

**MUNICIPAL PLANNING COMMISSION AGENDA  
SUMMER VILLAGE OF BIRCHCLIFF  
SUMMER VILLAGES ADMINISTRATION OFFICE  
JANUARY 24, 2021 @ 9:00 A.M.**

- A. CALL TO ORDER**
- B. ADOPTION OF AGENDA**
- C. DEVELOPMENT ITEMS**
  - 1) 163 Birchcliff Road
- D. ADJOURNMENT**

## **Summer Village of Birchcliff – Municipal Planning Commission**

### **Agenda Item**

**January 24, 2022**

**163 Birchcliff Road (Lot 16, Block 3, Plan 4112EO)**

### **Development Permit Application**

#### **Background:**

An application was submitted on behalf of the homeowners of 163 Birchcliff Road (Lot 16, Block 3, Plan 4112EO) in the Summer Village of Birchcliff for a garage with guest house. This property is in the R1 District (Lakeshore Residential).

The proposed garage with guest house meets the yard setbacks and height requirement. The proposed lot coverage is 49.6% and under the maximum 50% with the accessory building being 1,068 ft<sup>2</sup>. The proposed garage with guest house meets the requirements to have a side entry garage and 10 trees and shrubs being removed will be replaced with 8 trees and 12 shrubs according to the landscaping plan.

#### **Discussion:**

This application is before MPC for the following reasons:

- Guest House is listed a discretionary use, therefore the decision must come from the Municipal Planning Commission.
- Accessory building's combined footprints shall be no larger than 6% of the parcel's total area, to a maximum of 2,200 ft<sup>2</sup>, the accessory building's footprint totals 1,068 ft<sup>2</sup>, which is a footprint of 13.2% on a lot size of 8,084.72 ft<sup>2</sup>, therefore a variance is required.
- Guest house means an accessory building containing sleeping facilities for temporary usage only and may have a bathroom but shall not have a kitchen or other cooking facilities, therefore a variance is required.

#### **Recommendation:**

After reviewing the application and all relevant planning documents, it is the recommendation of administration to deny the application for the garage with guest house. The accessory building's footprint requires a large variance, and the guest house contains a kitchen. *"Accessory building(s) means a building separate and subordinate to the main building"*, the proposed garage with guest house is not considered subordinate in size and height to the dwelling as the accessory building is larger in size and height. Adjacent landowners have been notified and no response has been received.

#### **Conditions:**

If approved, Administration would recommend the following conditions:

- An accessory building erected or placed on a parcel shall not be used as a dwelling unit.
- Electrical power from the property line to any buildings situated on this parcel to be constructed underground.
- The exterior of an accessory building must be finished to match or compliment the exterior finish of the main building.
- In situations where a detached dwelling is being rented out and there is a guest house on the parcel, the guest house shall not be rented out to a separate party than those renting the detached dwelling.
- The accessory building shall not exceed 7.62m (25ft.) in building height.
- Footing check survey required from an Alberta Land Surveyor at the time of footings prior to continuation of construction.
- Completions Deposit of \$3,000.00.
- Trees removed to be replaced according to landscaping plan.

### **Authorities:**

For a discretionary use in any district:

- The Municipal Planning Commission may approve an application for a Development Permit:
  - With or without conditions;
  - Based on the merits of the proposed development, including it's relationship to any approved statutory plan, non-statutory plan, or approved policy, affecting the site;
  - Where the proposed development conforms in every respect to this Land Use Bylaw; or
- May refuse an application for a development permit based on the merits of the proposed development, even though it meets the requirements of the Land Use Bylaw; or
- Subject to provisions of section 2.4 (2), the Municipal Planning Commission shall refuse an application for a development permit if the proposed development does not conform in every respect to the Land Use Bylaw.

The MPC may:

- Grant a variance to reduce the requirements of any use of the LUB and that use will be deemed to comply with LUB.
- Approve application even though the proposed development does not comply or is a non-conforming building if:
  - It would not unduly interfere with the amenities of the neighborhood, or
  - Materially interfere with or affect the use, enjoyment, or value of neighboring parcels of land, And

- It conforms with the use prescribed for that land or building in the bylaw.
- Consider a Variance only where warranted by the merits or the proposed development and in response to irregular lot lines, parcel shapes or site characteristics which create difficulties in siting structures within the required setback or in meeting the usual bylaw requirements, except there shall be no variance for Parcel Coverage or Building Height.

**Decision:**

In order to retain transparency of the Commission, Administration recommends one of the following:

1. Approve the application with or without conditions (*Section 642 of the MGA*), or
2. Deny the application stating reasons why (*Section 642(4) of the MGA*).



Geoffrey Stan  
GWS Contracting Ltd  
[REDACTED]

January 4, 2022

Kara Kashuba  
Development Officer  
Summer Village of Birchcliff

To Whom it May Concern

This letter is written regarding #163 Birchcliff Road [REDACTED] garage with living quarters.

We have submitted building plans, plot plan, landscaping plan and development application. This is a letter of intent with the following variance request as per your request:

- a) Garage size

Sincerely

Geoff Stan  
GWS Contracting Ltd  
[REDACTED]

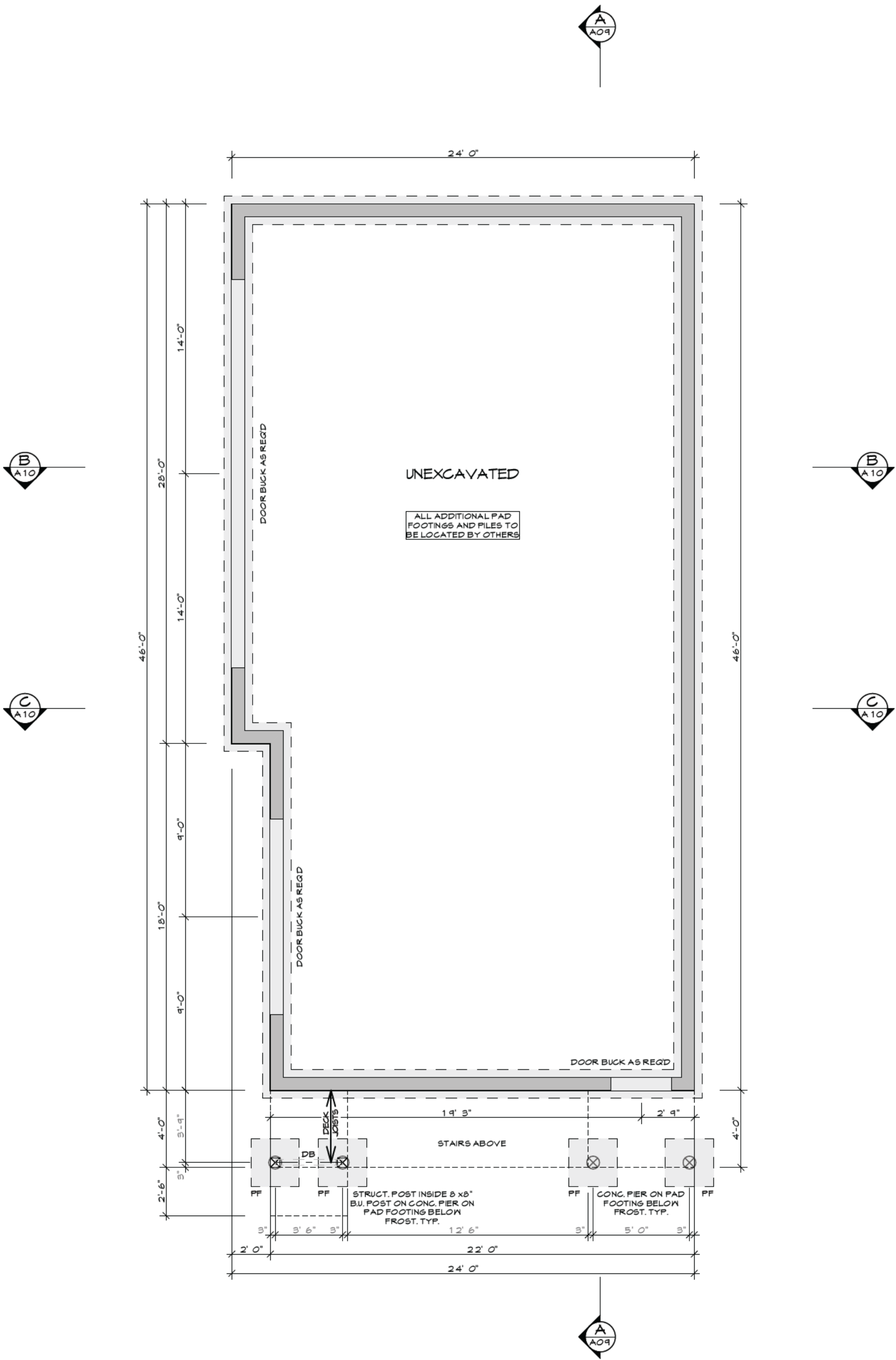
163 BIRCHCLIFF RD



LIST OF DRAWINGS

- A01 TITLE PAGE
- A02 FOUNDATION PLAN
- A03 MAIN FLOOR PLAN
- A04 UPPER FLOOR PLAN
- A05 ROOF PLAN
- A06 ELEVATIONS
- A07 ELEVATIONS
- A08 ELEVATIONS
- A09 BUILDING SECTIONS
- A10 BUILDING SECTIONS
- A11 CNST DTLs / NOTES / LEGENDS
- A12 SITE PLAN
- A13 LANDSCAPE PLAN
- EO1 MAIN FLOOR ELECTRICAL
- EO2 UPPER FLOOR ELECTRICAL

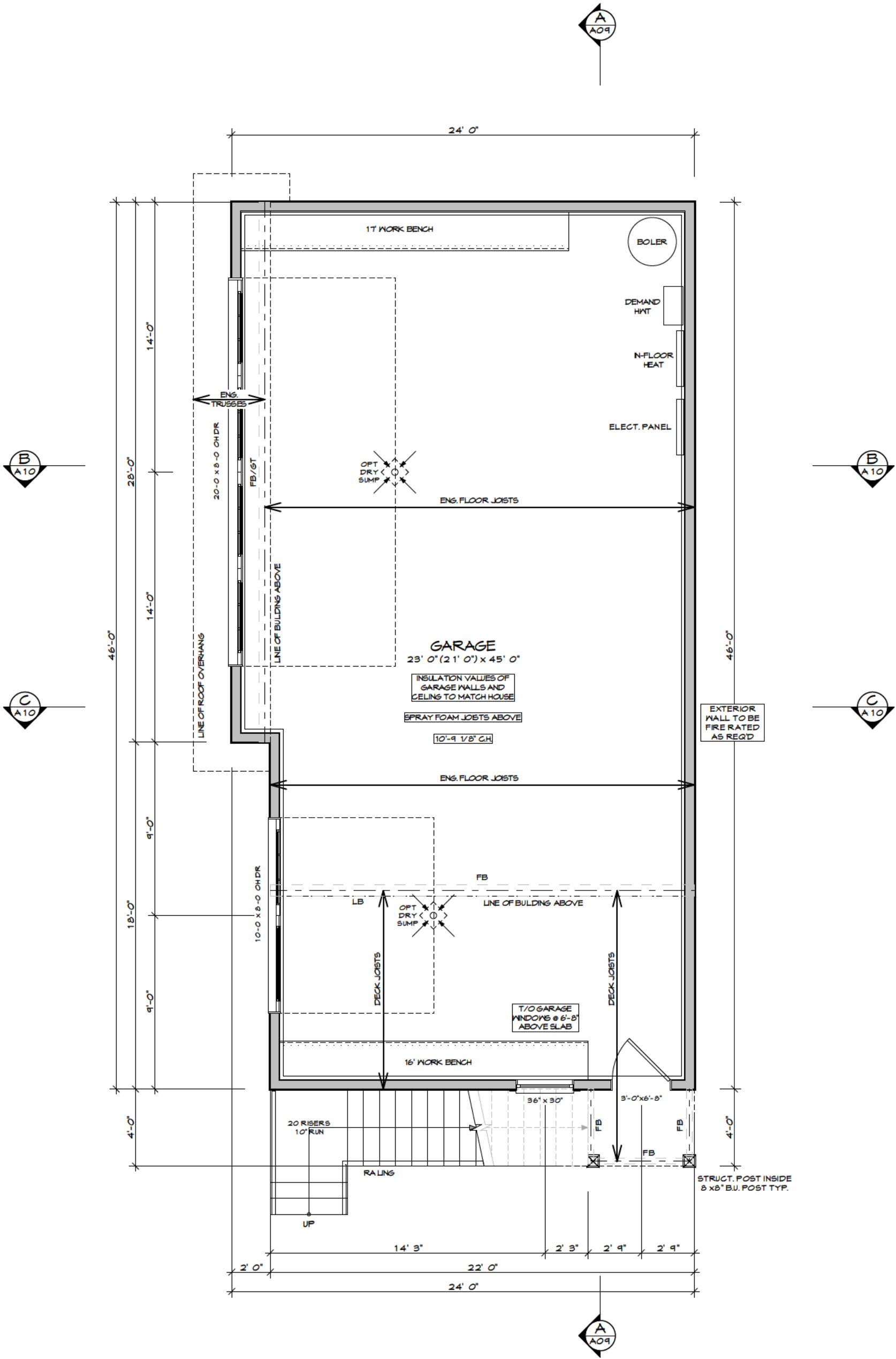
<div>ALL SPECIFICATIONS FOR THE NBC 2019 (AE), 9.36, ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED &amp; APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.</div>	<div>LEGAL ADDRESS: LOT: 16, BLOCK: 2, PLAN: 4 112 EO</div>	<div>CIVIC ADDRESS: 163 BIRCHCLOFF RD, SV OF BIRCHCLIFF, AB</div>	<div>CLIMATE ZONE: 7A</div>	<div>BUILDING AREA: 99 SQ M</div>	<div>AIRTIGHTNESS 25</div>
<div>MAIN FLOOR : 0000 SF UPPER FLOOR SUITE : 792 SF TOTAL : 0000 SF  DEV LOWER FLOOR : 0000 SF TOTAL LOWER FLOOR : 0000 SF TOTAL DEVELOPED : 0000 SF  GARAGE : 1068 SF</div>	<div>CLIENT CONTACT INFO: </div>	<div>DRAFTED BY:  KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA</div>	<div>PROJECT NAME: 163 BIRCHCLIFF RD</div>	<div>PROJECT NUMBER: GWS-2021-01</div>	<div>SCALE:</div>
			<div>SHEET TITLE: TITLE PAGE</div>	<div>DATE: 17-12-2021</div>	<div>SHEET: A01</div>



FOUNDATION PLAN

ROUGH-IN FOR RADON EXTRACTION SYSTEM/  
SUBFLOOR DEPRESSURIZATION SYSTEM TO BE  
INSTALLED AS PER BUILDING CODE REQUIREMENTS

ALL SPECIFICATIONS FOR THE NBC 2019 (A.E.) 9.36. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	LEGAL ADDRESS:  LOT: 16, BLOCK: 2, PLAN: 4 112 EO	CIVIC ADDRESS:  163 BIRCHCLOFF RD, SV OF BIRCHCLIFF, AB	CLIMATE ZONE:  7A	BUILDING AREA:  99 SQ M	AIRTIGHTNESS  25
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			SHEET TITLE:  FOUNDATION PLAN	DATE:  17- 12- 2021	SHEET:  A02



MAIN FLOOR PLAN

ALL DOWNSPOUT LOCATIONS  
TO BE CONFIRMED WITH BUILDER  
PRIOR TO INSTALLATION

ALL ROUGH OPENINGS  
TO BE SUPPLIED  
BY OTHERS

ALL WINDOWS TO HAVE A  
MAX U-VAULE OF 1.6 OR  
MIN. ENERGY RATING OF 25

ALL SPECIFICATIONS FOR THE NBC 2019 (AE)  
9.36. ENERGY CODE TO BE SUPPLIED BY  
OTHERS.  
DRAWINGS TO BE REVIEWED & APPROVED BY  
THE LOCAL MUNICIPALITY OR PERMITTING  
AUTHORITIES.

LEGAL ADDRESS:  
LOT: 16, BLOCK: 2, PLAN: 4 112 EO

CIVIC ADDRESS:  
163 BIRCHCLOFF RD, SV OF  
BIRCHCLIFF, AB

CLIMATE ZONE: 7A  
BUILDING AREA: 99 SQ M  
AIRTIGHTNESS 25

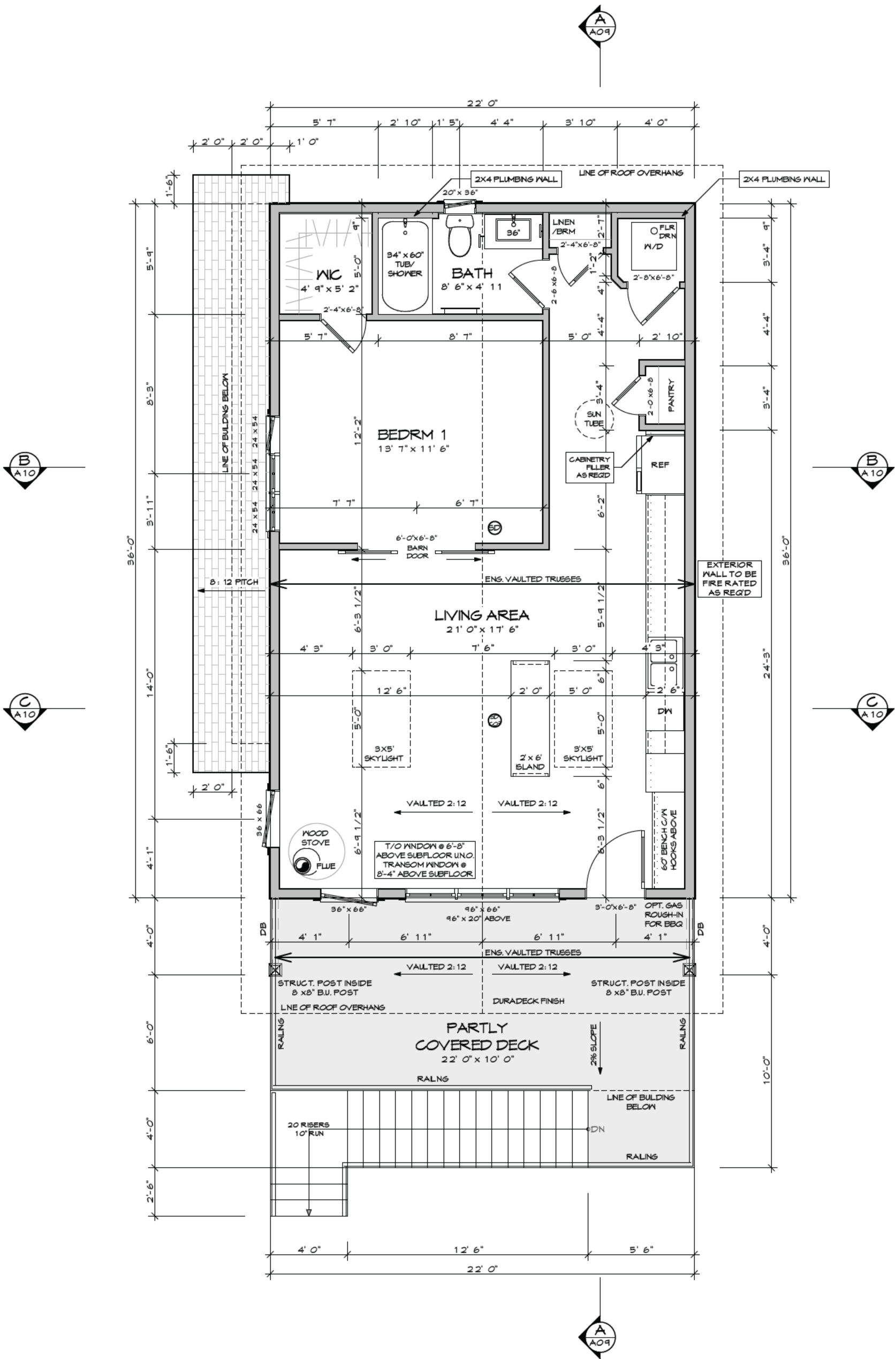
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UPPER FLOOR SUITE : 792 SF  
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DEV LOWER FLOOR : 0000 SF  
TOTAL LOWER FLOOR : 0000 SF  
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DRAFTED BY:  
KAREN RICHINSKI  
ARCHITECTURAL TECHNOLOGIST  
KD RESIDENTIAL DESIGN  
CELL: 403.396.0354  
EMAIL: KAREN@KDRD.CA  
WEB: WWW.KDRD.CA

PROJECT NAME:  
163 BIRCHCLIFF  
RD  
SHEET TITLE:  
MAIN FLOOR  
PLAN

PROJECT NUMBER:  
GWS-2021-01  
SCALE:  
3/16" = 1'-0"  
DATE:  
17-12-2021  
SHEET:  
A03



UPPER FLOOR PLAN

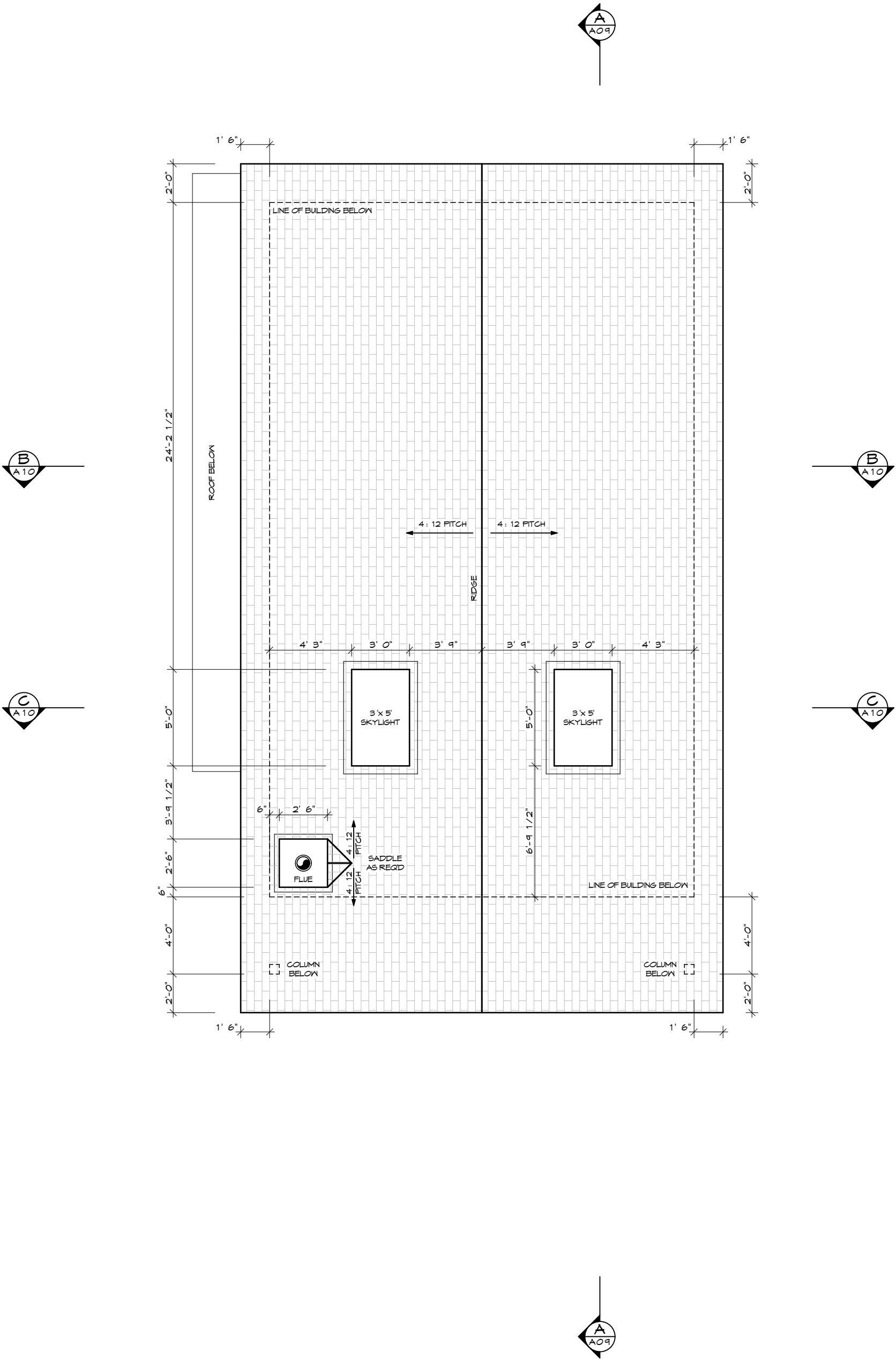
ALL DOWNSPOUT LOCATIONS  
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			SHEET TITLE:  UPPER FLOOR PLAN	DATE:  17-12-2021	SHEET:  A04

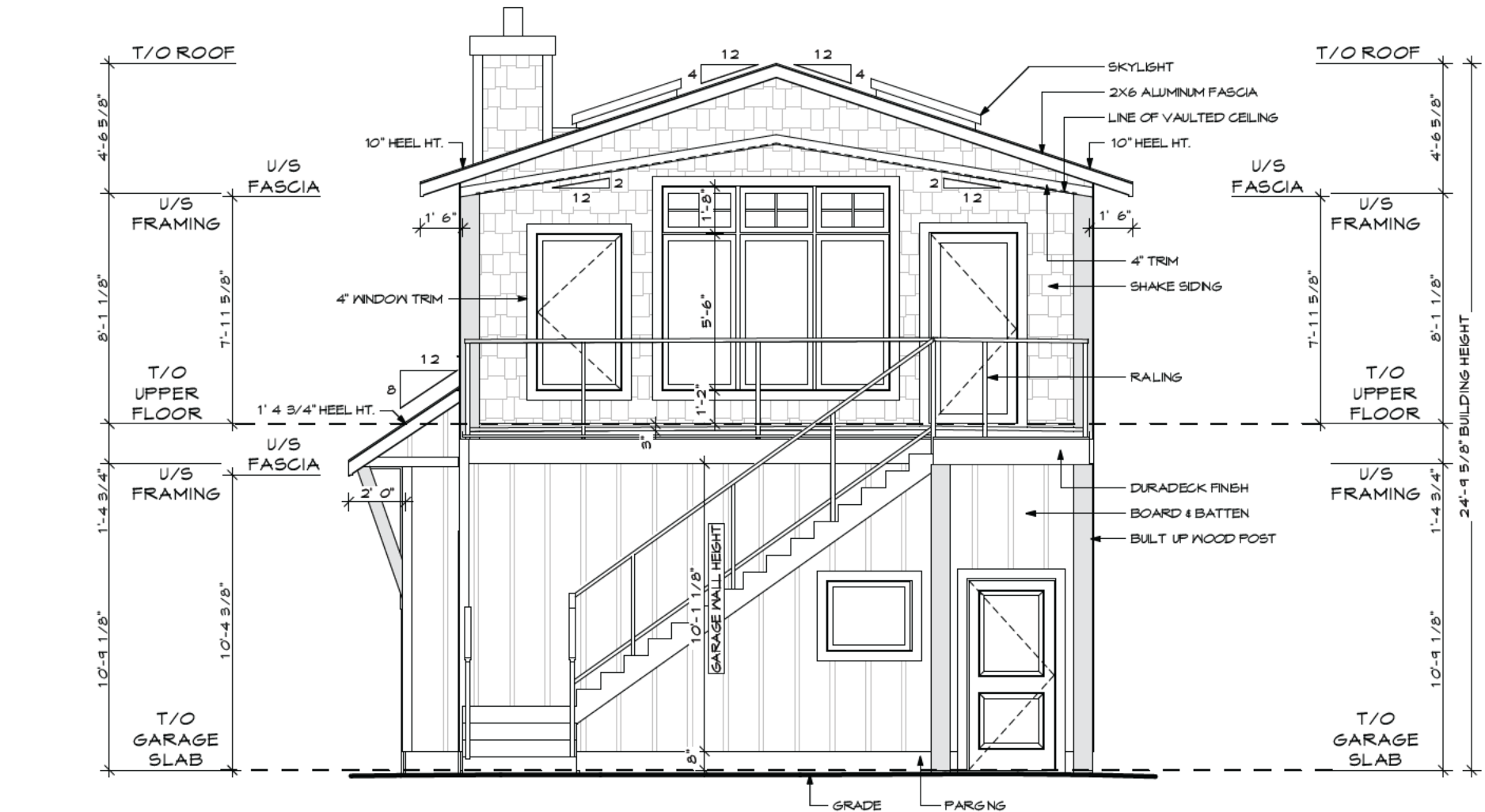




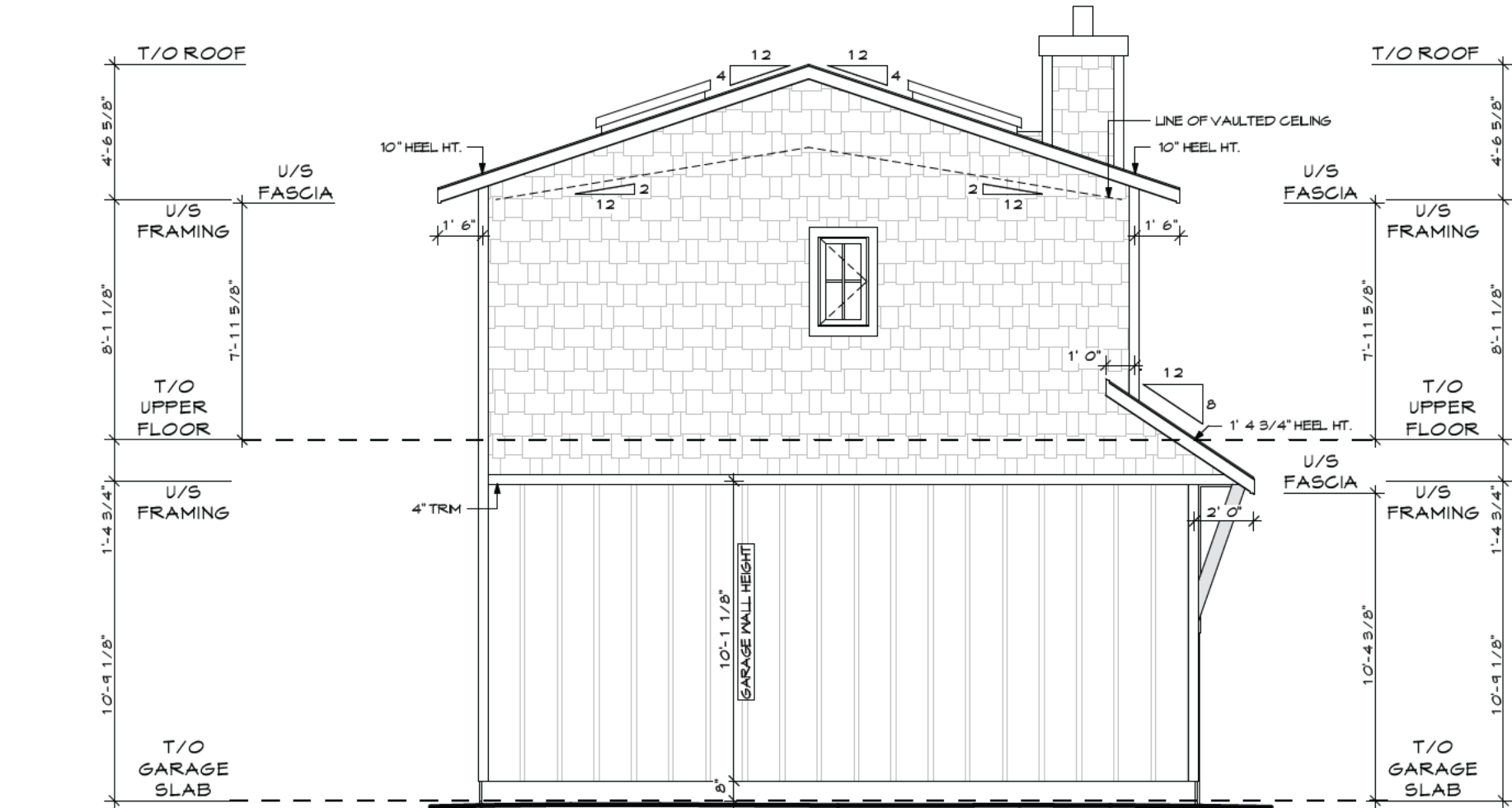
ROOF PLAN

ALL DOWNSPOUT LOCATIONS TO BE CONFIRMED WITH BUILDER PRIOR TO INSTALLATION

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			<p>SHEET TITLE:</p> <p>ROOF PLAN</p>	<p>DATE:</p> <p>17-12-2021</p>	<p>SHEET:</p> <p>A05</p>



FRONT ELEVATION



REAR ELEVATION

ALL STRUCTURAL TIMBER MATERIAL TO BE SIZED & CONFIRMED BY OTHERS

ALL DOWNSPOUT LOCATIONS TO BE CONFIRMED WITH BUILDER PRIOR TO INSTALLATION

ALL GRADES TO BE CONFIRMED BY OTHERS PRIOR TO CONSTRUCTION

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			SHEET TITLE: ELEVATIONS	DATE: 17-12-2021	SHEET: A06



LEFT SIDE ELEVATION



THE FACE & SIDES OF WALLS AND UNDERSIDE OF CANTILEVERS  
WITHIN 1.2 M FROM PROPERTY LINE TO HAVE NON-COMBUSTIBLE  
CLADDING TO ACHIEVE 45 MIN. FIRE RESISTANCE RATING.  
-EITHER CEMENT BOARD CLADDING OR EXTERIOR  
DRYWALL BENEATH VINYL SIDING TO BE INSTALLED

UNVENTED SOFFIT REQUIRED ON EAVES  
CLOSER THAN 1.2 M TO PROPERTY LINE  
C/W ADDITIONAL ROOF VENTING AS REQ'D

ALL STRUCTURAL TIMBER  
MATERIAL TO BE SIZED  
& CONFIRMED BY OTHERS

ALL DOWNSPOUT LOCATIONS  
TO BE CONFIRMED WITH BUILDER  
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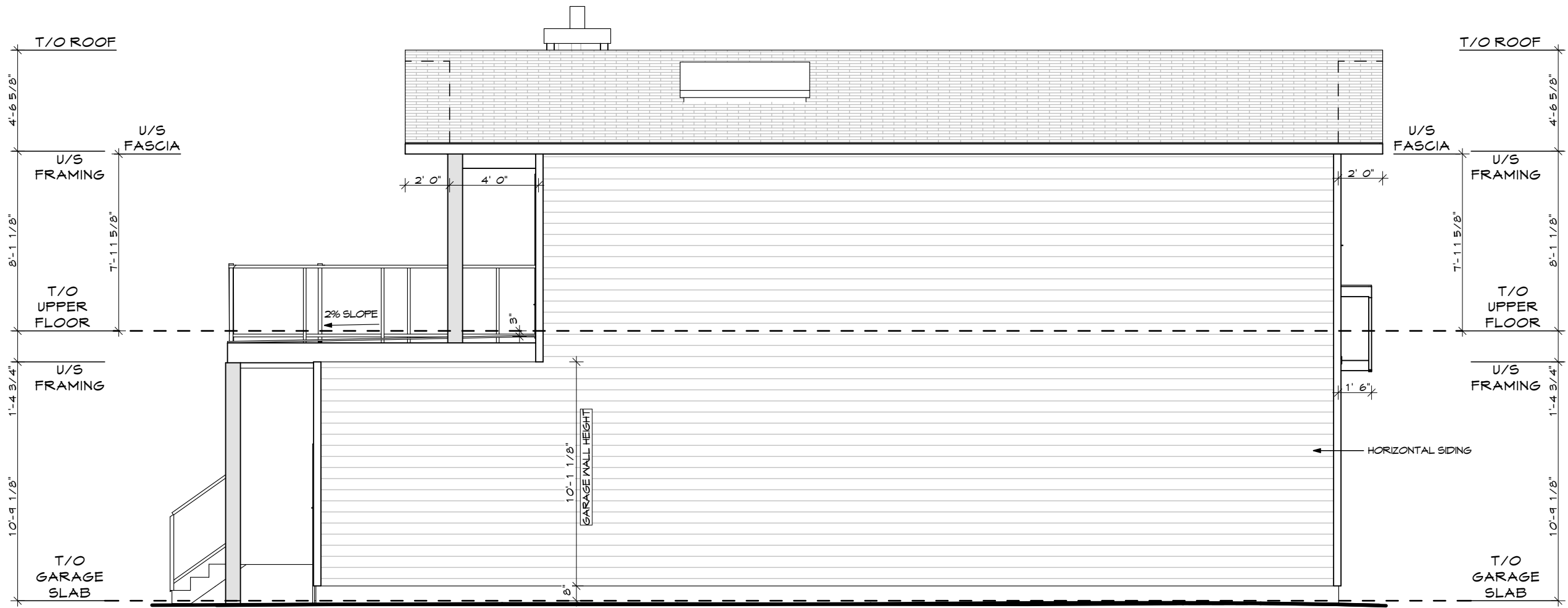
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			CIVIC ADDRESS: 163 BIRCHCLOFF RD, SV OF BIRCHCLIFF, AB			SHEET TITLE: ELEVATIONS	DATE: 17-12-2021	SHEET: A07

NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE PERMISSION OF KD RESIDENTIAL DESIGN INC.





RIGHT SIDE ELEVATION



THE FACE & SIDES OF WALLS AND UNDERSIDE OF CANTILEVERS  
WITHIN 1.2 M FROM PROPERTY LINE TO HAVE NON-COMBUSTIBLE  
CLADDING TO ACHIEVE 45 MIN. FIRE RESISTANCE RATING.  
-EITHER CEMENT BOARD CLADDING OR EXTERIOR  
DRYWALL BENEATH VINYL SIDING TO BE INSTALLED

UNVENTED SOFFIT REQUIRED ON EAVES  
CLOSER THAN 1.2 M TO PROPERTY LINE  
C/W ADDITIONAL ROOF VENTING AS REQ'D

ALL STRUCTURAL TIMBER  
MATERIAL TO BE SIZED  
& CONFIRMED BY OTHERS

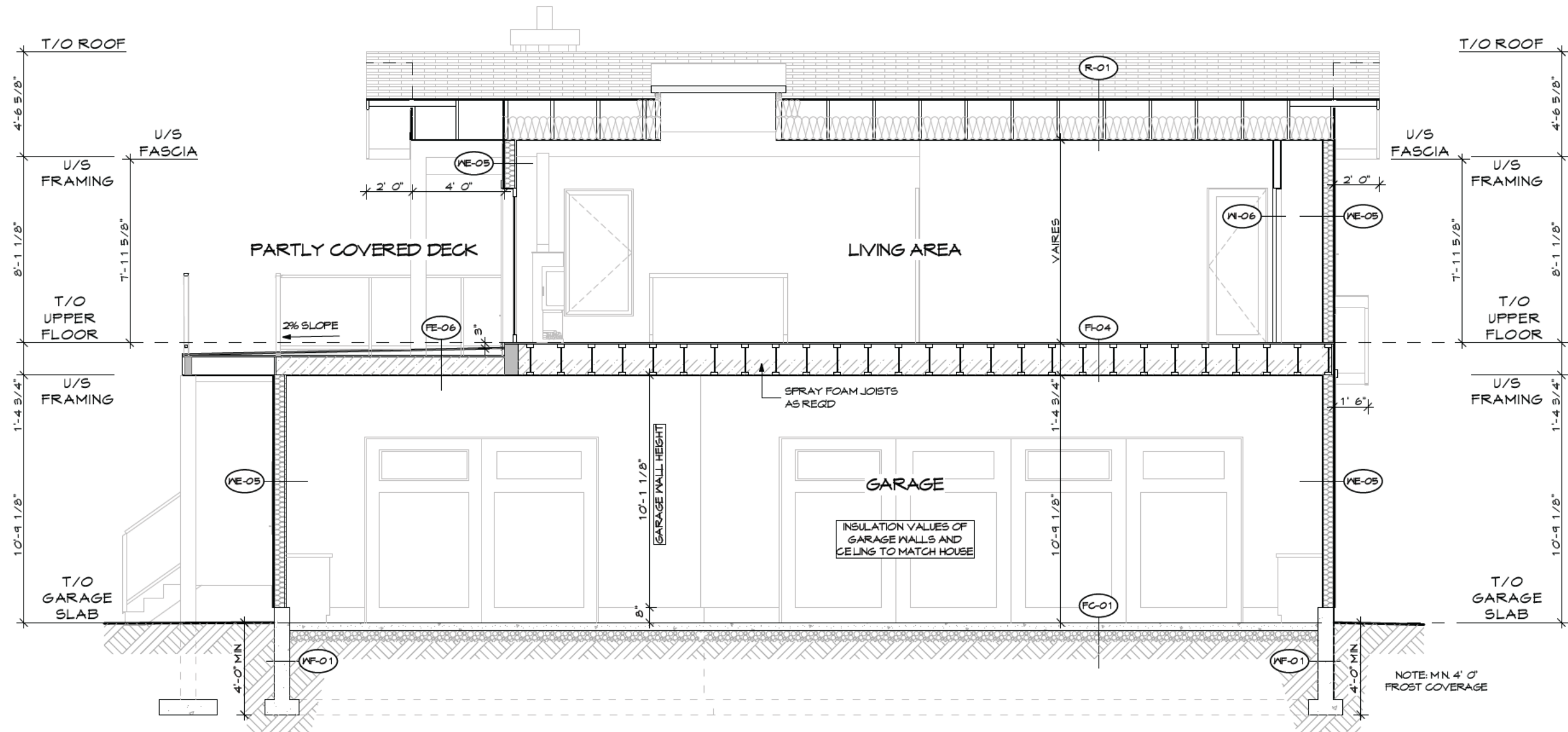
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ALL SPECIFICATIONS FOR THE NBC 2019 (AE) 436. ENERGY CODE TO BE SUPPLIED BY OTHERS.	MAIN FLOOR : 0000 SF UPPER FLOOR SUITE : 792 SF TOTAL : 0000 SF  DEV LOWER FLOOR : 0000 SF TOTAL LOWER FLOOR : 0000 SF TOTAL DEVELOPED : 0000 SF  GARAGE : 1068 SF	CLIMATE ZONE: 7A  BUILDING AREA: 99 SQ M  AIRTIGHTNESS 2.5	LEGAL ADDRESS:  LOT: 16, BLOCK: 2, PLAN: 4 1 12 EO  CIVIC ADDRESS: 163 BIRCHCLOFF RD, SV OF BIRCHCLIFF, AB	CLIENT CONTACT INFO:  	DRAFTED BY:   KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 163 BIRCHCLIFF RD	PROJECT NUMBER: GWS-2021-01	SCALE: 3/16" = 1'-0"
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## BUILDING SECTION A

### CONSTRUCTION ASSEMBLIES

(AS PER NBC 2019 (AE))

#### WALL ASSEMBLIES

WF-01 8" FROST WALL (GARAGE)

8" CONCRETE FOUNDATION WALL (9.15.4)  
DAMP PROOFING (BELOW FINISHED GRADE) (9.13.2)  
PARGING (ABOVE FINISHED GRADE)

WF-02 FROST WALL ASSEMBLY (WALK-OUT/CRAWL SPACE)

RIGID INSULATION (9.36.2.8)  
8" CONCRETE FOUNDATION WALL (9.15.4)  
DAMP PROOFING (BELOW FINISHED GRADE) (9.13.2)

WF-03 CONCRETE FOUNDATION WALL ASSEMBLY

1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
6 MIL POLY VAPOR BARRIER (9.25.4)  
INSULATION (9.36.2.8)  
2x4 K.D. SPRUCE/PINE STUDS (SPACING BY OTHERS)  
1" AIR SPACE  
8" CONCRETE FOUNDATION WALL (9.15.4)  
DAMP PROOFING (BELOW FINISHED GRADE) (9.13.2)  
PARGING (ABOVE FINISHED GRADE)

WF-04 CONCRETE FOUNDATION WALL ASSEMBLY w/ FINISH

1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
6 MIL POLY VAPOR BARRIER (9.25.4)  
INSULATION (9.36.2.8)  
2x4 K.D. SPRUCE/PINE STUDS (SPACING BY OTHERS)  
1" AIR SPACE  
8" CONCRETE FOUNDATION WALL (9.15.4)  
3/8" OSB SHEATHING (9.23.1.7)  
PERMEABLE BUILDING PAPER (9.36.2.10)  
FINISH AS SPECIFIED

WE-05 EXTERIOR WALL ASSEMBLY

1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
6 MIL POLY VAPOR BARRIER (9.25.4)  
INSULATION (9.36.2.8)  
2x6 K.D. SPRUCE/PINE STUDS (SPACING BY OTHERS) (P.T. MATERIAL BELOW GRADE)  
3/8" OSB SHEATHING (9.23.1.7)  
PERMEABLE BUILDING PAPER (9.36.2.10)  
FINISH AS SPECIFIED

WI-06 INTERIOR PARTITION WALL ASSEMBLY

1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
(MOISTURE RESISTANT GYPSUM IN BATHROOMS - WONDER BOARD IN SHOWERS)  
2x4 K.D. SPRUCE / PINE STUDS (SPACING BY OTHERS) (UNLESS NOTED OTHERWISE)  
ACOUSTICAL INSULATION (WHERE APPLICABLE)  
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE

WI-07 INTERIOR PARTITION WALL ASSEMBLY GARAGE/HOUSE (2x6) LOAD BEARING

1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
(MOISTURE RESISTANT GYPSUM IN BATHROOMS - WONDER BOARD IN TILED SHOWERS)  
6 MIL POLY VAPOR BARRIER (9.25.4)  
INSULATION (9.36.2.8)  
2x6 K.D. SPRUCE / PINE STUDS (SPACING BY OTHERS)  
1/2" GYPSUM BOARD WALL FINISH FIRE-TAPED AS REQ'D FOR FUME BARRIER

#### FLOOR ASSEMBLIES

FC-01 GARAGE SLAB ASSEMBLY (4")

4" CONCRETE SLAB - REINFORCED AS PER STRUCTURAL REQ.  
4 SLOPED AS SPECIFIED  
6 MIL POLY VAPOR BARRIER (9.25.4)  
4" MIN. WASHED ROCK (9.16.2.1)  
UNDISTURBED SOIL

FC-02 BASEMENT ASSEMBLY (3 1/2")

3 1/2" CONCRETE SLAB - REINFORCED AS PER STRUCTURAL REQ.  
6 MIL POLY VAPOR BARRIER (9.25.4)  
INSULATION (IF REQ'D) (9.36.2.8)  
4" MIN. WASHED ROCK (9.16.2.1)  
UNDISTURBED SOIL

FI-03 RESIDENCE FLOOR ASSEMBLY (ABOVE GRADE)

FINISHED FLOOR AS SPECIFIED  
3/4" T&G EXTERIOR GRADE SHEATHING (9.23.15)  
(OPT. BUILT-UP SHEATHING FOR FINISHED FLOOR SELECTIONS)  
TJI FLOOR SYSTEM - ENGINEERED BY OTHERS  
ACOUSTICAL INSULATION (WHERE APPLICABLE)  
INSULATION @ JOIST ENDS & CANTILEVERED AREAS (9.36.2.6)  
CROSS BRACING AS REQ'D  
1/2" GYPSUM BOARD (INTERIOR FINISHED SPACE)  
FINISH AS SPECIFIED (INTERIOR SPACE)  
SOFFIT (CANTILEVERED FLOOR AREAS)

FI-04 RESIDENCE FLOOR ASSEMBLY OVER GARAGE

FINISHED FLOOR AS SPECIFIED  
3/4" T&G EXTERIOR GRADE SHEATHING (9.23.15)  
(OPT. BUILT-UP SHEATHING FOR FINISHED FLOOR SELECTIONS)  
TJI FLOOR SYSTEM - ENGINEERED BY OTHERS  
CROSS BRACING AS REQ'D  
6 MIL POLY VAPOR BARRIER (9.25.4)  
STRAFFING AS REQ'D BELOW JOISTS FOR INSULATION  
INSULATION (9.36.2.6)  
1/2" GYPSUM BOARD FIRE-TAPED AS REQ'D FOR FUME BARRIER  
FINISH AS SPECIFIED

FE-05 EXTERIOR DECK ASSEMBLY

EXTERIOR GRADE WOOD DECKING  
WOOD JOISTS - AS PER STRUCTURAL REQ.

FE-06 EXTERIOR DECK ASSEMBLY OPTION B

WATER PROOF MEMBRANE  
3/4" T&G EXTERIOR GRADE SHEATHING (SLOPED)  
FRAMING AS REQ'D FOR SLOPE  
WOOD JOISTS - AS PER STRUCTURAL REQ.  
CROSS BRACING AS REQ'D  
INSULATION (IF REQ'D) (9.36.2.6)  
VENTED SOFFIT (EXTERIOR AREAS)  
FINISH AS SPECIFIED (INTERIOR SPACE)  
1/2" GYPSUM BOARD FIRE-TAPED AS REQ'D FOR FUME BARRIER (GARAGE SPACE)

FE-07 PATIO SLAB ASSEMBLY

4" CONCRETE SLAB - REINFORCED AS PER STRUCTURAL DRAWINGS  
6 MIL POLY VAPOR BARRIER (9.25.4)  
4" MIN. WASHED ROCK (9.16.2.1)  
UNDISTURBED SOIL

#### ROOF ASSEMBLIES

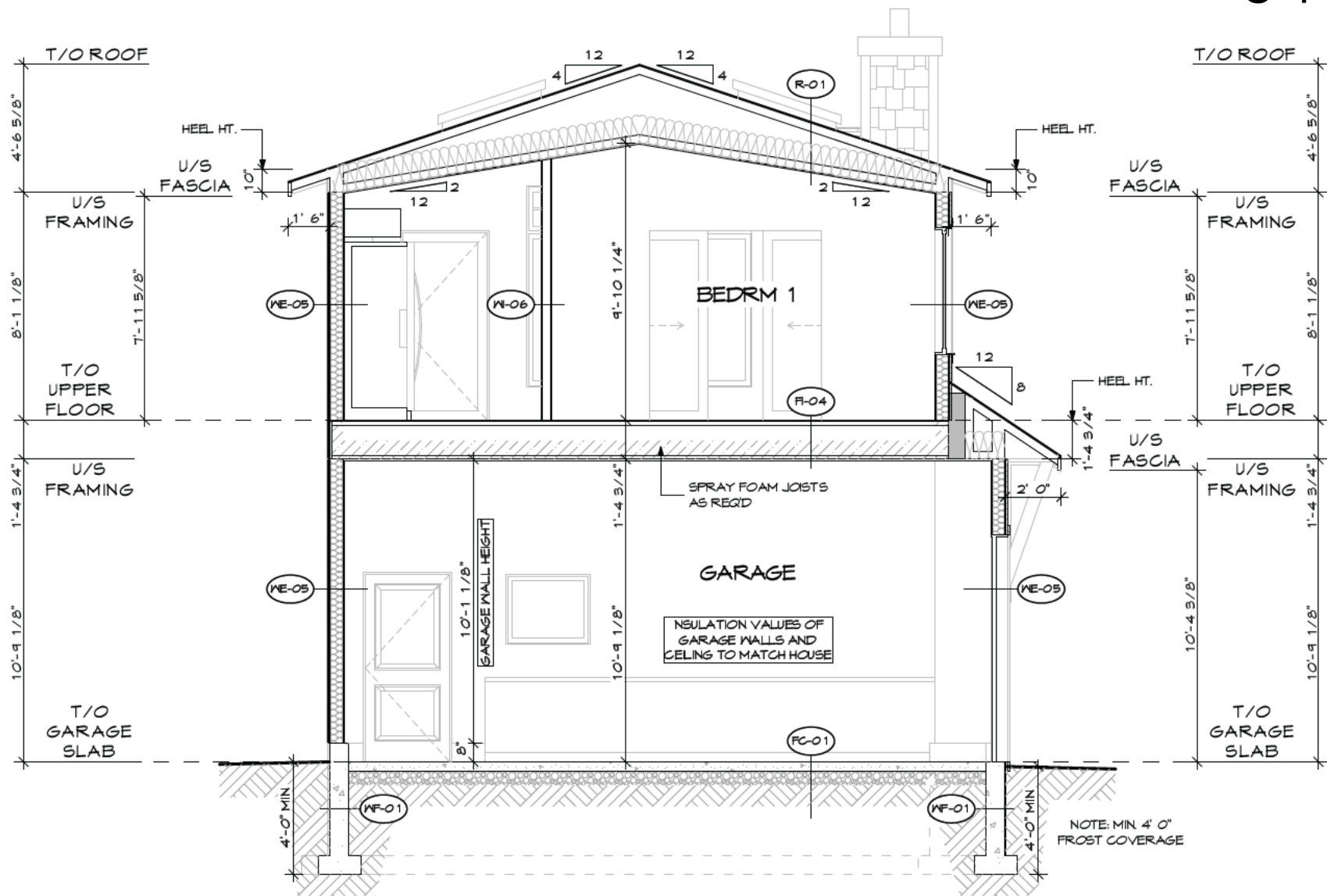
R-01 ROOF ASSEMBLY - SLOPED

FINISHED ROOFING AS SPECIFIED  
EAVE PROTECTION (9.26.5)  
1/16" OSB SHEATHING c/w H CLIPS (9.23.16)  
PRE-ENGINEERED ROOF JOISTS / TRUSSES (ENGINEERED BY OTHERS)  
INSULATION (ABOVE LIVING SPACE) (9.36.2.6)  
6 MIL POLY VAPOR BARRIER (ABOVE LIVING SPACE) (9.25.4)  
1/2" GYPSUM BOARD  
VENTED SOFFIT @ EAVES (UNVENTED AS PER 9.2.3.6)

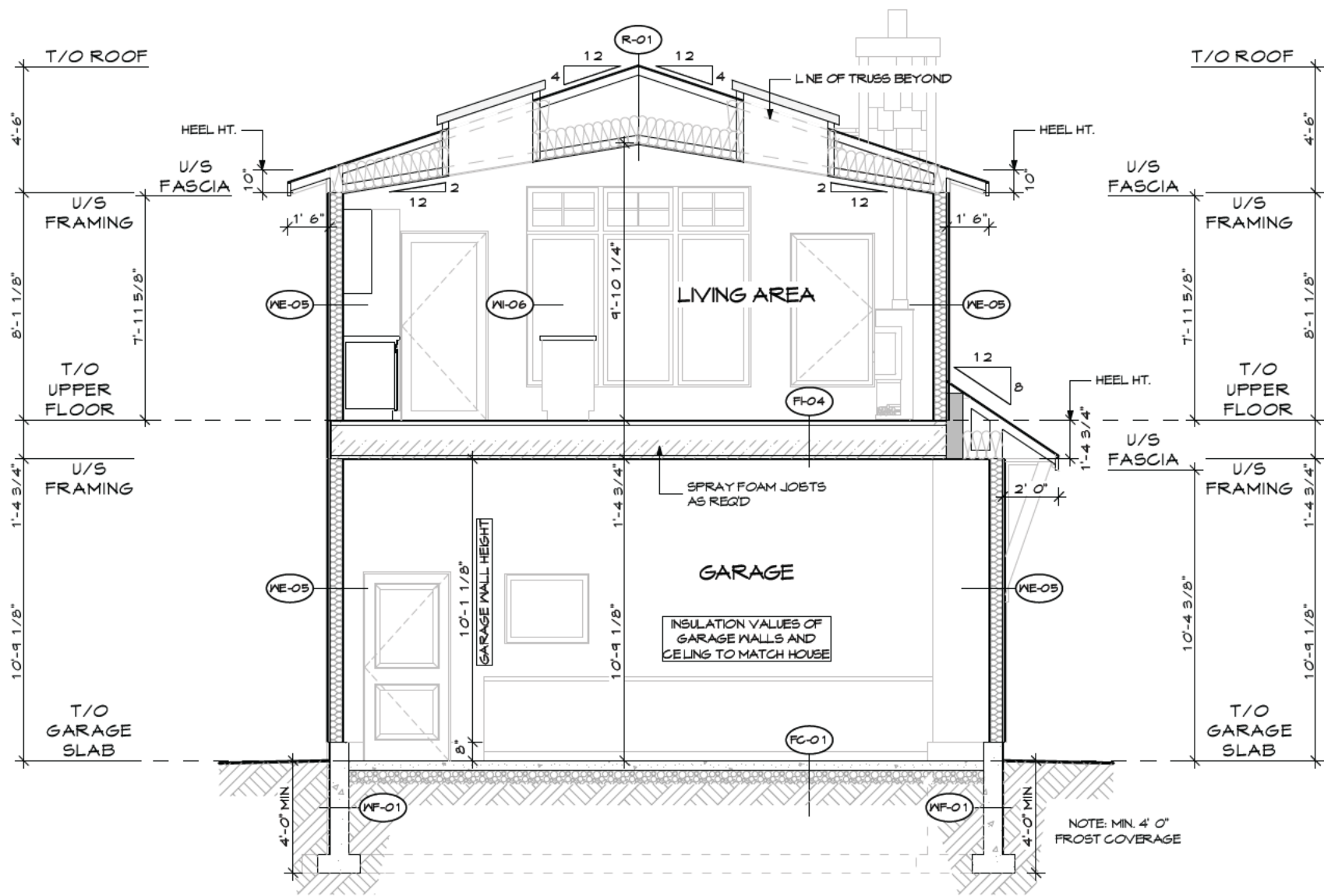
ALL SPECIFICATIONS FOR THE NBC 2019 (AE) 9.36. ENERGY CODE TO BE SUPPLIED BY OTHERS.  DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	MAIN FLOOR : 0000 SF UPPER FLOOR SUITE : 792 SF TOTAL : 0000 SF  DEV LOWER FLOOR : 0000 SF TOTAL LOWER FLOOR : 0000 SF TOTAL DEVELOPED : 0000 SF  GARAGE : 1068 SF	CLIMATE ZONE: 7A  BUILDING AREA: 99 SQ M  AIRTIGHTNESS 2.5	LEGAL ADDRESS:  LOT: 16, BLOCK: 2, PLAN: 4 1 12 EO  CIVIC ADDRESS: 163 BIRCHCLOFF RD, SV OF BIRCHCLIFF, AB	CLIENT CONTACT INFO:   KDRD LTD	DRAFTED BY:   KD RESIDENTIAL DESIGN  KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST  CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 163 BIRCHCLIFF RD  SHEET TITLE: BUILDING SECTIONS	PROJECT NUMBER: GWS-2021-01  DATE: 17-12-2021	SCALE: 3/16" = 1'-0"  SHEET: A09
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NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

THESE DRAWINGS MAY NOT BE USED OR DUPLICATED WITHOUT THE PERMISSION OF KD RESIDENTIAL DESIGN INC.



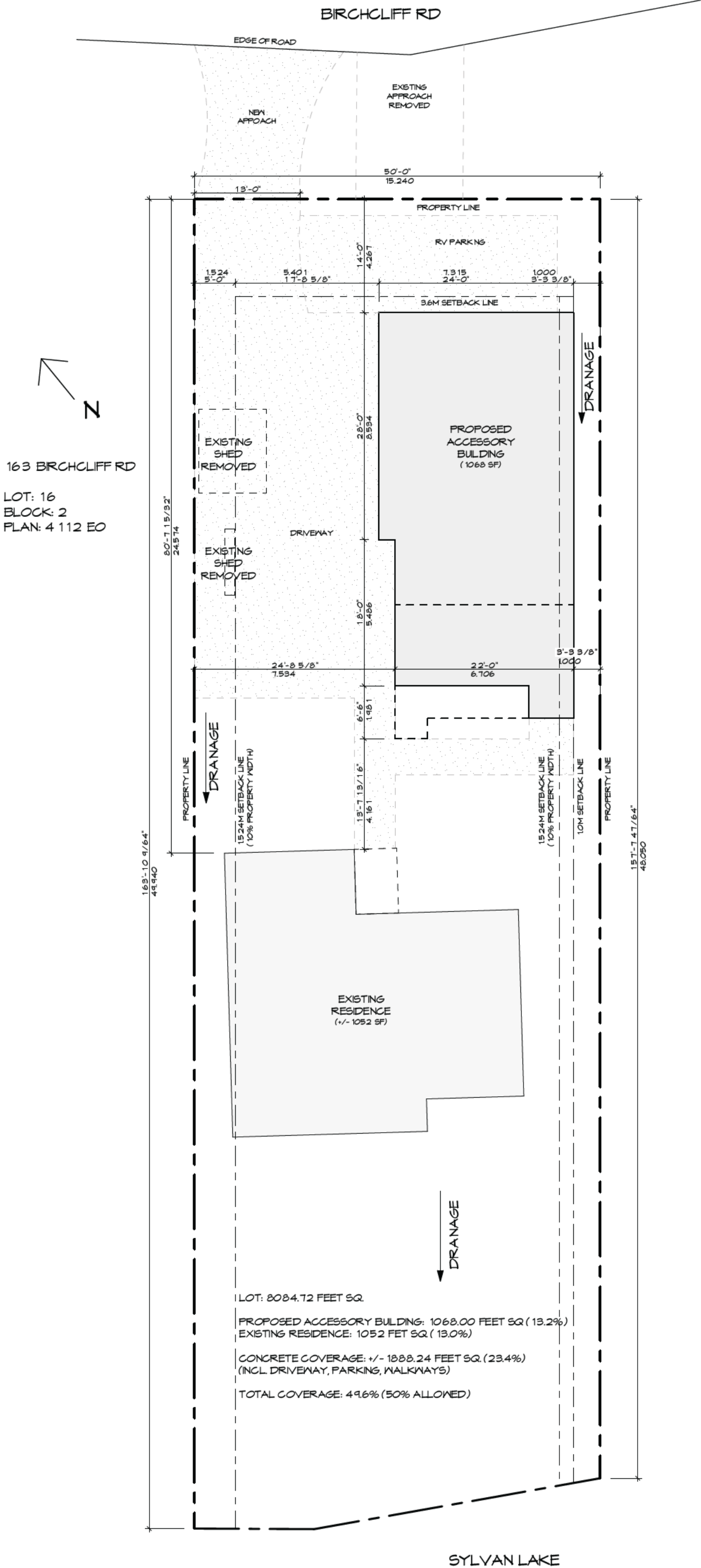
BUILDING SECTION B



BUILDING SECTION C

ALL SPECIFICATIONS FOR THE NBC 2019 (A.E.) 9.36. ENERGY CODE TO BE SUPPLIED BY OTHERS. DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.	LEGAL ADDRESS: LOT: 16, BLOCK: 2, PLAN: 4 112 EO	CIVIC ADDRESS: 163 BIRCHCLOFF RD, SV OF BIRCHCLIFF, AB	CLIMATE ZONE: 7A	BUILDING AREA: 99 SQ M	AIRTIGHTNESS 25
MAN FLOOR : 0000 SF UPPER FLOOR SUITE : 792 SF TOTAL : 0000 SF DEV LOWER FLOOR : 0000 SF TOTAL LOWER FLOOR : 0000 SF TOTAL DEVELOPED : 0000 SF GARAGE : 1068 SF	CLIENT CONTACT INFO: 	DRAFTED BY:  KAREN RICHINSKI ARCHITECTURAL TECHNOLOGIST CELL: 403.396.0354 EMAIL: KAREN@KDRD.CA WEB: WWW.KDRD.CA	PROJECT NAME: 163 BIRCHCLIFF RD	PROJECT NUMBER: GWS-2021-01	SCALE: 3/16" = 1'-0"
			SHEET TITLE: BUILDING SECTIONS	DATE: 17-12-2021	SHEET: A 10

SITE PLAN



NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

ALL SPECIFICATIONS FOR THE NBC 2019 (AE) 4.36. ENERGY CODE TO BE SUPPLIED BY OTHERS.

DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.

MAIN FLOOR : 0000 SF  
UPPER FLOOR SUITE : 0000 SF  
DEV LOWER FLOOR : 0000 SF  
TOTAL LOWER FLOOR : 0000 SF  
TOTAL DEVELOPED : 0000 SF  
GARAGE : 1068 SF

CLIMATE ZONE:  
7A

BUILDING AREA:  
99 SQ M

AIRTIGHTNESS:  
2.5

CLIENT CONTACT INFO:  


DRAFTED BY:  
  
KAREN RICHINSKI  
ARCHITECTURAL TECHNOLOGIST  
CELL: 403.596.0354  
EMAIL: KAREN@KDRD.CA  
WEB: WWW.KDRD.CA

LEGAL ADDRESS:  
LOT: 16, BLOCK: 2, PLAN: 4 112 EO

CIVIC ADDRESS:  
163 BIRCHCLOFF RD, SV OF BIRCHCLIFF, AB

PROJECT NAME  
163 BIRCHCLIFF RD

SHEET TITLE:  
SITE PLAN

PROJECT NUMBER:  
GWS-2021-01

DATE:  
22-12-2021

SCALE:  
1: 150

SHEET:  
A 12

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LEGEND:

- 

NEW SHRUB

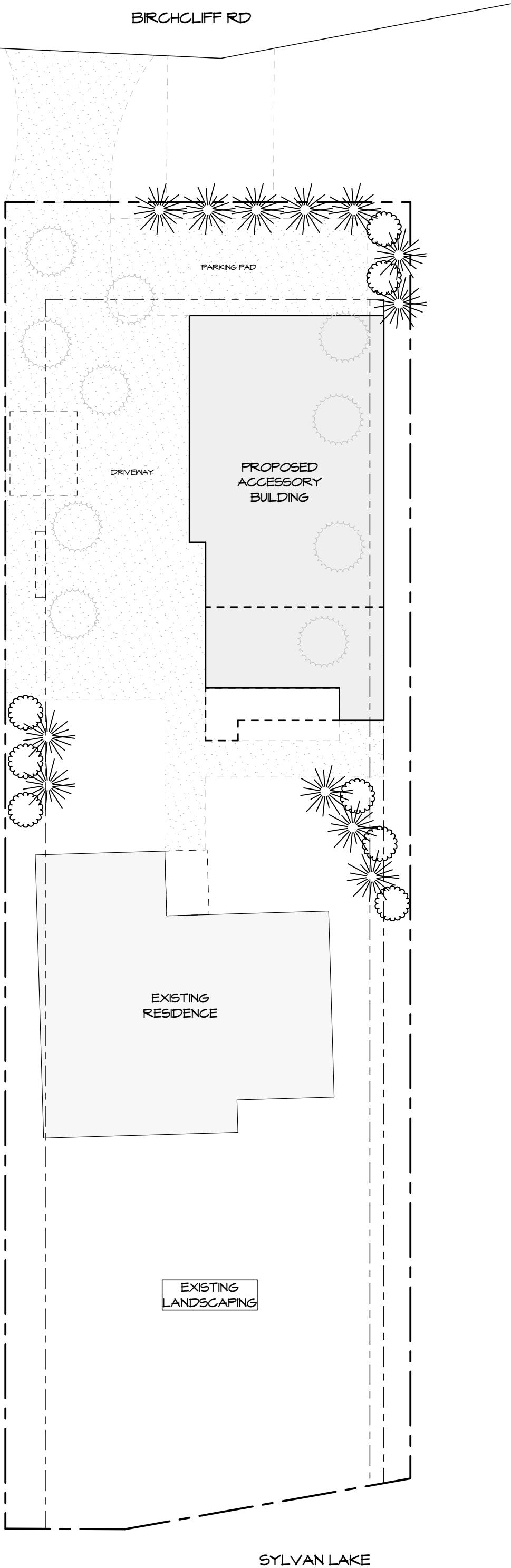
QTY = 12
- 

REMOVED TREE

QTY = 10
- 

NEW TREE

QTY = 8



NOTE: FINAL BUILDING & SPEC MAY NOT BE EXACTLY AS SHOWN

ALL SPECIFICATIONS FOR THE NBC 2019 (AE), 4.36, ENERGY CODE TO BE SUPPLIED BY OTHERS.

DRAWINGS TO BE REVIEWED & APPROVED BY THE LOCAL MUNICIPALITY OR PERMITTING AUTHORITIES.

MAIN FLOOR : 0000 SF  
UPPER FLOOR SUITE : 1022 SF  
TOTAL : 0000 SF  
DEV LOWER FLOOR : 0000 SF  
TOTAL LOWER FLOOR : 0000 SF  
TOTAL DEVELOPED : 0000 SF  
GARAGE : 1068 SF

CLIMATE ZONE:  
7A

BUILDING AREA:  
99 SQ M

AIRTIGHTNESS:  
25

CLIENT CONTACT INFO:  


DRAFTED BY:  
  
KAREN RICHINSKI  
ARCHITECTURAL TECHNOLOGIST  
CELL: 403.396.0354  
EMAIL: KAREN@KDRD.CA  
WEB: WWW.KDRD.CA

LEGAL ADDRESS:  
LOT: 16, BLOCK: 2, PLAN: 4 112 EO

CIVIC ADDRESS:  
163 BIRCHCLOFF RD, SV OF BIRCHCLIFF, AB

PROJECT NAME:  
163 BIRCHCLIFF RD

SHEET TITLE:  
LANDSCAPE PLAN

PROJECT NUMBER:  
GWS-2021-01

DATE:  
22-12-2021

SCALE:  
1:150

SHEET:  
A 13

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DEC 14 2021







DEC 14 2021







DEC 14 2021







DEC 14 2021







DEC 14 2021







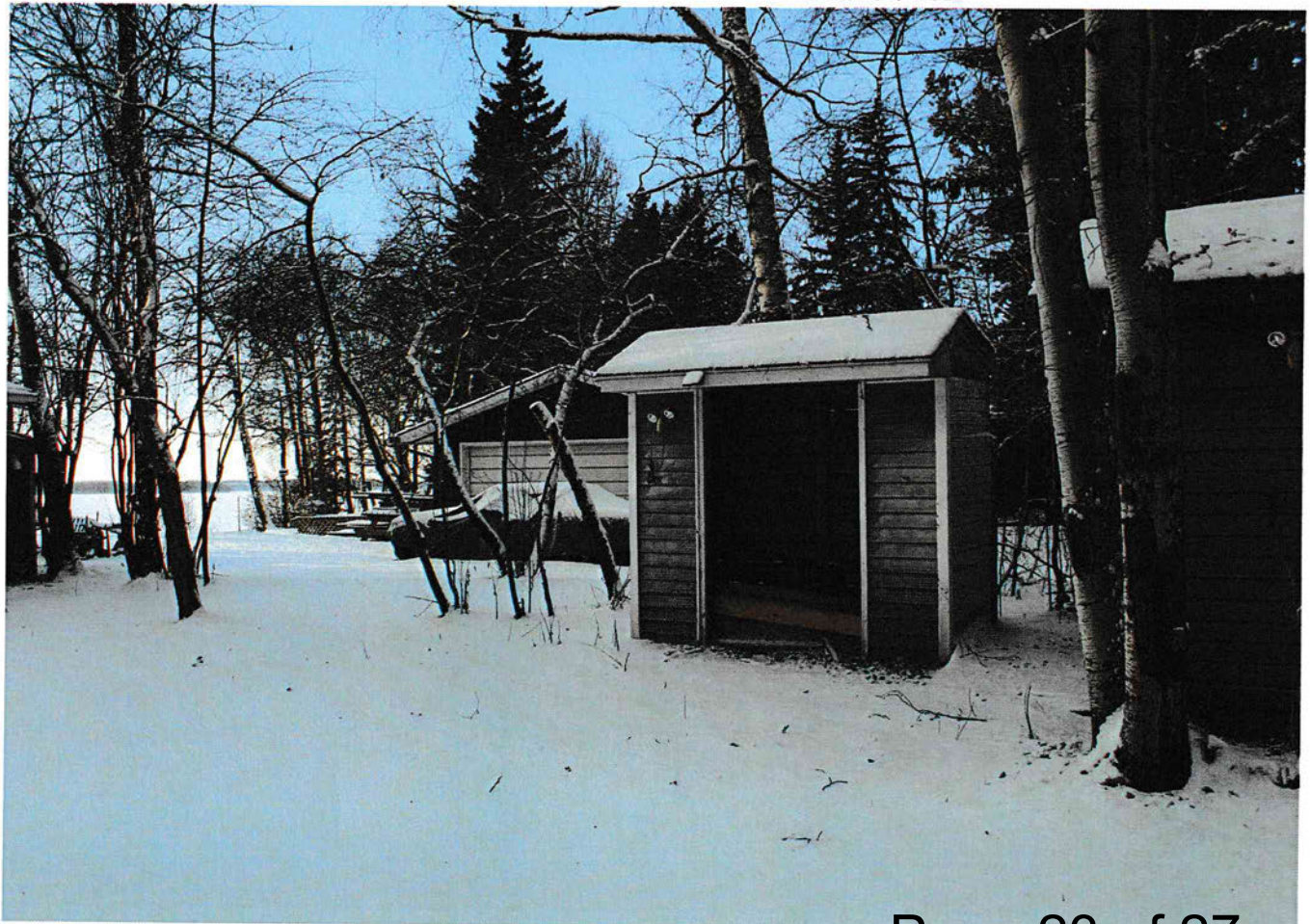
DEC 14 2021







DEC 14 2021







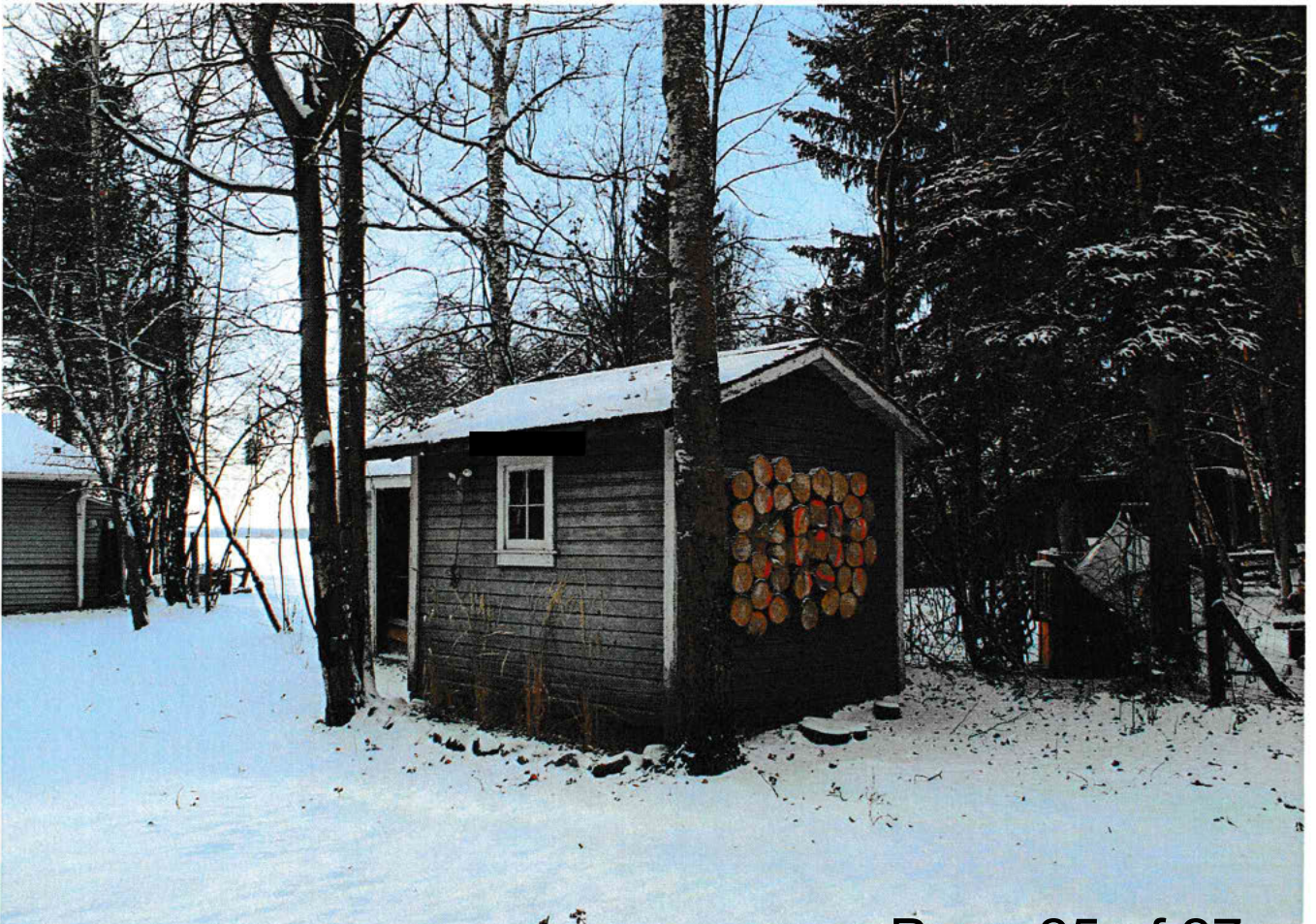
DEC 14 2021







DEC 14 2021





Google Maps 163 Birchcliff Rd



Image capture: Jun 2014 © 2021 Google

Birchcliff, Alberta

Google

Street View - Jun 2014





