER POT		CENTRAL VAC
	EXHAUST FAN		SWITCH
	110V OUTLET		3 WAY SWITCH
	220V OUTLET		4 WAY SWITCH
	GFI OUTLET		SMOKE DETECTOR
	EXTERIOR WATERPROOF OUTLET		SMOKE/CO ² DETECTOR
	DEDICATED OR KITCHEN OUTLET		HOSE BIB

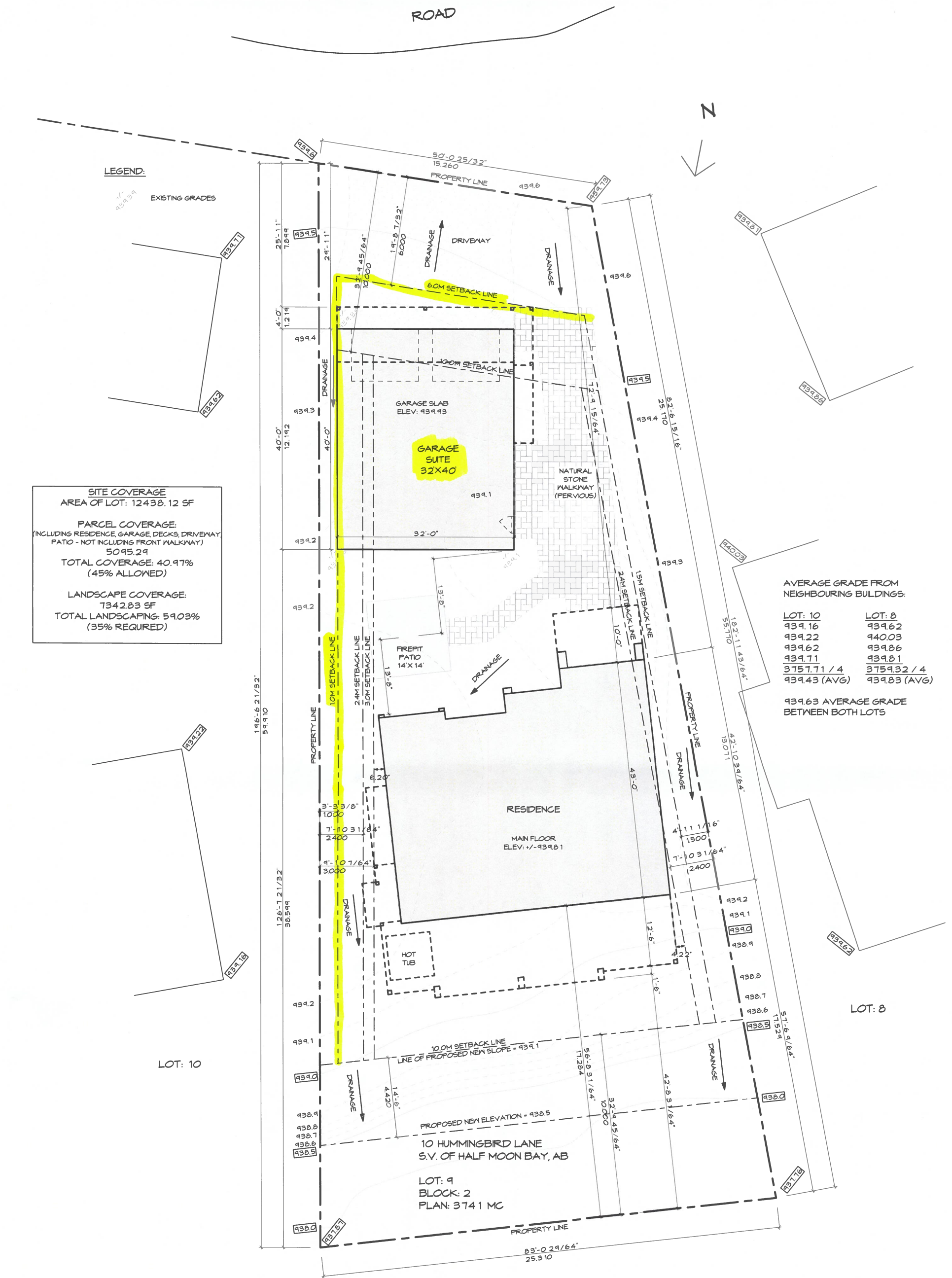
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UPPER FLOOR : 1088 SF GARAGE : 1280 SF		SHEET TITLE: MAIN FLOOR ELECTRICAL	DATE: 2023-11-28	SHEET: EO1	



UPPER FLOOR ELECTRICAL

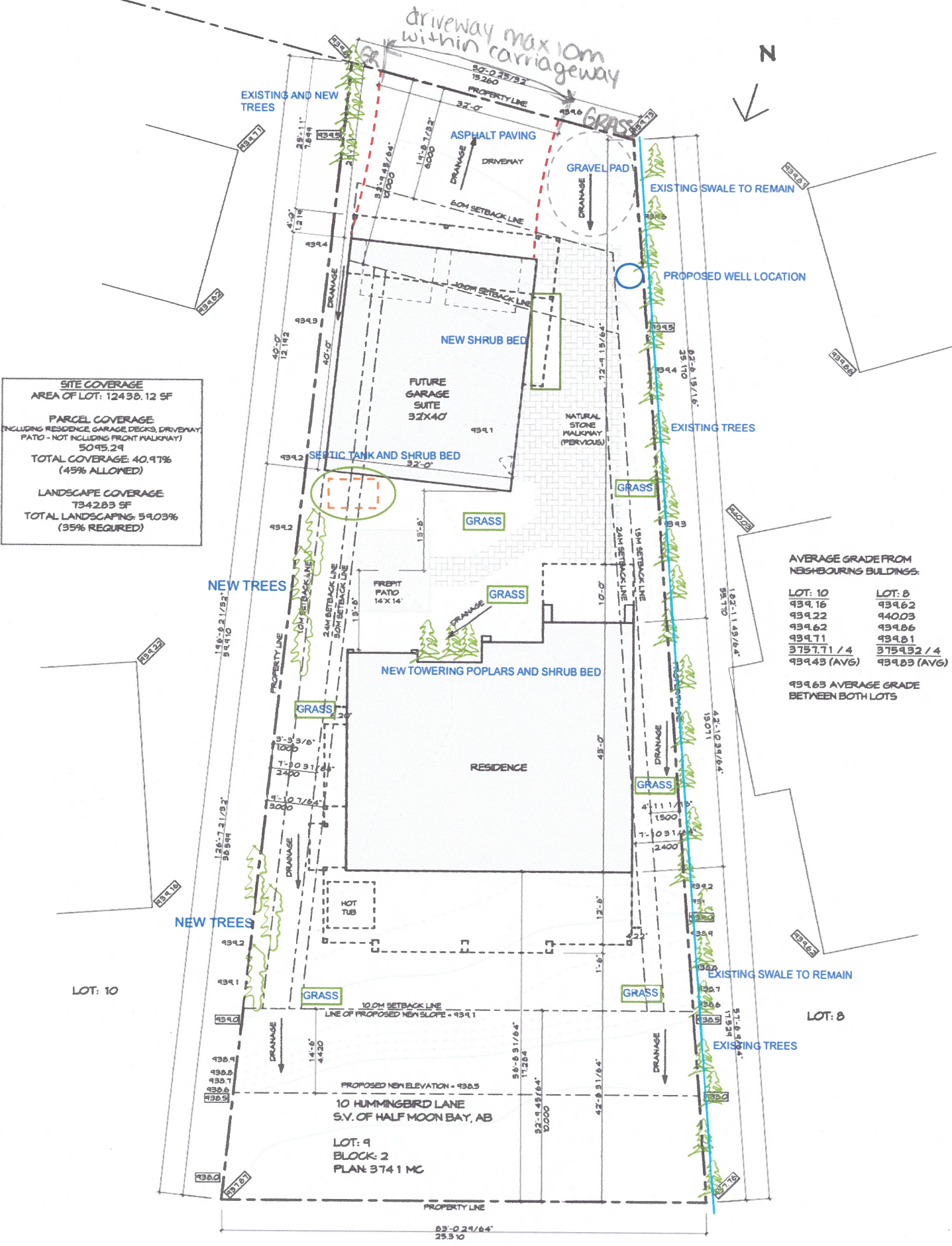
ELECTRICAL LEGEND			
	CEILING MOUNTED FIXTURE		SPEAKER
	RECESSED POT LIGHT		TELEPHONE
	SMALL RECESSED POT LIGHT		CAT V WIRING
	WALL SCONCE		CABLE OUTLET
	CEILING FAN		USB RECEPTACLE
	UNDER CABINET LIGHT		THERMOSTAT
	W/P SHOWER POT		CENTRAL VAC
	EXHAUST FAN		SWITCH
	110V OUTLET		3 WAY SWITCH
	220V OUTLET		4 WAY SWITCH
	GFI OUTLET		SMOKE DETECTOR
	EXTERIOR WATERPROOF OUTLET		SMOKE/CO ² DETECTOR
	DEDICATED OR KITCHEN OUTLET		HOSE BIB

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		SHEET TITLE: UPPER FLOOR ELECTRICAL	DATE: 2023-11-28	SHEET: EO2	



SITE PLAN

ALL SPECIFICATIONS FOR THE NBC 2019 (AE). 9.36. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.		LEGAL ADDRESS: LOT: 9, BLOCK: 2, PLAN: 3741 MC		CIVIC ADDRESS: 10 HUMMINGBIRD LANE, S.V. OF HALF MOON BAY, AB		CLIMATE ZONE: 7A	BUILDING AREA: 119 SQ M	AIRTIGHTNESS 25
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				SHEET TITLE: SITE PLAN		DATE: 2023-11-28		SCALE: 1:200
						SHEET: A 13		



SITE COVERAGE
AREA OF LOT: 12438.12 SF

PARCEL COVERAGE
INCLUDING RESIDENCE, GARAGE, DECKS, DRIVEWAY
PATIO - NOT INCLUDING FRONT WALKWAY)
5095.29

TOTAL COVERAGE 40.97%
(45% ALLOWED)

LANDSCAPE COVERAGE
734283 SF

TOTAL LANDSCAPING: 59.03%
(35% REQUIRED)

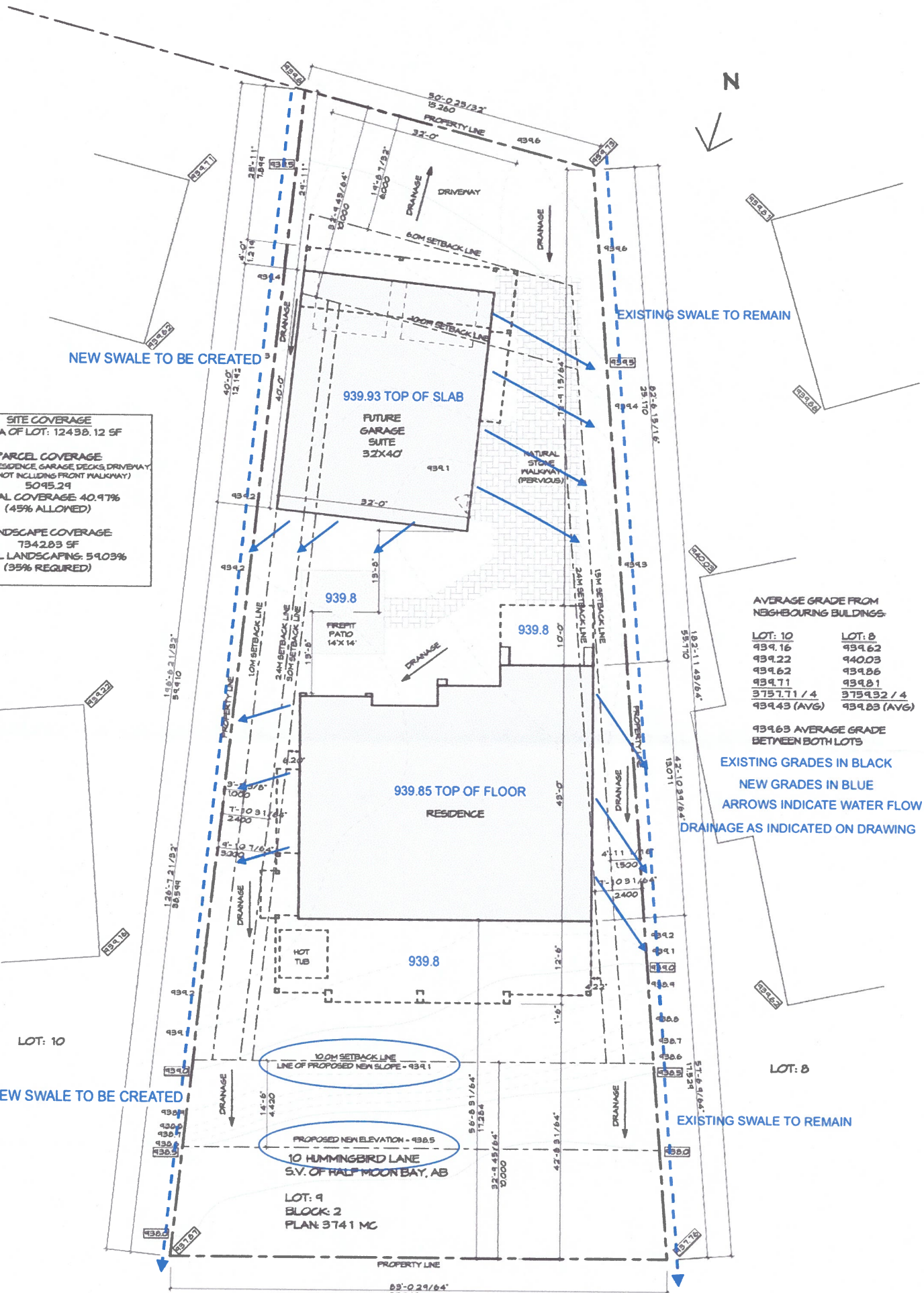
AVERAGE GRADE FROM NEIGHBOURING BUILDINGS:

LOT: 10	LOT: 8
939.16	939.62
939.22	940.03
939.62	939.86
939.71	939.81
3757.71 / 4	3759.92 / 4
939.43 (AVG)	939.83 (AVG)



939.63 AVERAGE GRADE BETWEEN BOTH LOTS

SITE PLAN
SCALE 1:200

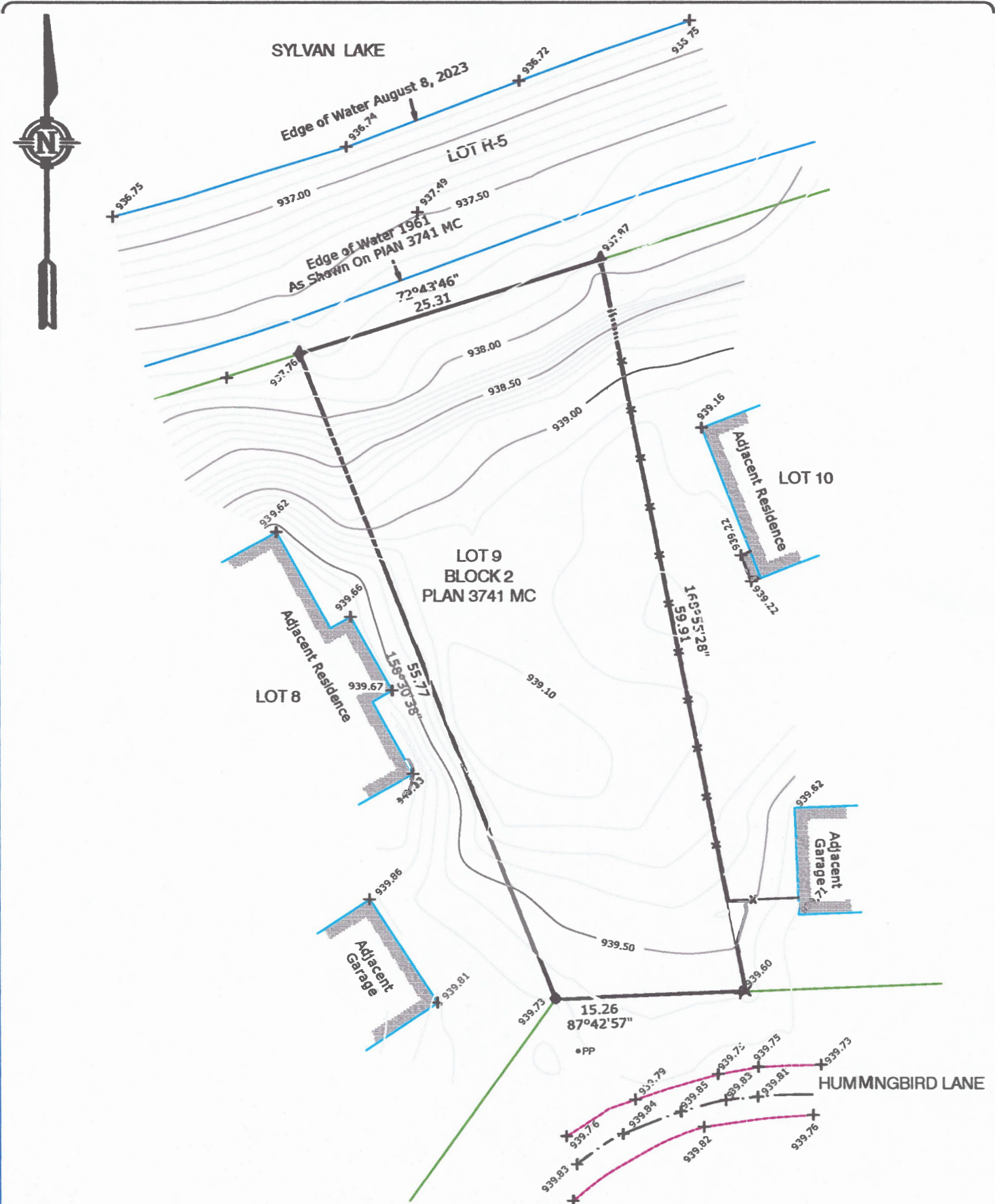
PROJECT NAME	PROJECT NUMBER	DATE	KOTI HOMES	KD RESIDENTIAL
10 HUMMINGBIRD LANE	KO-2023-02	2023-10-30		



SITE PLAN
SCALE 1:200

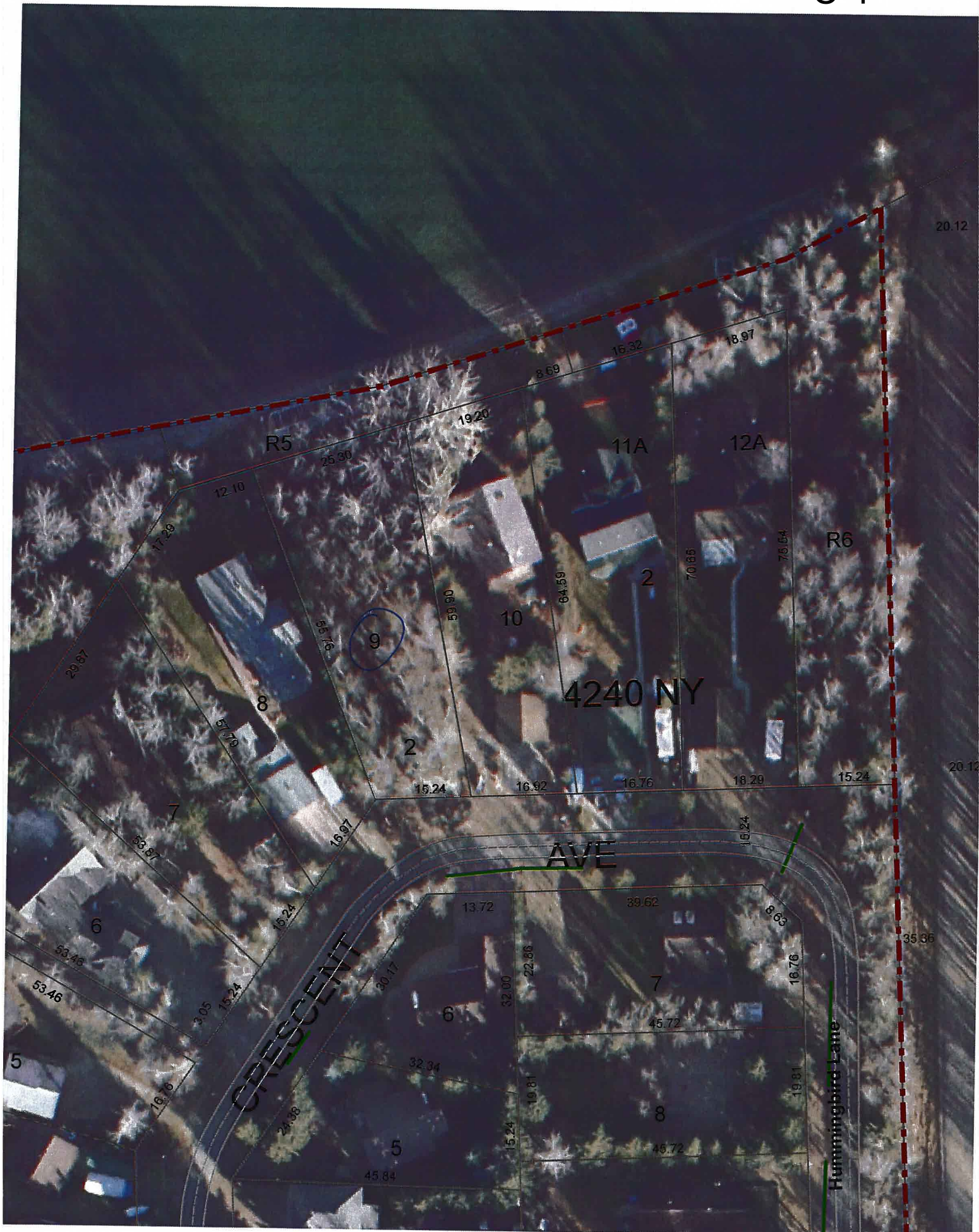
PROJECT NAME:	PROJECT NUMBER:	DATE:		
10 HUMMINGBIRD LANE	KO-2023-02	2023-10-30		

Existing Conditions/Plot Plan		SNELL & OSLUND SURVEYS (1979) LTD. RED DEER , ALBERTA Ph: (403) 342-1255	
LEGAL DESCRIPTION: LOT 9 BLOCK 2 PLAN 3741 MC		CLIENT: KOTI HOMES	Date : AUGUST 14, 2023
		CIVIC ADDRESS: 10 HUMMINGBIRD LANE S.V. OF HALF MOON BAY	Scale = 1 : 400
			Drawn By: F
			Job No. : 39573 EXISTING CONDITIONS



LEGEND & NOTES

- SUBJECT PROPERTY OUTLINED THUS ———
- EDGE OF ROAD SHOWN THUS ———
- ROAD CENTERLINE SHOWN THUS - - - - -
- EXISTING ELEVATIONS SHOWN THUS + 877.24
- POWER POLE SHOWN THUS ● PP
- CONTOUR LINES ARE SHOWN THUS ———
- BEARINGS ARE GRID AND DERIVED FROM GNSS SURVEYS
- ELEVATIONS ARE GEODETIC AND REFERENCED TO ASCM 991174 BEING 996.745m
- Distances are in Metres and decimals thereof
- Date of field survey : AUGUST 8, 2023



Lot 9



NOV 16 2023





NOV 16 2023





NOV 16 2023





NOV 16 2023





NOV 16 2023





NOV 16 2023





NOV 16 2023



Summer Village of Half Moon Bay – Municipal Planning Commission

December 19, 2023

Agenda Item

22 Hummingbird Lane (Lot 2, Block 2, Plan 3741MC)

Development Permit Application

Background:

In September 2023 a dwelling development permit was issued for the property at 22 Hummingbird Lane (Lot 2, Block 2, Plan 3741MC) in the village of Half Moon Bay. This property is located within the R District (Residential). This application before the Municipal Planning Commission today, has been applied for on behalf of the homeowner and is for a proposed garage with guest house on the property. The definition for guest house means *“an accessory building containing sleeping facilities for temporary usage only and may have a bathroom but shall not have a kitchen or other cooking facilities. A guest house provides overflow accommodation for a detached dwelling located on the same parcel, is not available for rent by a third party, and does not include recreational vehicles and sea cans”*.

The proposed garage with guest house is within the setback requirements, within the maximum height, and when the dwelling permit was approved the landscaping and drainage plans were approved as well. The proposed detached garage is to be 1,260.45ft² and to be separate and subordinate to the main dwelling. The garage is intended to be used for storage with a guest house above. The parcel coverage for the property is proposed to be 38.9% and within the maximum 45%.

Discussion:

This application is before MPC for the following reason:

- Land Use Bylaw, Part Four, Land Use District Uses: An accessory building where the total floor area is over 74m² (796.54ft²) is listed as a Discretionary Use. The proposed detached garage is 117.1m² (1,260.45ft²) therefore requires approval from the Municipal Planning Commission.
- Land Use Bylaw, Part Four, Land Use District Uses: Guest Houses are listed as a discretionary use, therefore requires approval from the Municipal Planning Commission.

Application Review:

After reviewing the application and all relevant planning documents, administration does not see any reason for the board to deny the discretionary use as requested. The proposed garage with guest house does not require any variances and meets the

December 11, 2023

requirements of the Land Use Bylaw as mentioned above, given the definition of a “guest house”.

Conditions:

If approved, Administration would recommend the following conditions:

- Landscaping to be completed according to the landscaping plan. A minimum of 35% of the parcel shall be a landscaped area.
- All applicable Building, Electrical, and Plumbing & Gas permits shall be obtained with Superior Safety Codes.
- The height of the garage with guest house shall not exceed 7.62m (25ft.) in building height measured from grade.
- An accessory building erected or placed on a parcel shall not be used as a dwelling unit.
- Completions deposit of \$5,000.00.
- The exterior of an accessory building must be finished to match or compliment the exterior finish of the main building.
- “Guest House” means an accessory building containing sleeping facilities for temporary usage only and may have a bathroom but shall not have a kitchen or other cooking facilities.
- In situations where a detached dwelling is being rented out and there is a guest house on the parcel, the guest house shall not to be rented out to a separate party other than those renting the detached dwelling.
- A lot grade certificate is required to be submitted to the Development Authority at completion to ensure proper drainage on the property exists.
- A final as build real property report from an Alberta Land Surveyor at completion of landscaping to ensure parcel coverage is within the maximum and to verify heights are within the maximum.

Authorities:

For a discretionary use in any district:

- (a) The Municipal Planning Commission may approve an application for a Development Permit:
 - (i) With or without conditions;
 - (ii) Based on the merits of the proposed development, including its relationship to any approved statutory plan, non-statutory plan or approved policy affecting the site;
 - (iii) Where the proposed development conforms in every respect to this Land Use Bylaw; or
- (b) The Municipal Planning Commission may refuse an application for a Development Permit based on the merits of the proposed development, even though it meets the requirements of this Land Use Bylaw; or

(c) Subject to the provisions of section 2.4(2) the Municipal Planning Commission shall refuse an application for a Development Permit if the proposed development does not conform in every respect to this Land Use Bylaw.

Decision:

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (*Section 642 of the MGA*), or
2. Deny the application stating reasons why (*Section 642(4) of the MGA*).

Kara Hubbard

From: [REDACTED]
Sent: Thursday, November 9, 2023 3:03 PM
To: Kara Hubbard; Craig Callahan
Subject: Garage/ guest bedroom, storage area

Follow Up Flag: Follow up
Flag Status: Flagged

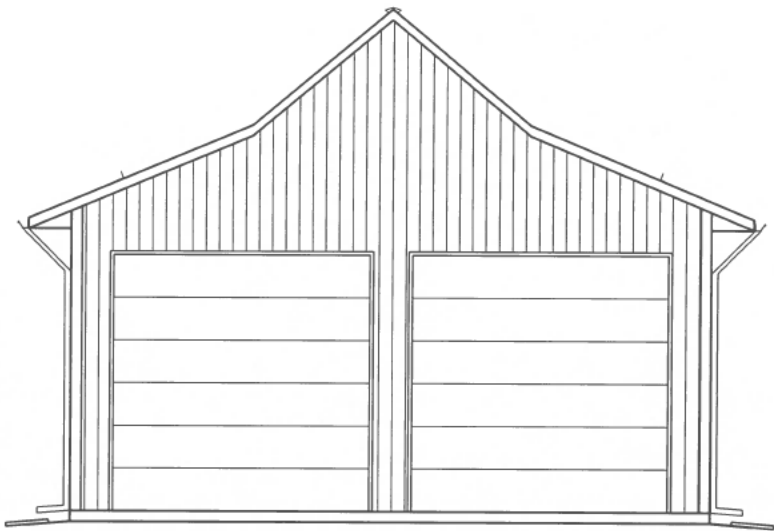
Good afternoon,

We were advised that you require a letter explaining our needs for the building we would like to add to our property. Our intent for this structure, that will compliment our soon to be permanent residence, is needed for our personal use. It will be used to accommodate our pontoon boat that measures 39 feet in length on the trailer and 8 feet wide and 9.5 feet tall. The boat will take up half the space. I also have two vehicle lifts for storage of my collector vehicles; in the up position with a vehicle on them, 14 feet in height is required. When the lifts are in the up position, we will be able to park our daily drivers under the lifts. The remaining width in centre of building will be used to store our golf cart, side by side ATV, and lawn tractor. We also have wall shelving, a work bench, and tools and tool boxes. We have had the designer come up with engineered rafters that will accommodate a future bedroom and storage area. This structure's exterior and roof design will match the house. It will have a hardy board finish with matching decorative accents. We want to ensure our property adds to the aesthetics of Half Moon Bay and does not detract from it.

Please feel free to contact us at any time with any questions or concerns.

Thank you,
[REDACTED]

30'-0" X 42'-0"
DETACHED GARAGE
RED DEER COUNTY, ALBERTA



BUILDING CODE ANALYSIS		
<u>BUILDING CLASSIFICATION:</u>		
MAJOR OCCUPANCY: GROUP F, DIVISION 3, UP TO 2 STOREYS 3.2.2.83 OTHER OCCUPANCIES: GROUP 'C', SINGLE FAMILY RESIDENCE		
DESCRIPTION:	ARTICLE:	PROVIDED:
BUILDING HEIGHT	3.2.2.83 - MAX 2 STOREYS	1 STOREY OR 7.16m (23'-6")
BUILDING ACCESS	3.2.2.10	FACING 1 STREETS WITH ACCESS TO ALL SIDES
TOTAL MAIN FLOOR AREA	TABLE 3.2.2.83 <1600m²	117.06m² (1260ft²)
TOTAL SECOND FLOOR AREA	TABLE 3.2.2.83 <0m²	31.22m² (336ft²)
MEZZANINE FLOOR AREA	TABLE 3.2.2.83 <0m²	N/A
SPRINKLERED	3.2.1.7 >2000m²	NOT SPRINKLERED
STAND PIPE & HOSE SYSTEMS	3.2.5.8 >###m²	NOT REQUIRED
WATER SUPPLY	3.2.5.7	OL REQUIRED
OCCUPANT LOAD	TABLE 3.1.17.1	MAX 6 PERSONS
FIRE ALARM	3.2.4.1	NOT REQUIRED
EXIT SIGNS	3.4.5.1	NOT REQUIRED

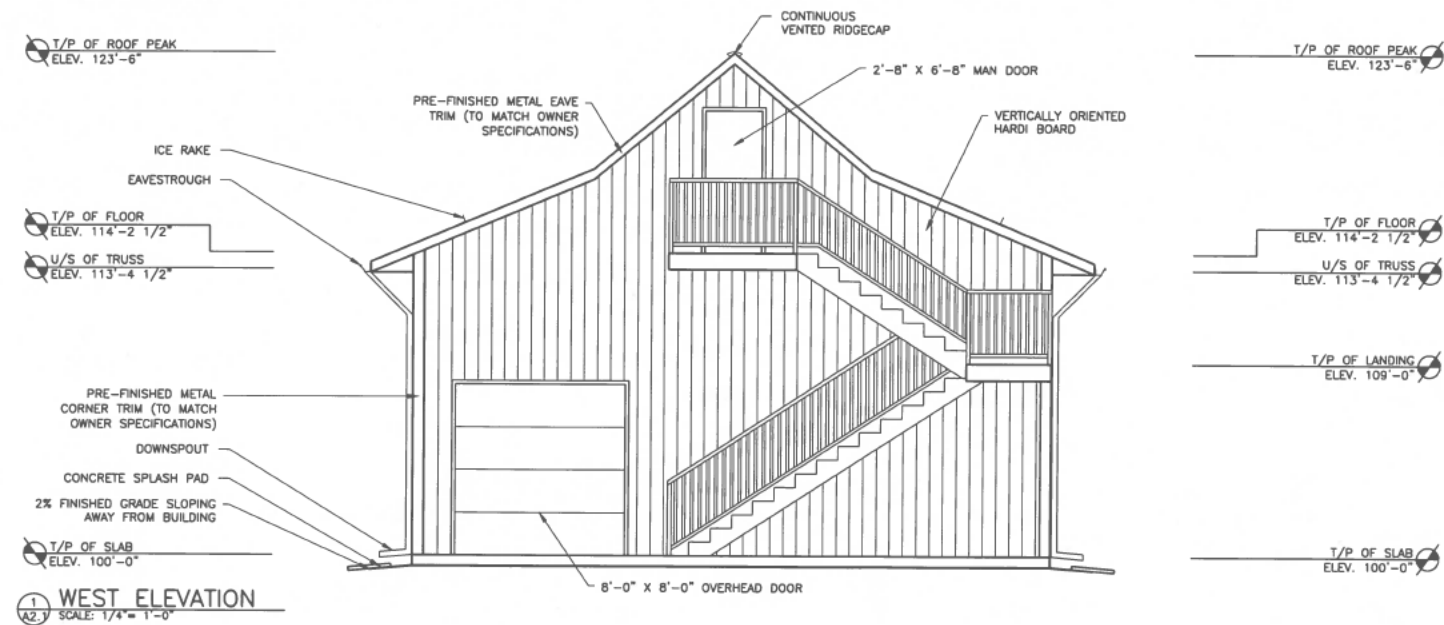
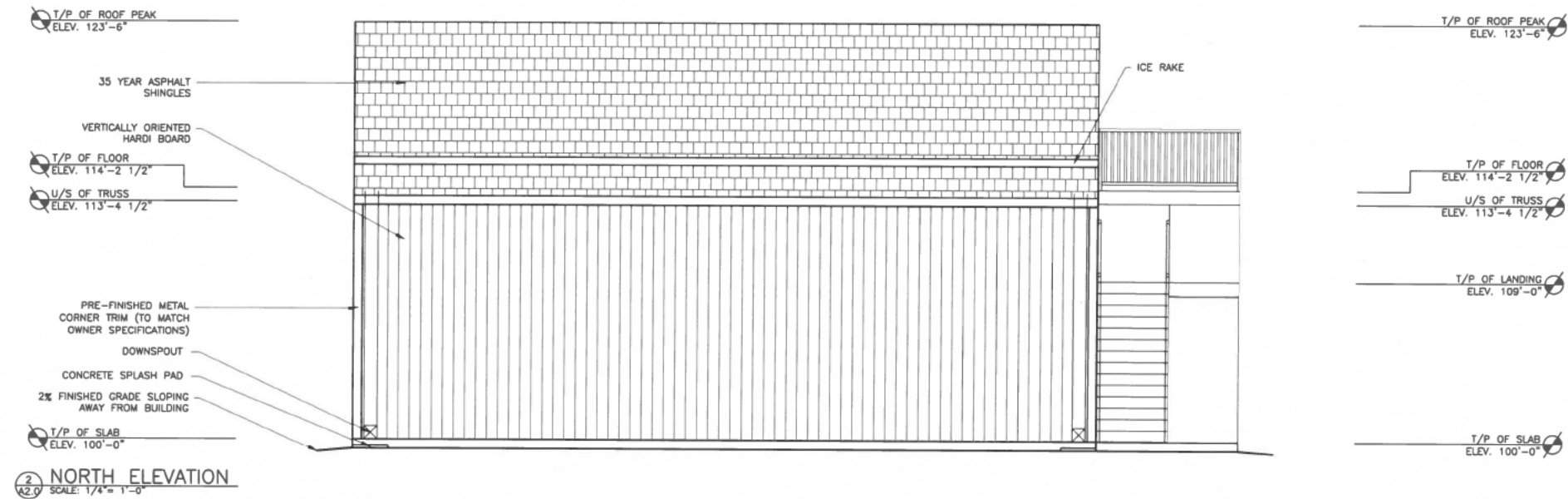
REQUIRED PROFESSIONAL INVOLVEMENT				
ARCHITECTURAL:	STRUCTURAL:	MECHANICAL:	ELECTRICAL:	GEOTECHNICAL:
RICHARDS CONSULTING	RICHARDS CONSULTING	##	##	##

FIRE SEPARATIONS:	ARTICLE:	PROVIDED:
FLOOR ASSEMBLIES	3.2.2.83 - 3/4HR FIRE RATED ASSEMBLY	3/4HR FIRE RATED ASSEMBLY
MEZZ. FLOOR ASSEMBLIES	3.2.2.83 - 3/4HR FIRE RATED ASSEMBLY	3/4HR FIRE RATED ASSEMBLY
ROOF ASSEMBLIES	3.2.2.83 - 3/4HR RATED OR N/C CONST.	3/4HR FIRE RATED ASSEMBLY
LOAD BEARING WALLS	3.2.2.83 - 3/4HR FIRE RATED ASSEMBLY	3/4HR FIRE RATED ASSEMBLY
SEPARATION OF SUITES	3.3.1.1 - NOT LESS THAN 1HR	3/4HR FIRE RATED
REPAIR GARAGE	3.3.5.5 (1) - 2HR FIRE RATED	N/A
VEHICLE STORAGE	3.3.5.6 (1) - 1HR FIRE RATED	N/A
FIREWALL	3.1.10 - 4HR RATED CONC. BLOCK	N/A
BUILDING CONSTRUCTION	3.2.2.83 - COMBUSTIBLE & N/C CONST.	COMBUSTIBLE & NON-COMBUSTIBLE
MECHANICAL ROOM	3.6.2.1 - NOT LESS THAN 1HR RATED	N/A
EXIT STAIRS	3.4.4.1 - NOT LESS THAN 45MIN RATED	N/A
JANITOR ROOM	3.3.1.21 - NOT LESS THAN 45MIN RATED	N/A
SPATIAL SEPARATIONS:	RATING/ALLOWABLE OPENINGS:	PROVIDED:
NORTH:	3/4HR FIRE RATING, 100% ALLOWED OPENINGS	3/4HR FIRE RATING, 0% UNPROTECTED OPENINGS
	COMB. CLADDING & COMB. CONST.	COMB. CLADDING & COMB. CONST.
SOUTH:	3/4HR FIRE RATING, 100% ALLOWED OPENINGS	3/4HR FIRE RATING, 10.27% UNPROTECTED OPENINGS
	COMB. CLADDING & COMB. CONST.	COMB. CLADDING & COMB. CONST.
EAST:	3/4HR FIRE RATING, 100% ALLOWED OPENINGS	3/4HR FIRE RATING, 54.06% UNPROTECTED OPENINGS
	COMB. CLADDING & COMB. CONST.	COMB. CLADDING & COMB. CONST.
WEST:	3/4HR FIRE RATING, 100% ALLOWED OPENINGS	3/4HR FIRE RATING, 15.96% UNPROTECTED OPENINGS
	COMB. CLADDING & COMB. CONST.	COMB. CLADDING & COMB. CONST.

DRAWING LIST
00 - COVER PAGE
A2.0 - BUILDING ELEVATIONS
A2.1 - BUILDING ELEVATIONS
A3.0 - MAIN FLOOR PLAN
A3.1 - UPPER FLOOR PLAN
A5.0 - CONSTRUCTION ASSEMBLIES, DOOR & WINDOW SCHEDULES, RSI CALCULATIONS
S1.0 - GENERAL NOTES
S2.0 - FOUNDATION PLAN &
S3.0 - BUILDING SECTIONS
S4.0 - WALL SECTIONS
S6.0 - TRUSS PLAN
S7.0 - DETAILS

FOR REVIEW

STAMPS		
1 ISSUED FOR REVIEW 08DEC23 LL		
NO. REVISION	DATE	BY
RICHARDS CONSULTING & ASSOCIATES LIMITED		
27317 TWP RD 372 RED DEER COUNTY, ALBERTA T4N 5E3		
P: 403-886-2919 F: 403-886-2733		
CUSTOMER		
GARAGE		
PROJECT		
30'-0" X 42'-0" DETACHED GARAGE		
RED DEER COUNTY, ALBERTA		
LEGAL DESCRIPTION		
22 HUMMINGBIRD HALF MOON BAY		
DRAWING TITLE		
COVER PAGE		
SCALE		
DESIGNED BY	DATE	
M. RICHARDS	08DEC2023	
DRAWN BY	DATE	
L. LUNDGREN	08DEC2023	
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M. RICHARDS	08DEC2023	
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22440	00	1



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Garage

PROJECT
30'-0" X 42'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA

LEGAL DESCRIPTION
22 HUMMINGBIRD HALF MOON BAY

DRAWING TITLE
BUILDING ELEVATIONS

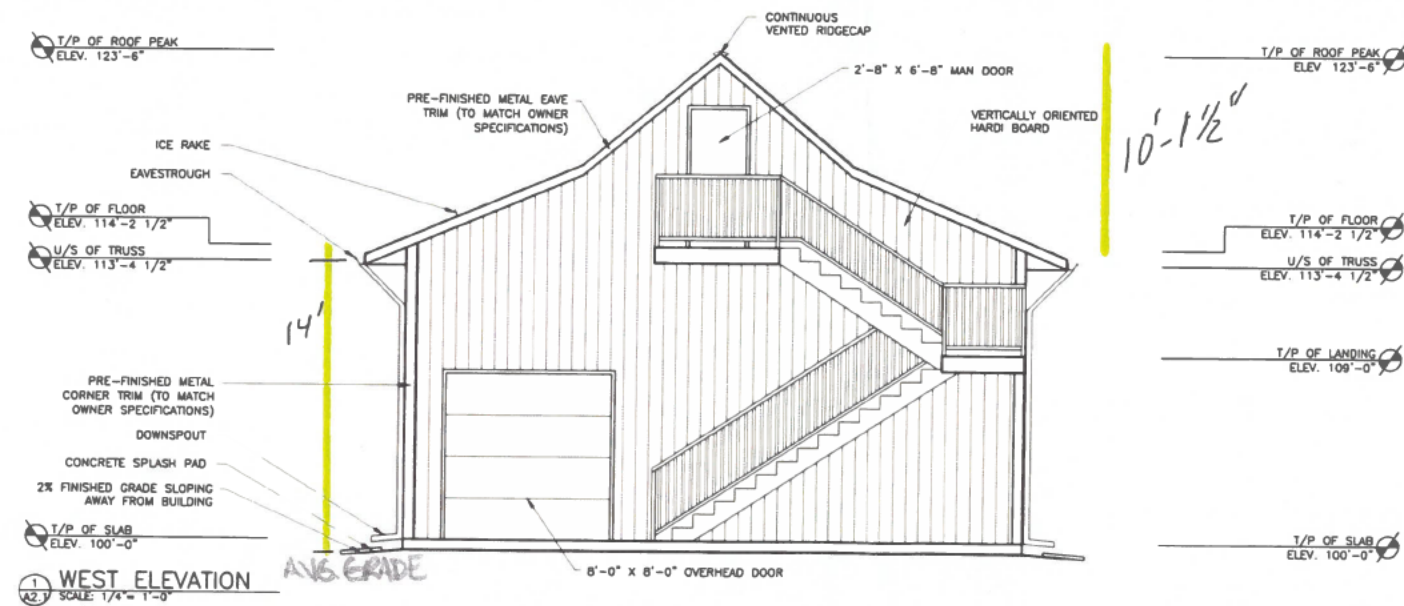
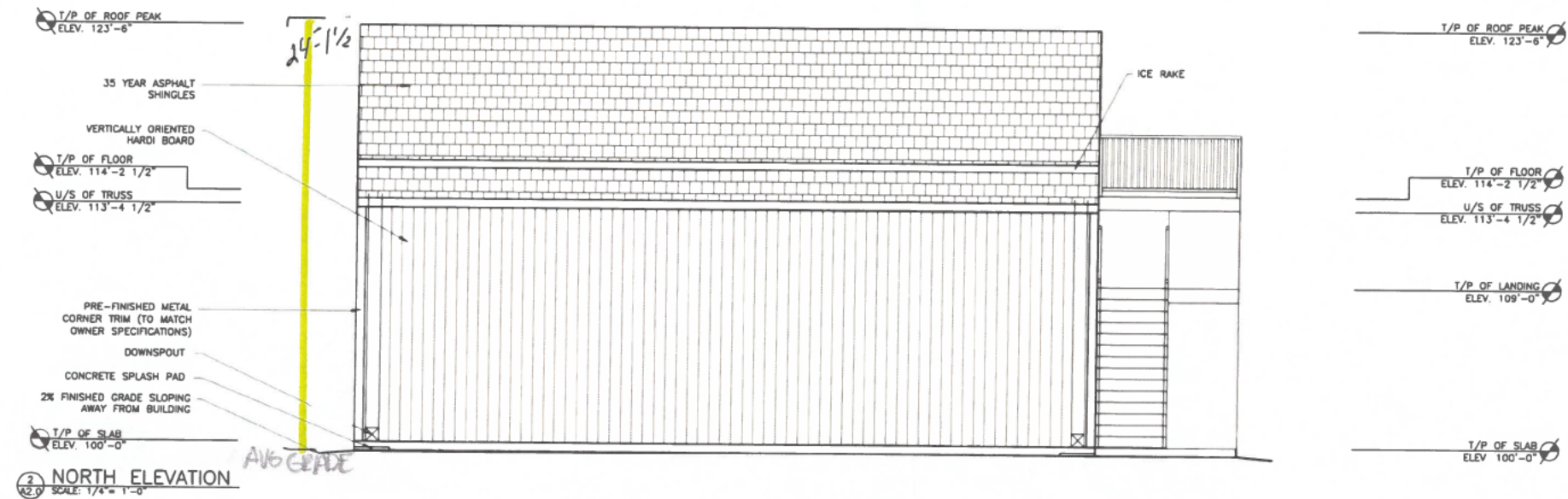
SCALE

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22410	A2.0	1

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CUSTOMER [REDACTED] GARAGE

PROJECT
30'-0" X 42'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA

LEGAL DESCRIPTION
22 HUMMINGBIRD HALF MOON BAY

DRAWING TITLE	BUILDING ELEVATIONS
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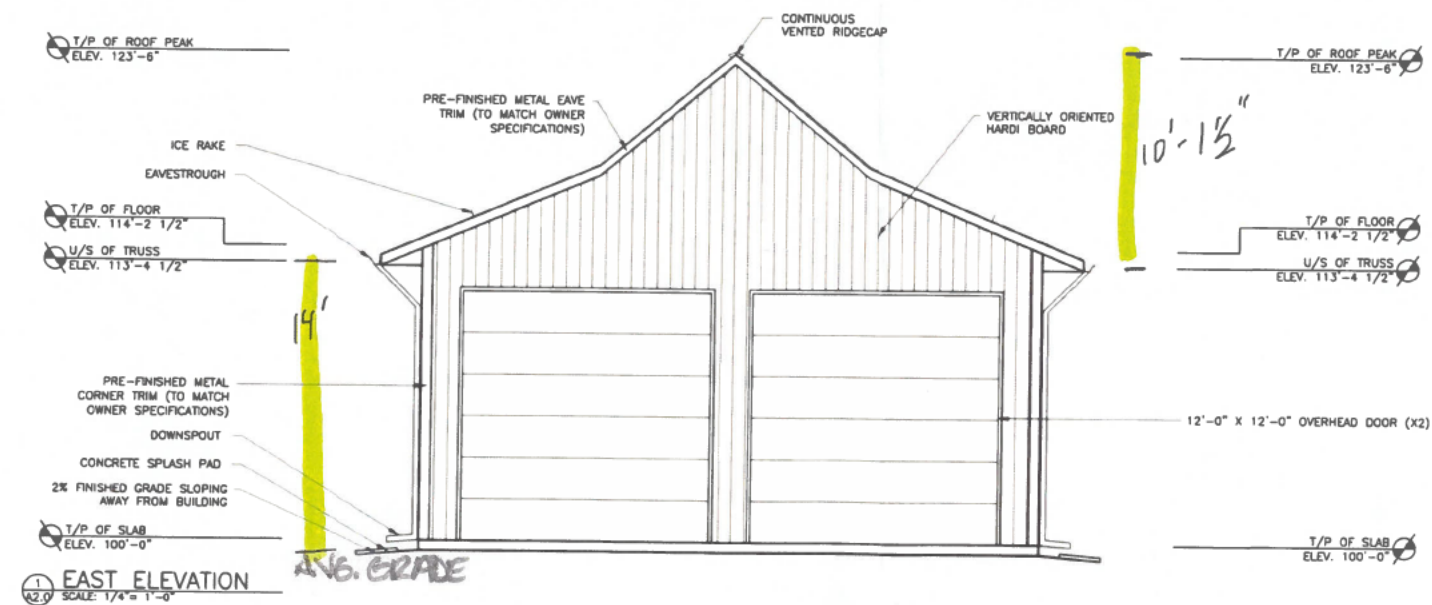
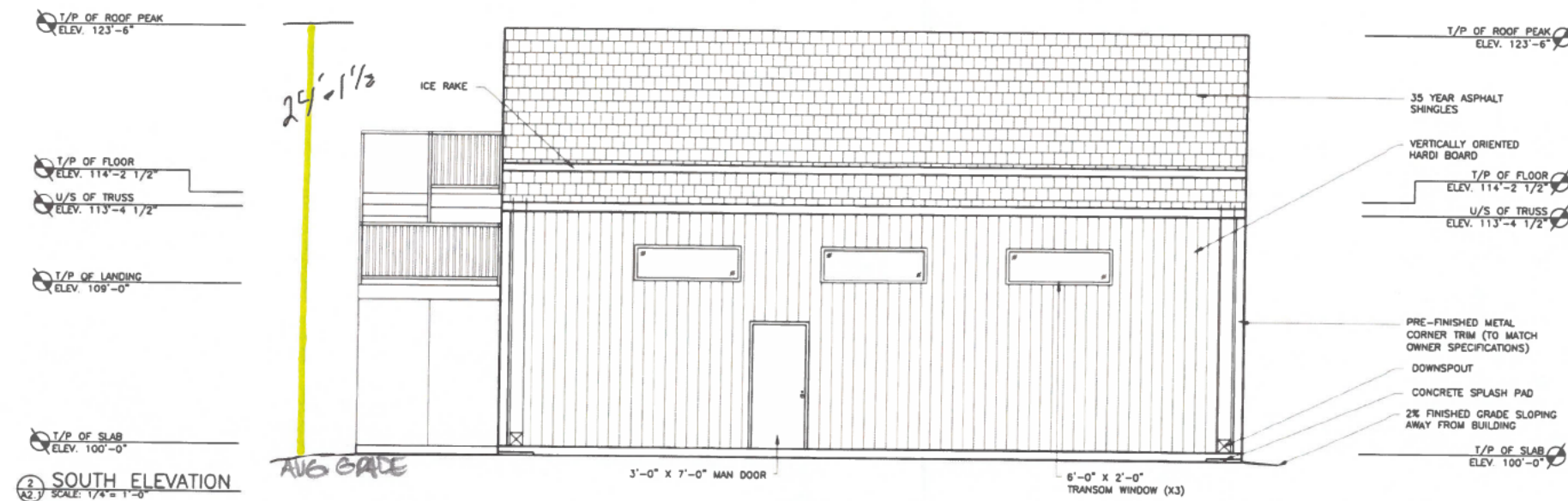
RED DEER COUNTY, ALBERTA

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DRAWING TITLE	BUILDING ELEVATIONS
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SCALE

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CUSTOMER [REDACTED] GARAGE

PROJECT
30'-0" X 42'-0"
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RED DEER COUNTY, ALBERTA

LEGAL DESCRIPTION

22 HUMMINGBIRD
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FOR REVIEW

ROOF DESCRIPTION:

- R1 ROOF AND CEILING CONSTRUCTION

 - 35 YEAR OLD ASPHALT SHINGLES
 - ROOFING PAPER
 - ICE AND WATER SHIELD EXTEND 36" UP FROM EAVE
 - 1/2" SPF NO 1/2 PLYWOOD, SECURE IN PLACE WITH 3" C.W.N. AT 6" O.C. ON SHEET PERIMETER AND 12" O.C. ELSEWHERE
 - ENGINEERED TRUSS @ 24" O.C. SEE MANUFACTURER'S DRAWINGS FOR PERMANENT AND TEMPORARY CROSS BRACING
 - PERMANENT TRUSS BRACING PLACE 1-2X4 SPF NO 1/2 CENTERED ON TRUSS
 - COMPRESSION WEB EACH SIDE OF CENTER COMPRESSION WEB FULL LENGTH OF BUILDING
 - C/W DIAGONAL 2X4 SPF NO 1/2 BRACE NAILED TO WEB @ APPROX 20'-0" INTERVALS
 - FASTEN ALL TRUSS ENDS WITH MIN OF 4 5/16"x4" RSS FASTENERS 2 ON EACH SIDE
 - R50 BLOWN IN INSULATION
 - 6 MIL POLYETHYLENE VAPOUR BARRIER
 - 1 LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD TAPED AND FINISHED
- R2 ROOF EAVE CONSTRUCTION

 - 35 YEAR OLD ASPHALT SHINGLES
 - ROOFING PAPER
 - ICE AND WATER SHIELD EXTEND 36" UP FROM EAVE
 - 1/2" SPF NO 1/2 PLYWOOD, SECURE IN PLACE WITH 3" C.W.N. AT 6" O.C. ON SHEET PERIMETER AND 12" O.C. ELSEWHERE
 - ENGINEERED TRUSS @ 24" O.C. SEE MANUFACTURER'S DRAWINGS FOR PERMANENT AND TEMPORARY CROSS BRACING
 - PERMANENT TRUSS BRACING PLACE 1-2X4 SPF NO 1/2 CENTERED ON TRUSS
 - COMPRESSION WEB EACH SIDE OF CENTER COMPRESSION WEB FULL LENGTH OF BUILDING
 - C/W DIAGONAL 2X4 SPF NO 1/2 BRACE NAILED TO WEB @ APPROX 20'-0" INTERVALS
 - FASTEN ALL TRUSS ENDS WITH MIN OF 4 5/16"x4" RSS FASTENERS 2 ON EACH SIDE
 - SOFFIT
- R3 QUEST QUARTERS ROOF AND CEILING CONSTRUCTION

 - 35 YEAR OLD ASPHALT SHINGLES
 - ROOFING PAPER
 - ICE AND WATER SHIELD EXTEND 36" UP FROM EAVE
 - 1/2" SPF NO 1/2 PLYWOOD, SECURE IN PLACE WITH 3" C.W.N. AT 6" O.C. ON SHEET PERIMETER AND 12" O.C. ELSEWHERE
 - ENGINEERED TRUSS @ 24" O.C. SEE MANUFACTURER'S DRAWINGS FOR PERMANENT AND TEMPORARY CROSS BRACING
 - PERMANENT TRUSS BRACING PLACE 1-2X4 SPF NO 1/2 CENTERED ON TRUSS
 - COMPRESSION WEB EACH SIDE OF CENTER COMPRESSION WEB FULL LENGTH OF BUILDING
 - C/W DIAGONAL 2X4 SPF NO 1/2 BRACE NAILED TO WEB @ APPROX 20'-0" INTERVALS
 - 5" OF 3LB DENSITY CLOSED CELL URETHANE INSULATION
 - 6 MIL POLYETHYLENE VAPOUR BARRIER
 - 1 LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD TAPED AND FINISHED

WALL DESCRIPTION:

- W1 BUILDING EXTERIOR WALLS

 - VERTICALLY ORIENTED HARDI BOARD
 - BUILDING PAPER
 - 1/2" PLYWOOD SHEATHING
 - 2:2X6 SPF NO 1/2 WALL TOP PLATES
 - 2X6 SPF NO 1/2 STUDS AT 16" O.C.
 - 2X6 SPF NO 1/2 MIDSPAN BLOCKING
 - 2X6 PRESSURE TREATED BASE PLATE
 - 5/8"x8"x3" A36 ANCHOR BOLTS PLACED AT 32" O.C., ALL BOLTS TO C/W CUT WASHERS
 - R22 ROCKWOOL INSULATION
 - 6 MIL POLY VAPOUR BARRIER
 - 1 LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD
 - INTERIOR FINISH BY OWNER
- W2 QUEST QUARTERS ATTIC WALLS

 - 1 LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD
 - 2X6 TRUSS WEBBING
 - 5" OF 3LB DENSITY CLOSED CELL URETHANE INSULATION
 - 1 LAYER OF 5/8" TYPE "X" GYPSUM WALL BOARD
- W3 INTERIOR PARTITION WALL

 - 1/2" DRYWALL, MOISTURE PROOF ON WASHROOM SIDE
 - 2:2X6 SPF NO 1/2 TOP PLATES
 - 2X6 SPF NO 1/2 WALL STUDS AT 16" O.C.
 - 2X6 SPF NO 1/2 BOTTOM PLATE
 - R20 BATT INSULATION
 - 1/2" DRYWALL

FLOOR DESCRIPTION:

- F1 CONCRETE SLAB CONSTRUCTION

 - SURFACE HARDENER AND COLOUR BY OWNER
 - 5" THK. CONCRETE STRUCTURAL SLAB c/w 15M BAR REINFORCING @ 16" O.C. E/W
 - CONCRETE TO BE 32 MPa 28 DAY COMPRESSIVE STRENGTH (TYPE 10 PORTLAND CEMENT)
 - CONTROL JOINTS SPACED @ 20'-0" O.C.
 - E/W FILL CONTROL JOINTS WITH ELASTOMERIC SEALANT
 - 6 mil POLY VAPOUR BARRIER
 - 8" THK. OF 3/4" CRUSHED ROCK COMPACTED TO 98% PROCTOR DENSITY
 - PROOF ROLL THE ENTIRE SUB GRADE TO ENSURE ALL LOW BEARING SOILS ARE DETECTED & REMOVED-PROOF ROLL SUBGRADE ONLY ONCE TO AVOID WEAKENING SOIL BEARING STRENGTH.
 - EXCAVATE LOW BEARING SOILS AREAS TO A MIN. DEPTH OF 24" AND REPLACE WITH ONE LAYER OF GEOTEXTILE MATERIAL AND FILL WITH 3% MINUS PIT RUN IN LIFTS NO GREATER THAN 6" WITH EACH LIFT BEING COMPACTED TO 98% PROCTOR DENSITY
- F2 QUEST QUARTERS FLOOR CONSTRUCTION

 - FLOOR FINISH BY OWNER
 - 3/4" T&G S.P.F. PLYWOOD SECURED IN PLACE WITH #10 1 1/2" SCREWS @ 8" O.C.
 - 2X6 TRUSS BOTTOM CORD
 - R22 ROCKWOOL INSULATION
 - 1 LAYER OF 5/8" TYPE "X" DRYWALL TAPED AND FINISHED


DOOR & HARDWARE SCHEDULE

QTY	MARK	SIZE					LOCATION	STYLE	DOOR SLAB								FRAME				HARDWARE				ACCESS		COMMENTS					
									METAL	ALUMINUM	WOOD	SOLID	HOLLOW	INSULATED	STAIN	PAINT	GLAZING	RATED	METAL	ALUMINUM	WOOD	STAIN	PAINT	RATED	LOCKSET	PASSAGE		PRIVACY	PANIC	PUSH/PULL	DEAD BOLT	CLOSER
1	D1	3'-0" x 7'-0"	●				EXTERIOR MAN DOOR	MAN	●	●						●	●	●	●			●	●	●				●	●			
1	D2	2'-8" x 6'-8"	●				EXTERIOR MAN DOOR	MAN	●	●						●	●	●	●			●	●	●				●	●			
1	D3	2'-6" x 6'-8"	●				INTERIOR MAN DOOR	MAN	●	●						●	●	●	●			●	●	●				●	●			
2	D4	12'-0" x 12'-0"	●				OVERHEAD DOOR	O/H	●	●						●	●	●	●			●	●	●				●	●			
1	D5	8'-0" x 8'-0"	●				OVERHEAD DOOR	O/H	●	●						●	●	●	●			●	●	●				●	●			

WINDOW SCHEDULE

A 72" x 24" TRANSOM WINDOW
TRIPLE PANE SEALED
UNITS ALUMINUM FRAMES
FRAME COLOR - BY OWNER
CONFIRM STYLE WITH OWNER
MINIMUM U VALUE (W/m² x K) = 1.60
MINIMUM RSI VALUE (m² x K/W) = 0.625
MINIMUM ENERGY RATING (ER) = 25

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ALBERTA T4N 5E3

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CUSTOMER

 GARAGE

PROJECT

30'-0" X 42'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA

LEGAL DESCRIPTION

22 HUMMINGBIRD
HALF MOON BAY

DRAWING TITLE

CONSTRUCTION ASSEMBLIES,
RSI CALCULATIONS &
DOOR/WINDOW SCHEDULES

SCALE

DESIGNED BY	DATE
M. RICHARDS	08DEC2023
DRAWN BY	DATE
L. LUNDGREN	08DEC2023
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M. RICHARDS	08DEC2023

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22440	A5.0	1

- 21) ALL WOOD MEMBERS TO BE S.P.F. No. 1/2 UNLESS OTHERWISE NOTED
- 22) ALL WOOD MEMBER TO CONFORM TO CAN/CSA 086.1-94
- 23) ALL BUILT UP WOOD BEAMS AND SCL TECLAM BEAMS TO HAVE A MIN OF 1 1/2" END BEARING UNLESS OTHERWISE NOTED
- 24) ALL MEMBER SHALL BE SO FRAMED, ANCHORED, TIED AND BRACED TOGETHER AS TO PROVIDE THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSE FOR WHICH THEY ARE DESIGNED
- 25) WHEN CONDITIONS CONDUCTIVE TO DECAY OR OTHER DETERIORATION ARE LIKELY TO OCCUR IN THE CASE OF PERMANENT STRUCTURES, WOOD SHOULD BE PRESSURE-TREATED WITH PRESERVATIVE IN ACCORDANCE WITH THE REQUIREMENTS OF CSA STANDARD CAN/CSA-080 SERIES, IF POSSIBLE ALL BORING, GROOVING, CUTTING AND OTHER FABRICATION SHOULD BE COMPLETED BEFORE TREATMENT, FABRICATION CARRIED OUT AFTER TREATMENT SHALL BE TREATED LOCALLY IN ACCORDANCE WITH CSA STANDARD CAN/CSA-080 SERIES.
- 26) UNTREATED WOOD IN PERMANENT STRUCTURES SHALL NOT BE IN DIRECT CONTACT WITH MASONRY, CONCRETE, OR SOIL, WHERE MOISTURE TRANSFER CAN OCCUR.
- 27) LUMBER USED SHALL BE IDENTIFIED BY THE GRADE STAMP OF AN ASSOCIATION OR INDEPENDENT GRADING AGENCY IN ACCORDANCE WITH THE PROVISIONS OF CSA STANDARD CAN/CSA-0141
- 28) CANADIAN SPECIES ARE DESIGNATED ACCORDING TO SPECIES COMBINATIONS SUCH AS S.P.F. (SPRUCE, PINE OR FIR)
- 29) FINGER JOINT LUMBER SHALL BE PRODUCED AND GRADE STAMPED IN ACCORDANCE WITH NLGA SPECIAL PRODUCT STANDARD SP51.
- 30) IN THE CASE OF NAILED BUILT-UP COMPRESSION MEMBERS (COLUMNS) ALL NAILS SHALL PENETRATE THROUGH AT LEAST 3/4 OF THE THICKNESS OF THE LAST INDIVIDUAL PIECE AND NAILS SHALL BE DRIVEN ALTERNATELY FROM EITHER FACE OF THE BUILT-UP MEMBER ALONG THE LENGTH. WHEN INDIVIDUAL PIECES OF THE BUILT-UP MEMBER ARE WIDER THAN 3 TIMES THEIR THICKNESS, THERE SHALL BE AT LEAST 2 ROWS OF NAILS ACROSS THE MEMBER WIDTH.
- 31) IN THE CASE OF BOLTED BUILT-UP COMPRESSION MEMBERS THE INDIVIDUAL PIECES OF THE BUILT-UP MEMBER ARE WIDER THAN 3 TIMES THEIR THICKNESS, THERE SHALL BE AT LEAST 3 ROWS OF BOLTS ACROSS THE MEMBER WIDTH.
- 32) SPICED BUILT-UP COMPRESSION MEMBERS SHALL CONSIST OF A MIN OF 3 MEMBERS, WITH NAILS PENETRATING ALL MEMBERS. THE MIN OVERALL SPICE LENGTH SHALL BE 1200mm (3'-11 1/4") SPICED COLUMNS SHALL BE BRACED BY SHEATHING OR PURLINS SPACED AT A MAX OF 600mm (1'-11 5/8") MIN O/C IN THE DIRECTION PERPENDICULAR TO THE WIDE FACE OF THE LAMINATIONS, THE MIN LAMINATION SIZE SHALL BE 38mm x 140mm (2x8) AND THE MAX SHALL BE 38mm x 184mm (2x8)
- 33) IF PRESERVED WOOD FOUNDATIONS ARE USED ALL LUMBER AND PLYWOOD SHALL BE TREATED IN ACCORDANCE WITH CSA STANDARD CAN/CSA-080.15 EXCEPT WHERE EXEMPTED FROM TREATMENT BY CSA STANDARD CAN/CSA-5406
- 34) THE NATIONAL BUILDING CODE PART 4 STATES THAT GLUED-LAMINATED TIMBER BE FABRICATED IN PLANTS CONFORMING TO CSA STANDARD CAN/CSA-0177
- 35) PLYWOOD USED FOR STRUCTURAL PANELS - REGULAR GRADES OF UNSANDED D.FIR PLYWOOD MANUFACTURED AND IDENTIFIED IN ACCORDANCE WITH CSA STANDARD 0121 AND TO STANDARD CONSTRUCTION OF REGULAR GRADES OF UNSANDED CANADIAN SOFTWOOD PLYWOOD MANUFACTURE'S AND IDENTIFIED IN ACCORDANCE WITH CSA STANDARD 0151
- 36) O.S.B. SHEATHING USED AS STRUCTURAL PANELS SHALL BE OF TYPES 1,2 AND 3 THAT ARE QUALIFIED AND CERTIFIED FOR ENGINEERING USES, AND IDENTIFIED IN ACCORDANCE WITH CSA STANDARD 0452.0 MAY BE USED.
- 37) ADHESIVES FOR STRESS JOINTS FOR STRUCTURAL PANELS SHALL MEET THE REQUIREMENTS OF CSA STANDARD 0112.7
- 38) SHEAR PANELS USING PLYWOOD O.S.B. OR WAFERBOARD SHALL BE CONSTRUCTED WITH PANELS NOT LESS THAN 1200mm x 2400mm (48 x 96), EXCEPT NEAR BOUNDARIES AND CHANGES IN FRAMING WHERE UP TO 2 SHORT OR NARROW PANELS MAY BE USED. FRAMING MEMBERS SHALL BE PROVIDED AT THE EDGE OF ALL PANELS IN SHEAR WALLS.
- 39) THE NAILS AND SPACING OF NAILS AT SHEAR PANEL BOUNDARIES AND THE EDGES OF EACH PANEL SHALL BE DONE WITH NAILS OF THE SAME SIZE PLACED ALONG ALL INTERMEDIATE FRAMING MEMBERS AT 250mm (10") O/C FOR FLOORS, 300mm (12") O/C FOR ROOFS AND 300mm (12") O/C FOR WALLS UNLESS OTHERWISE NOTED ON THE DRAWINGS; EXCEPT THAT THE NAIL SPACINGS SHALL BE 150mm (6") O/C FOR WALLS OF 9.5mm (3/8") PANELS INSTALLED WITH THE FACE GRAIN PARALLEL TO THE STUDS, AND THE STUDS SHALL BE SPACED 600mm (24") O/C OR LESS. UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
- 20) UNLESS NOTED OTHERWISE ALL LUMBER SHALL BE S.P.F. No. 1/2 MEMBERS
- 21) RICHARDS CONSULTING AND ASSOCIATES SHALL NOT ASSUME ANY LIABILITY FOR THE ENGINEERED COMPONENTS (TRUSSES, JOISTS) DESIGNED BY OTHERS WHICH ARE USED ON THIS PROJECT.

1) DRAWINGS ARE TO BE READ AND NOT SCALED.

2) ALL DIMENSIONS ARE TO BE VERIFIED WITH THE ARCH. & MECH DRAWINGS PRIOR TO CONSTRUCTION & EACH SUB TRADE IS RESPONSIBLE FOR VERIFYING DIMENSION IN THE FIELD.

3) DESIGN LOADS:

$S_s = 43.91 \text{ psf}$ $S_r = 2.09 \text{ psf}$ $G_r/50 = 9.40 \text{ psf}$

UPPER FLOOR:

L.L. = TBD D.L. = TBD

[illegible]

- 1) ALL CONCRETE IS TO BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF CAN3-CSA A23.1 "METHOD OF TEST FOR CONCRETE"
- 2) SEE CONCRETE SCHEDULE FOR ALL CONCRETE MIN BEARING STRENGTH AT 28 DAYS
- 3) ALL CONCRETE TO HAVE NO LARGER THAN 3/4" AGGREGATE. (SEE CONCRETE SCHEDULE)
- 4) AIR ENTRAINING ADMIXTURES SHALL CONFORM TO THE REQUIREMENTS OF CAN3-A266.1, "AIR-ENTRAINING ADMIXTURES FOR CONCRETE", CSA CAN3-A266.2 "CHEMICAL ADMIXTURES FOR CONCRETE", CSA CAN3-A266.4 "GUIDELINES FOR THE USE OF ADMIXTURES IN CONCRETE", CSA CAN3-A266.6 "SUPERPLASTICIZING ADMIXTURES FOR CONCRETE", AND CSA CAN3-A266.5 "GUIDELINES FOR THE USE OF SUPERPLASTICIZING ADMIXTURES FOR CONCRETE" (SEE CONCRETE SCHEDULE)
- 5) CONCRETE TO HAVE 4 SUMP
- 6) USE OF A SUPER PLASTICIZER ADMIXTURE IS REQUIRED TO AID IN WORKABILITY AND TO ENHANCE CONCRETE STRENGTH AS PER CONCRETE SCHEDULE.
- 7) SURFACE HARDENER & SEALER IS REQUIRED AS PER CONCRETE SCHEDULE.
- 8) ALL CONCRETE TO BE TYPE 10 PORTLAND CEMENT (SEE CONCRETE SCHEDULE)

- 1) A LAYER OF 6 mil POLY SHALL BE PLACED UNDER ALL CONCRETE SLABS ON GRADE OR FILL.
- 2) ACCESSORIES SUCH AS HI-CHAIRS, SPACERS, ETC. SHALL BE SUPPORTED BY PADS OF PLYWOOD OR TEMPERED HARDBOARD TO PREVENT PUNCTURING THE POLY
- 3) ALL PAVING OR CONCRETE SLABS ON GRADE AGAINST STRUCTURAL MEMBERS SHALL HAVE A 1/2" SPACER, USING FIBERBOARD, TREATED WOOD, ASPHALT IMPREGNATED FIBERBOARD, ETC.

- 1) A GEOTECHNICAL REPORT SHOULD BE PERFORMED AND BE AVAILABLE FOR REVIEW
- 2) THE FOUNDATION CONTRACTOR SHALL SATISFY HIMSELF AS TO THE PREVAILING CONDITIONS AT THE SITE AS NO EXTRAS SHALL BE GRANTED SHOULD THE CONDITIONS DIFFER FROM THOSE INDICATED

MIN ALLOWABLE SOIL BEARING STRENGTH TO BE 3000 psf. THIS MUST BE SITE CONFIRMED PRIOR TO PLACING ANY CONCRETE PADS. NOTIFY RICHARDS CONSULTING & ASSOCIATES LTD. WHEN HOLES ARE BEING DRILLED

ALL CONCRETE TO BE MIN. 3,200 psi, 28 DAY TEST BEARING STRENGTH. REFER TO CONCRETE SCHEDULE

FLOOR SLAB TO BE SAWN @ 20'-0" O.C. INTERVALS EACH WAY TO PROVIDE TEMPERATURE CONTROL JOINTS

SUB GRADE TO BE EXCAVATED UNTIL A GOOD CLAY BASE IS AVAILABLE. SUB GRADE TO BE "PROOF" ROLLED UNTIL A MIN SOIL COMPACTION OF 95% PROCTOR DENSITY IS ACHIEVED. IF FILL MATERIAL IS REQUIRED, USE 2"-3" CLEAN PIT RUN PLACED IN LIFTS NO GREATER THAN 6" COMPACTED TO 95% PROCTOR DENSITY

- 1) ALL REINFORCING STEEL TO BE CSA G30, 18M 400 MPa, EXCEPT COLUMN TIES AND BEAM STIRRUPS WHICH MAY BE 60,000 PSI GRADE STEEL.
- 2) ALL REINFORCING IS TO BE DETAILED IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL, EXCEPT OTHERWISE NOTED.
- 3) REINFORCING STEEL COVER IS TO CONFORM TO THE LATEST EDITION OF CSA CAN3-A23.3 "DESIGN OF CONCRETE STRUCTURES FOR BUILDINGS" OR AS NOTED.

- 3) ALL STRUCTURAL STEEL COLUMNS TO BE G40.21-M 350W GRADE
- 4) ALL STRUCTURAL STEEL BEAMS TO BE G40.21-M 300W GRADE
- 5) ALL BOLTS TO BE 3/4" ASTM A36 UNLESS NOTED OTHERWISE
- 6) GROUT UNDER COLUMN BASEPLATES TO BE A NON-SHRINKING, NON-METALLIC, PRE-BLENDED GROUTING COMPOUND CAPABLE OF A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AT 3 DAYS AND 50 MPa AT 28 DAYS
- 7) STEEL FABRICATOR SHALL BE CERTIFIED BY THE CWB AS PER W47.1 DIVISION #2
- 8) RICHARDS CONSULTING & ASSOCIATES LTD. REQUIRES TWO SETS OF SHOP DRAWINGS FOR REVIEW AND APPROVAL BEFORE ANY STRUCTURAL STEEL WORK CAN BEGIN
- 9) STRUCTURAL STEEL TO CONFORM TO CSA CAN-G40.21, 'STRUCTURAL QUALITY STEELS' AND CSA G40.20 'GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL'
- 10) ALL STRUCTURAL STEEL PLATES TO BE G40.21-44W
- 11) FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE PERFORMED IN ACCORDANCE WITH CAN3-S16.1-M84 'STEEL STRUCTURES FOR BUILDINGS'
- 12) ALL WELDING SHALL CONFORM TO THE LATEST EDITION OF SCA W59 'WELDED STEEL CONSTRUCTION'
- 13) ALL STRUCTURAL STEEL IS TO RECEIVE ONE COAT OF SHOP PRIMER
- 14) NO HOLES PERMITTED IN TOP FLANGE OF BEAMS AT COLUMNS WHERE BEAMS ARE CONTINUOUS OVER COLUMNS
- 15) ALL BEAMS CONTINUOUS OVER COLUMNS ARE TO HAVE WEB STIFFENERS THE SAME SIZE AND ORIENTATION AS THE COLUMN BELOW, UNLESS OTHERWISE NOTED
- 16) ANCHOR BOLTS TO BE PROVIDED BY STEEL SUPPLIER AND SET BY THE GENERAL CONTRACTOR
- 17) FABRICATOR TO NOTIFY ENGINEER OF ANY PROPOSED MEMBER SUBSTITUTIONS AND CHANGED CONNECTION DETAILS
- 18) THE STRUCTURAL STEEL SUPPLIER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL HOLES IN STEEL SECTIONS REQUIRED BY OTHER TRADES. SECTION SHALL BE STRENGTHENED WHERE REQUIRED TO GUARANTEE THE ORIGINAL STRENGTH OF THE BEAM. ANY CUTTING OF STEEL AT THE JOB SITE SHALL BE DONE ONLY AS DIRECTED AND APPROVED BY THE ENGINEER
- 19) THE STRUCTURAL STEEL ERECTOR SHALL BE RESPONSIBLE FOR SUPPLYING AND ERECTING ALL TEMPORARY CUTTING AND BRACING TO PROVIDE STABILITY FOR THE STRUCTURE, AS A WHOLE. THESE SHALL REMAIN IN PLACE UNTIL ALL STEEL DECKING IS ERECTED, WELDED IN PLACE AND ALL MASONRY WALLS CONSTRUCTED
- 20) ALL DUCTS LARGER THAN 18" x 18" THROUGH ROOF DECK TO BE FRAMED WITH 3X3X1/4 ANGLES ALL AROUND, EXCEPT AS NOTED. SMALLER OPENINGS THROUGH STEEL DECK TO BE STIFFENED BY STEEL DECK SUPPLIER. WHERE STEEL DECK REVERSES ITS FRAMING DIRECTION, USE 2 1/2"x2 1/2"x1/2" Z' ANGLE TO SUPPORT THE EDGE

- 2) INTERIOR WOOD DOORS TO CONFORM TO CSA 0132.2
- 3) INTERIOR WOOD DOORS TO BE EITHER 1 3/4" (45 mm) SOLID OR 1 3/8" (35 mm) HOLLOW CORE. (SEE DOOR SCHEDULE)
- 3) PAINT GRADE DOORS TO BE UNFINISHED HARDBOARD
- 4) STAIN GRADE DOORS TO BE OAK VENEER UNLESS OTHERWISE NOTED.
- 5) WOOD FRAMES TO BE SOLID WOOD FOR JAMBS, STOPS, AND CASING, FINISH TO MATCH DOOR.
- 6) WOOD DOORS IN WOOD FRAMES AS DETAILED ON DOOR AND HARDWARE SCHEDULE TO BE PREHUNG FLUSH DOOR UNITS.

- 1) ALL EXTERIOR METAL DOORS ARE TO BE 18 ga. INSULATED CORES
- 2) ALL INTERIOR METAL DOORS ARE TO BE 18 ga. HONEY COMB CORE
- 3) ALL METAL DOORS TO HAVE TACK WELD SEAMS @ 6' (150 mm) O.C. ALL SEAMS TO BE GROUND SMOOTH AND FILLED
- 4) ALL METAL DOOR FRAMES TO BE 16 ga. SINGLE PIECE, FULLY WELDED

1) PORE FINISHED ALUMINUM FLOORS TO BE KAWNEER NARROW STYLE #190 OR EQUIVALENT
2) MANUFACTURER'S HARDWARE
- OFFSET PIVOT HINGES, STYLE "C" PUSH/PULL AND ANY OTHER HARDWARE AS PER DOOR SCHEDULE, ANY MASTER KEYED CYLINDERS TO BE SUPPLIED BY HARDWARE SUPPLIER
3) PORE FINISHED ALUMINUM DOOR FRAMES TO BE KAWNEER "TRI-FAB 450, 1 3/4" (45 mm)X4 1/2" (115mm). FRAMES WITH FLUSH GLAZING OR EQUIVALENT

- 1) ALUMINUM DOORS ARE TO HAVE HARDWARE SUPPLIED AND INSTALLED BY DOOR MANUFACTURERS
- 2) ENSURE ALL HARDWARE IS ADJUSTED AND WORKING PROPERLY
- 3) PROVIDE MANUFACTURER'S INSTRUCTION CLOSURES AND LOCK SETS. SHOW PROPER CARE, LUBRICATION, AND ADJUSTMENTS FOR ALL HARDWARE
- 4) LOCK SETS TO BE GRAND MASTER KEYED DURING CONSTRUCTION WITH ALL KEYS RETURNED AND ACCOUNTED FOR

1) MILLWORK FABRICATOR TO VISIT THE SITE TO VERIFY ALL DIMENSIONS PRIOR TO PRODUCING SHOP DRAWINGS AND BEGINNING CONSTRUCTION

2) SHOP DRAWINGS ARE TO BE SUBMITTED TO RICHARDS CONSULTING & ASSOCIATES LTD. FOR REVIEW PRIOR TO FABRICATION

3) OWNER SHALL SUPPLY COLORS AND FINISHES FROM MANUFACTURER'S STANDARD SAMPLES

4) GENERAL CONTRACTOR IS TO SUPPLY BLOCKING AS REQUIRED FOR ALL WALL MOUNTED CABINETS

5) ALL EDGES TO BE CHAMFER OR RADIUS, NO SHARP EDGES

6) ALL DOORS COMPLETE WITH FULLY CONCEALED 170 DEGREE STEEL HINGES

7) UNLESS OTHERWISE SPECIFIED, ALL PULLS ARE TO BE 260 FINISHED BRUSHED CHROME

8) ALL DRAWERS TO HAVE HEAVY METAL ROLLER DRAWER GUIDES

9) DOOR AND DRAWER LOCKS TO BE CONFIRMED WITH OWNER

10) FINISH TO BE CONFIRMED WITH OWNER

1/8"x4" (3mmX100mm) COLORED COVE BASE COMPLETE WITH MATCHING PREFORMED INSIDE AND OUTSIDE CORNERS, COLOR BY OWNER.



① FOUNDATION PLAN
S2.0 SCALE: 1/4" = 1'-0"

[illegible]

**RICHARDS
CONSULTING
ASSOCIATES
LIMITED** &

27317 TWP RD 372
RED DEER COUNTY,
ALBERTA T4N 5E3

P: 403-886-2919 F: 403-886-2733

Garage

PROJECT
30'-0" X 42'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA

LEGAL DESCRIPTION

22 HUMMINGBIRD
HALF MOON BAY

DRAWING TITLE
FOUNDATION PLAN

SCALE

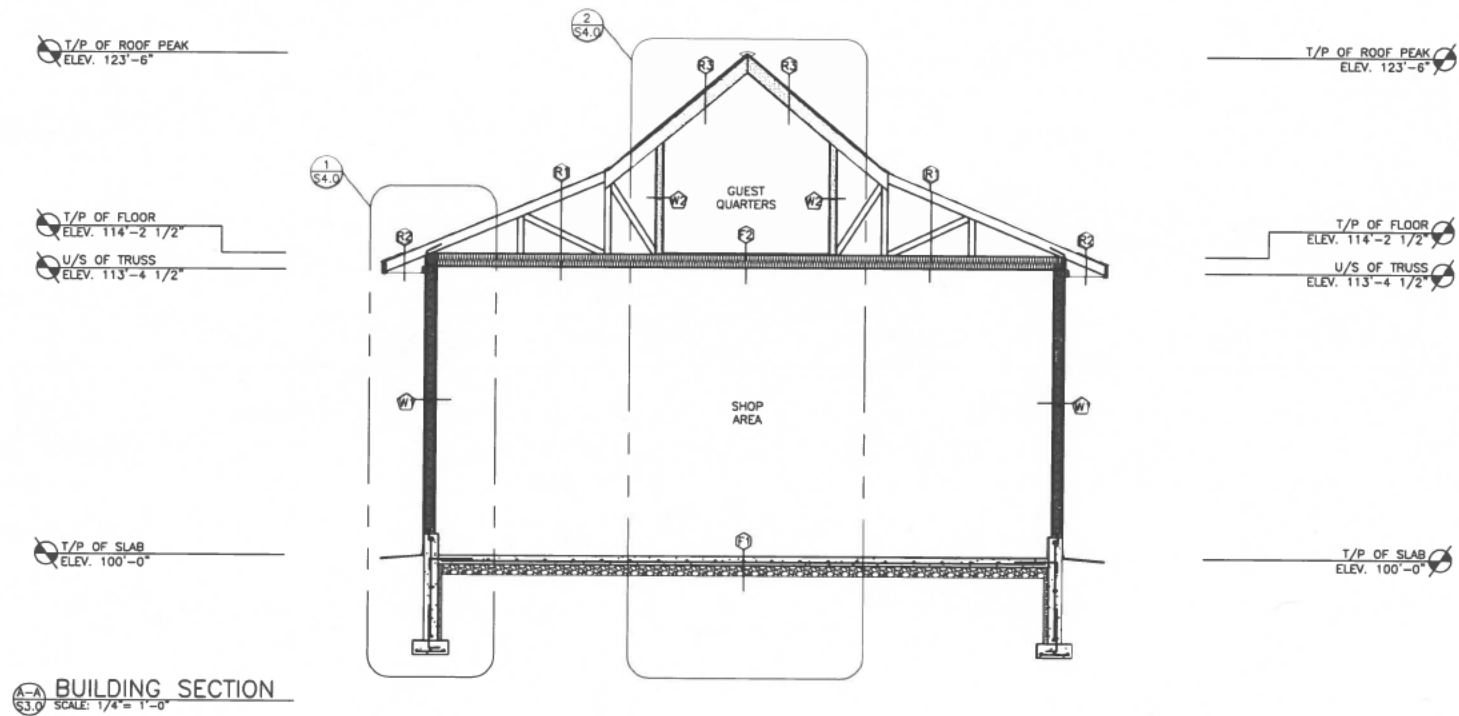
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DRAWN BY L. LUNDGREN	DATE 08DEC2023
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CHECKED BY M. RICHARDS	DATE 08DEC2023
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JOB NUMBER	PAGE NUMBER	REVISION
00410	000	1

FOR REVIEW



STAMPS		
1	ISSUED FOR REVIEW	08DEC23 LL
NO. REVISION	DATE	BY

RICHARDS
CONSULTING &
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LIMITED

27317 TWP RD 372
RED DEER COUNTY,
ALBERTA T4N 5E3

P: 403-886-2919 F: 403-886-2733

CUSTOMER
[REDACTED] GARAGE

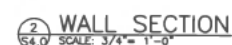
PROJECT
30'-0" X 42'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA
LEGAL DESCRIPTION
22 HUMMINGBIRD
HALF MOON BAY

DRAWING TITLE
BUILDING SECTIONS

SCALE	
DESIGNED BY M. RICHARDS	DATE 08DEC2023
DRAWN BY L. LUNDGREN	DATE 08DEC2023
CHECKED BY M. RICHARDS	DATE 08DEC2023

JOB NUMBER	PAGE NUMBER	REVISION
22440	S3.0	1

Page 16 of 33

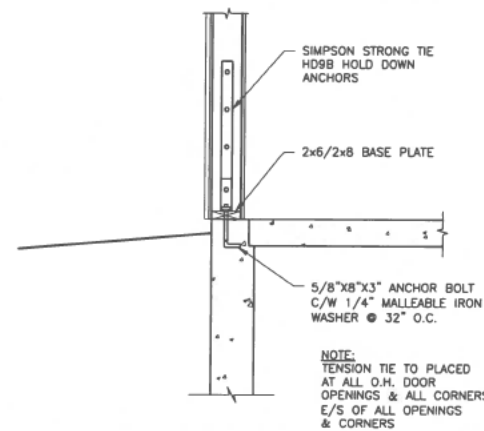


● INDICATES HD9B HOLD DOWN ANCHOR LOCATION
(SEE DETAIL "9" ON "S7.0")

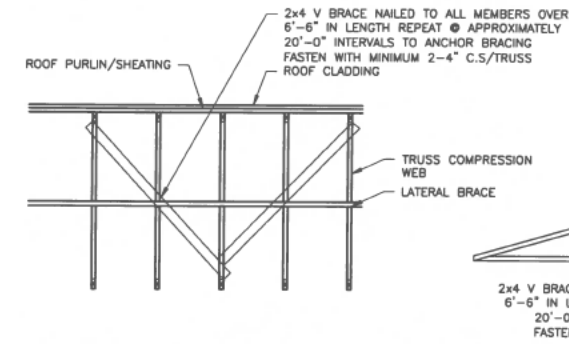
BEAM SCHEDULE			
MARK	SIZE	SUPPORT	COMMENT
B1	2PLY 2X10 SPF NO 1	2 UNDER / 4 BY	
B2	2PLY 2X10 SPF NO 1	2 UNDER / 2 BY	
B3	3PLY 2X8 SPF NO 1	2 UNDER / 2 BY	

JOB NUMBER	PAGE NUMBER	REVISION
22440	S6.0	1

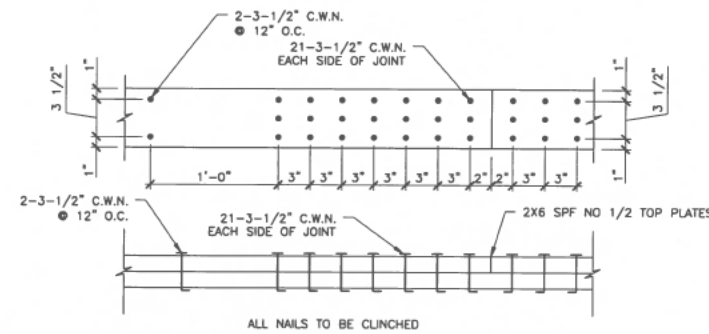
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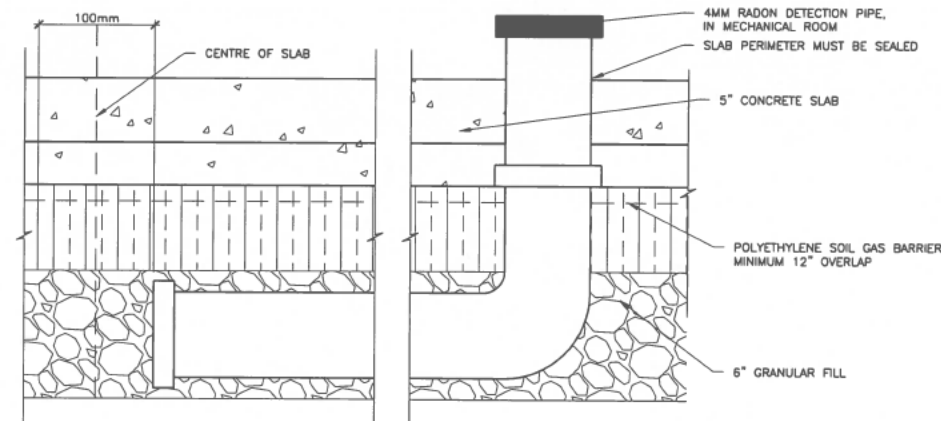
9 TENSION TIE DETAIL
57.0 SCALE: 3/4" = 1'-0"



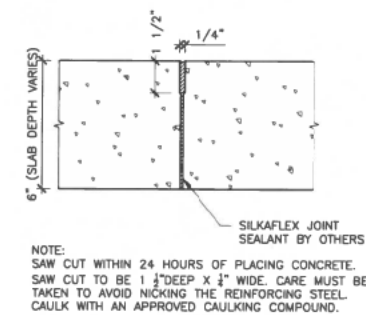
1 PERMANENT TRUSS BRACING DETAIL
S7.0 SCALE: NTS



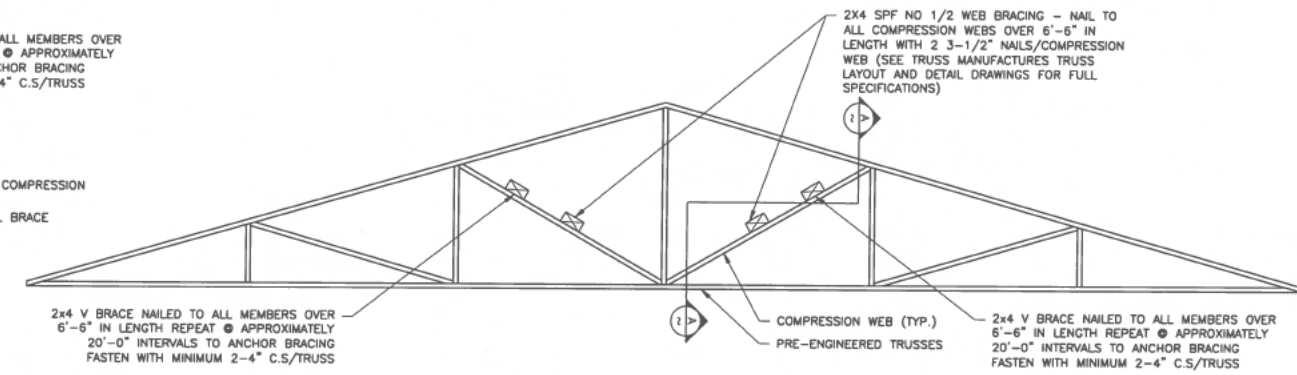
6 2X6 TOP PLATE DETAIL
S7.0 SCALE: 1-1/2" = 1'-0"



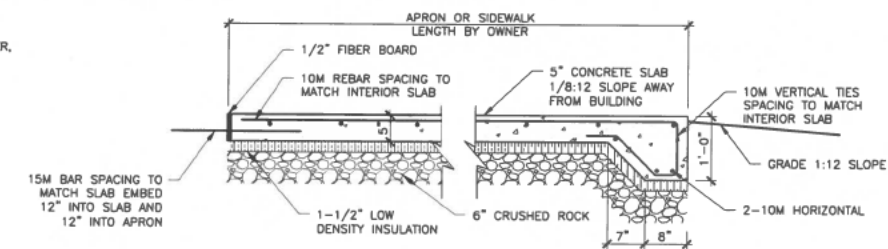
7 RADON DETECTION SECTION DETAIL
57.0 SCALE: 3" = 1'-0"



8 SAW CUT DETAIL
57.0 SCALE: 3/4" = 1'-0"



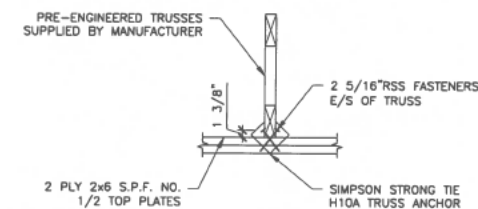
2 TRUSS BRACING DETAIL
\$7.0 SCALE: 1-1/2" = 1'-0"



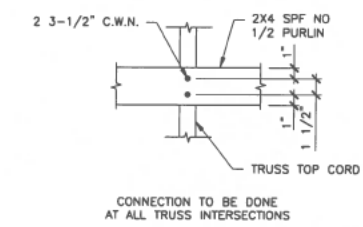
3
S7.0

APRON DETAIL

SCALE: 3/4" = 1'-0"



5 TRUSS ANCHOR DETAIL
S7.0 SCALE: 3/4" = 1'-0"



4 PURLIN TO TRUSS DETAIL
S7.0 SCALE: 1-1/2" = 1'-0"

STAMPS			
1	ISSUED FOR REVIEW	08DEC23	LL
NO.	REVISION	DATE	BY

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27317 TWP RD 372
RED DEER COUNTY,
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P: 403-886-2919 F: 403-886-2733

CUSTOMER [REDACTED] GARAGE

PROJECT
30'-0" X 42'-0"
DETACHED GARAGE

RED DEER COUNTY, ALBERTA

LEGAL DESCRIPTION

22 HUMMINGBIRD
HALF MOON BAY

DRAWING TITLE
DETAILS

SCALE

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JOB NUMBER	PAGE NUMBER	REVISION
22440	S7.0	1

PROPOSED SITE GRADE PLAN

Civic Address: 22 Hummingbird Lane
Summer Village of Half Moon Bay, Alberta
Legal Description: Lot 2, Block 2, Plan 3741 MC

HOUSE TYPE	TWO - STOREY DWELLING
FINISHED FLOOR	945.27
BOTTOM FOOTING	942.73
TOP FOOTING	942.88
FINISH GRADE FRONT	944.35 (South Side) 944.94 (North Side)
FINISH GRADE BACK	944.18 (South Side) 944.94 (North Side)
TOP CONC. BSMT WALL	945.17
FINISHED GARAGE FLOOR	N/A
JOIST	0.10
CONC. WALL	2.29
FOOTING	0.15

LEGEND

- Statutory Iron Post Found
- Iron Bar Found
- Calculated Point
- Reference Point
- Countersunk
- Fence Corner Post
- Found
- Mark
- Marker Post
- Statutory Iron Post
- Foundation
- Radial
- Fence
- O/H Power Line
- Power Pole
- Anchor

APPROVED BY:

Print Name & Signature

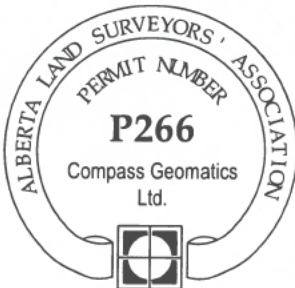
NOTES:

- Distances and elevations are in metres and decimals thereof. Measurements are shown to the outside face of the proposed building foundation wall at ground level.
- The above ground and buried facilities have not been located and are not shown on this plan. It is the responsibility of the owner(s) and contractor to have the facilities located prior to construction.
- Lot boundaries have been calculated from located survey evidence.
- All improvement are existing unless specified.
- Date of Survey: November 23rd, 2023
- Proposed grades shown thus
- Actual grades shown thus
- Elevations are autonomous.

COMPASS
Geomatics Ltd.

11-4608 62nd Street
Red Deer, Alberta T4N 6T3
Office (403) 356-0111 Fax (403) 356-0114
www.compassgeomatics.ca

COMPASS DWG: 01064-23-SGP-R0 SURVEYED BY: VM/CN



DISCLAIMER

ALBERTA FIRST CALL 1-800-242-3447
THIS PLAN REPRESENTS THE BEST INFORMATION AVAILABLE AT THE TIME OF SURVEY. COMPASS GEOMATICS LTD. AND ITS EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND PIPES, CONDUITS, OR FACILITIES, WHETHER SHOWN ON OR OMITTED FROM THIS PLAN. AN ADDITIONAL SEARCH FOR SPECIFIC BURIED FACILITIES USING ALL RESOURCES MUST BE PERFORMED JUST PRIOR TO CONSTRUCTION.

Neighboring
Garage Slab
945.35

LAND USE DISTRICT

R -Residential District

REVISION SUMMARY

Original Issue (11/30/23) PC/JW

CLIENT

Callaghan Contracting Ltd.

REV.

0

PAGE

1 of 2

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PROPOSED SITE GRADE PLAN

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Summer Village of Half Moon Bay, Alberta
Legal Description: Lot 2, Block 2, Plan 3741 MC

LEGEND

- Statutory Iron Post Found ●
- Iron Bar Found ◆
- Calculated Point x
- Reference Point ⊕
- Countersunk c.s.
- Fence Corner Post FCP
- Found Fd.
- Mark Mk.
- Marker Post Mp.
- Statutory Iron Post I.
- Foundation Fdn.
- Radial (R)
- Fence —x—
- O/H Power Line ———
- Power Pole ⊗
- Anchor —|—

HOUSE TYPE	TWO - STOREY DWELLING
FINISHED FLOOR	945.27
BOTTOM FOOTING	942.73
TOP FOOTING	942.88
FINISH GRADE FRONT	944.35 (South Side) 944.94 (North Side)
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TOP CONC. BSMT WALL	945.17
FINISHED GARAGE FLOOR	N/A
JOIST	0.10
CONC. WALL	2.29
FOOTING	0.15

APPROVED BY:

Print Name & Signature

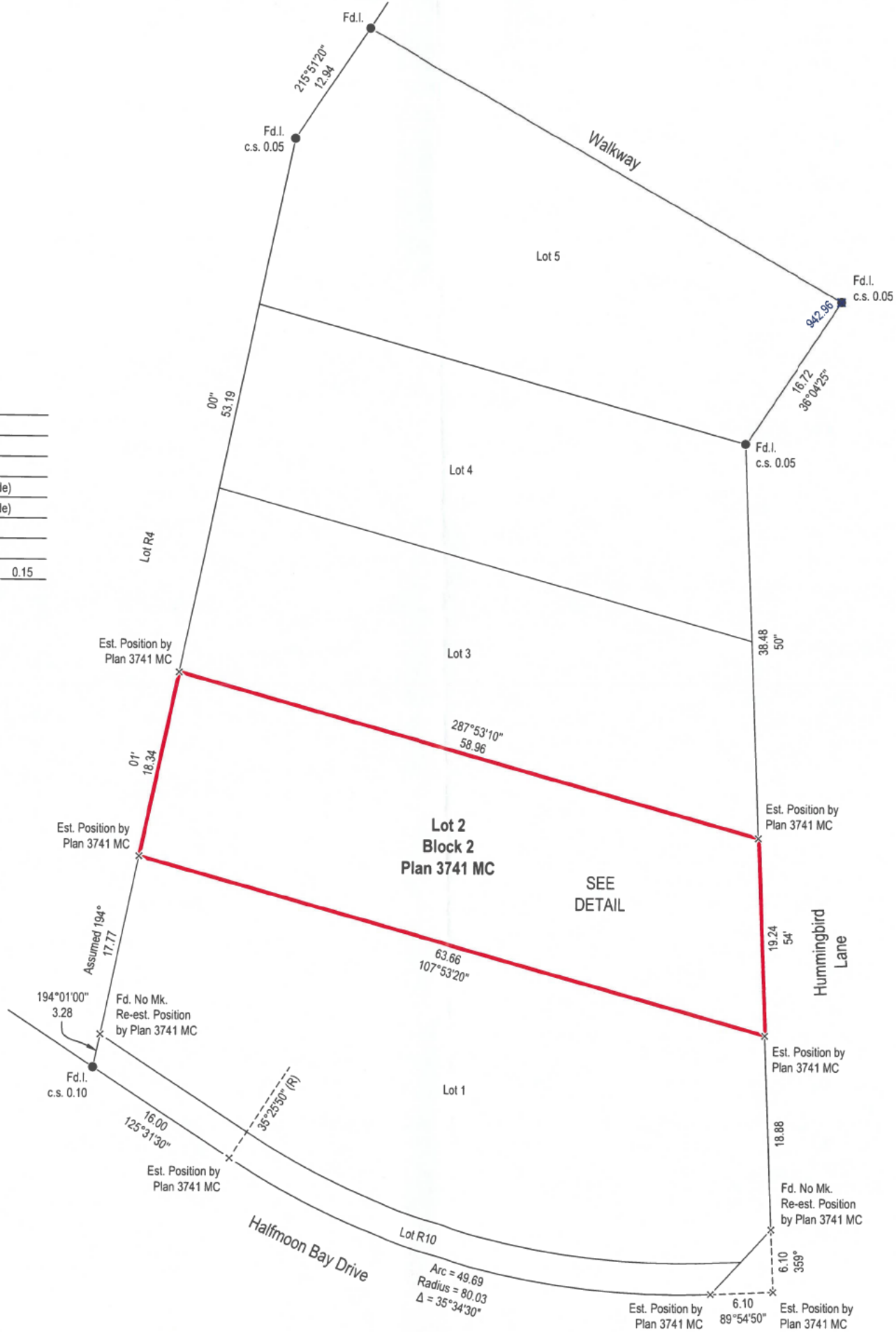
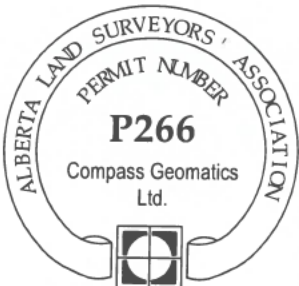
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- Actual grades shown thus 980.00
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LAND USE DISTRICT
R -Residential District

REVISION SUMMARY
Original Issue (11/30/23) PC/JW

CLIENT
Callaghan Contracting Ltd.

REV. 0 PAGE 2 of 2



SEP 14 2023





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SEP 14 2023





SEP 14 2023





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C-2



SEP 14 2023





SEP 14 2023





SEP 14 2023





SEP 14 2023





Lot 2