



DEVELOPMENT APPLICATION PACKAGE

Please review the Land Use Bylaw (LUB) 267/22 for the regulations pertaining to your development.

DEVELOPMENT PERMIT INFORMATION:

- The Development Authority may refuse to accept the application if the required information has not been supplied or if the quality of the information is inadequate to properly evaluate the Development Permit application.
- The applicant will be notified in writing if the application is complete or incomplete within twenty (20) days of submission of an application. Incomplete application notices will list the missing information with a timeline to submit any outstanding information. If your development application is deemed complete, then the Development Authority has an additional 40 days to issue the development permit.
- An issued development permit will have a twenty-one (21) day appeal period that begins the day the development permit has been issued. Any development starting before the period has lapsed is at the applicants own risk.
- If the development complies with the Land Use Bylaw and all other planning documents, and is listed as a permitted use, then the Development Authority is obligated to issue you a development permit.
- If the development does not comply with the Land Use Bylaw and requires a variance or is listed as a discretionary use, then it will be presented to the Municipal Planning Commission for approval or denial. Municipal Planning Commission meetings are scheduled as needed and are open to the public. We recommend you attend to discuss why your development should be approved.
- Building, Gas, Plumbing, Electrical, Sewage permits are required and must be obtained from Superior Safety Codes, after the approval of the development permit. They have their own fee schedule and procedures that must be followed before any development can commence. Please contact them directly at: Phone 403-358-5545, Toll Free 1-888-358-5545, www.superiorsafetycodes.com, #3 6264 67A Street Red Deer, AB T4P 3E8.
- Notwithstanding the issuance of this permit, the village does not assume responsibility that the plans and specifications as filed comply with the Safety Codes Act and Regulations, and the granting of this permit shall in no way relieve the owner of the building or the constructor thereof from complying with the requirements of the Safety Codes Act and Regulations, and any relevant Village Bylaws or Provincial or Federal Statutes or Regulations in force.
- If the development authorized by a permit is not commenced within twelve months from the date of issuance, the permit is deemed void, unless an extension to this period has previously been granted by the Development Authority.
- Please contact our development department once your development is complete to schedule a final site inspection and start the completions deposit refund process. All conditions on the development permit must be met as well as development must be 100% complete including landscaping.
- Please visit <http://www.sylvansummervillages.ca/planning--development2.html> to find the village planning and development related documents.

APPLICATION FOR DEVELOPMENT PERMIT



#2 Erickson Drive
Sylvan Lake, Alberta T4S 1P5
(403) 887-2822
Email: development@sylvansummervillages.ca
www.sylvansummervillages.ca

FOR OFFICE USE ONLY

Date Received: _____

I hereby make application under the provisions of the Summer Village of Norglenwold Land Use Bylaw 267-22 for a Development Permit in accordance with the plans and supporting information submitted herewith in which forms part of this application.

APPLICANT INFORMATION

Applicant: _____ Phone: _____ Cell: _____
Full Mailing Address: _____ Email: _____
Civic Address of property to be developed: _____ Lot: _____ Block: _____ Plan: _____
Registered Owner(s): _____ Full Mailing Address: _____
Phone: _____ Email: _____

DEVELOPMENT INFORMATION

Proposed Development: _____ Existing Development: _____
Parcel Type: Interior _____ Corner _____ Lakefront _____ Proposed Sewage Disposal System: _____
Setbacks for Proposed Development: Front Yard: _____ Side Yard: _____ Side Yard: _____ Rear Yard: _____
Parcel's Total Area: _____ Total Parcel Coverage (%) (as per "Parcel Coverage" Definition): _____
Height of Building (as per "Grade" Definition): _____ Driveway Width: _____ Culvert Required: _____
Proposed Footprint: _____ Proposed Floor Area: _____ Exterior Finish: _____
Proposed Landscaping: _____ Sight Triangle Calculation (Corner Lots Only): _____
Number of Trees to be Removed: _____ Estimated Project Costs: _____
Builder/Contractor: _____ Phone: _____
Full Mailing Address: _____ Email: _____
Estimated Start Date: _____ Estimated Completion Date: _____

This personal information is being collected under the authority of Land Use Bylaw 267-22 and the Municipal Government Act and will be used for the Municipality's Development Planning decisions and is protected by the privacy provisions of the Freedom of Information and Protection of Privacy Act (FOIP).

BY SUBMITTING AN APPLICATION I HEREBY ALLOW RIGHT OF ENTRY FOR INSPECTION PURPOSES. I HEREBY CERTIFY THAT THE INFORMATION GIVEN ON THIS FORM IS FULL AND COMPLETE AND IS, TO THE BEST OF MY KNOWLEDGE, A TRUE STATEMENT OF THE FACTS RELATING TO THIS APPLICATION FOR DEVELOPMENT APPROVAL.

Signature of Registered Owner(s)

Signature of Person Acting on Behalf of Registered Owner(s)

Signature of Registered Owner(s)

Date:

Application Checklist *(Include with Application)*

Application for development shall be accompanied by the following:

- ☐ A non-refundable fee of \$200.00. Dwellings over 1500 sq.ft. in floor area will be charged additional \$0.10/sq.ft.
 - An additional \$100.00 for an application that is a Discretionary use or Variance request.
- ☐ A complete application with signatures of all registered homeowner(s).
- ☐ A Letter of Intent is required if requesting a variance or making an application for a discretionary use.
- ☐ A current copy of the Certificate of Title indicating ownership and encumbrances.
- ☐ Existing and proposed elevations on the site and on adjacent sites, roads and lanes.
- ☐ A surveyor's certificate specifying the location of any buildings on the parcel or, in the case of undeveloped parcels, indicating the posting of the parcel boundaries.
- ☐ Floor plans (11x17 or smaller), including room locations and uses, elevations building sections, including the lowest floor elevation in either the basement or on the main floor in the principal and accessory buildings. Proposed type of finish and use of building materials on all elevations and the roof, the roof pitch and width of the eaves. *Please indicate if Manufactured Dwelling Unit.
- ☐ Site plan (11x17 or smaller), showing the treatment of landscaped areas, including the location of existing and proposed trees, shrubs, grassed areas, fences, and retaining walls. Existing trees and/or shrubs to be conserved to the maximum extent possible and escarpments shall be left in their natural state.
- ☐ Drainage plans.
- ☐ The location of existing and proposed municipal and proposed municipal and private stormwater and sanitary sewage collection and disposal, and water supply and distribution utilities, landscaped areas and buffering and screening.
- ☐ Plan for garbage removal from site during construction.
- ☐ The height and horizontal dimensions of all existing and proposed buildings. Height shall be measured from grade. (see grade definition in the Land Use Bylaw)
- ☐ Scaled site plan(s) (11x17 or smaller), showing:
 - ☐ Proposed site coverage, and as a percentage calculation of the total area;
 - ☐ Front, side, and rear yards.
 - ☐ North point.
 - ☐ Legal description of the property.
 - ☐ Access and egress points to the property with driveway width; and
 - ☐ The location and dimensions of existing and proposed municipal and private local improvements, principal building and other structures including accessory buildings, garages, carports, fences, driveways, paved areas, parking, access and egress points to the parcel, and major landscaped areas including buffering and screening areas where provided.
- ☐ If the proposed development is for demolition, include a statement or plan which indicates:
 - ☐ How the operation will be carried out so as to create a minimum of dust and other nuisances.
 - ☐ The reclamation plan for the site including lot grading and landscaping.
 - ☐ Proposed haul routes for the removal of site materials.
- ☐ Statement of existing and proposed use(s) or occupancy of all parts of the land and buildings.
- ☐ Construction parking plan. Written statement or site plan showing where construction parking will take place. Parking Tags required for parking required on Municipal Land. Include how many parking passes will be required. *(Fee of \$100.00 for 4 tags, \$100.00 for any additional tags).*

- Where a proposed development or redevelopment is within 30.0m (98.4 ft.) of the top of bank or high-water mark of Sylvan Lake, a Development Design Plan shall be submitted and shall be in accordance with the applicable policies of the Sylvan Lake Intermunicipal Development Plan.
- For a building relocation, pictures of the exterior of the structure which provide information relating to the age and condition of the building and its compatibility with the Land Use District in which it is to be located.
- In the case of a proposed home occupation, information concerning the number of employees, the location of any goods to be kept or stored, and an estimate of the number of client visits to be expected to the site each week.
- An application for a development permit for landscaping or the excavation or stripping of land that is proposed without any other development on the same land shall also include:
 - An illustration indicating the location and area of the site where the landscaping or excavation is to take place.
 - A plan showing the existing trees and/or shrubs and identification of the trees and/or shrubs to be removed and/or added.
 - A statement on why the trees and/or shrubs are proposed to be removed and/or added.
 - The type and dimensions including average depth of the excavation to be done, and the potential, if any, to affect existing drainage patterns on and off the site.
 - The depth and variation in depth of groundwater encountered in test holes, if required.
 - The identification of potential for outdoor noise and the discharge of substances into the air.
 - Details outlining the measures that will be taken to ensure the integrity of the trees and/or shrubs adjacent to those proposed to be removed is not compromised.
 - The condition in which the site is to be left when the operation is complete, including the action which is to be taken for restoring the condition of the surface of the land to be affected, and for preventing, controlling, or lessening erosion or dust from the site.
 - An indication of all municipal servicing costs associated with the development.
 - The proposed haul route, dust control plan and expected hours of operation.
 - A statement may be required from a qualified environmental specialist or another qualified professional assessing the implications of tree and/or shrub removal will have on Sylvan Lake water quality, habitat and slope stability if applicable.
- Confirmation from the Energy Resources Conservation Board (ERCB) identifying the presence or absence of abandoned oil/gas wells within the parcel, on which a building of 506 sq. ft. or greater, will be constructed.

The Development Authority may also require additional information in order to assess the conformity of a proposed development. Such information may include (*but not limited to*):

- A geotechnical report, assessment or investigation prepared by a qualified geotechnical engineer for any proposed development, redevelopment, clearing or grading, excavation or adding fill within escarpment areas having 10 percent or greater slopes. The proposed development plan must show slope setback distances, cross-sections of the slope area both before and after development and final grading. The height and existing angle of the slope shall be verified by accurate historical survey data or site specific information completed by a qualified surveyor.
- A geotechnical report, prepared by a qualified geotechnical engineer, outlining seasonally adjusted and recommended water tables, location of on-site storage of sewage, and recommended building foundations, basement construction and soil bearing capabilities.
- A visual impact assessment prepared by a qualified professional that assesses the impact of new development on view corridors and provides mitigation steps.
- An environmental review prepared by a qualified professional, which shall include but is not limited to:
 - i. A description of the environmental sensitivity of the lands proposed for development and the surrounding area;
 - ii. The identification of the nature and significance of any adverse impacts associated with the proposed development during construction.

- iii. The identification of the nature and significance of any adverse impacts associated with activities that will result from the development; and
- iv. The inclusion of an environmental protection plan to:
 1. Alleviate any adverse impacts.
 2. Monitor the performance of the environmental measures and
 3. Identify any residual impacts and their significance on any or all of the following: fish and wildlife, vegetation, soils and terrain, water quantity and quality, shoreline, surface drainage, and aquifers.

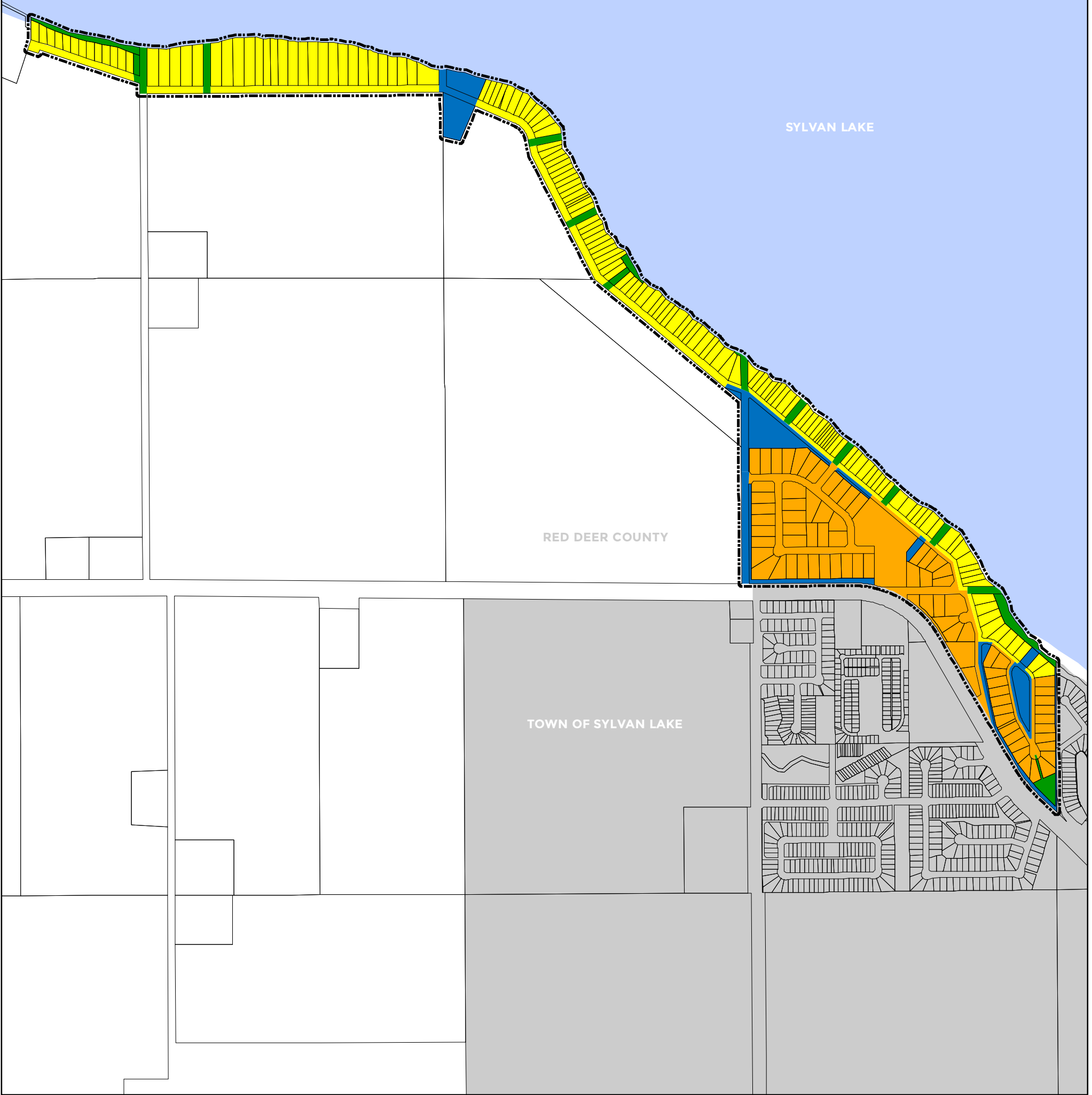
- ☐ Proof of Warranty Coverage.
- ☐ A refundable completions deposit will be required when a development permit is issued. At the discretion of the Development Authority, the amount will depend on the estimated project cost, as establish. The deposit shall be refunded after completion of the construction including landscaping as per the development permit.
- ☐ As a condition of subdivision or development approval, a security in the form of an irrevocable letter of credit may be required by the Development Authority, up to a value of one hundred twenty five percent (125%) of the estimated cost of the proposed landscaping to ensure that the landscaping is carried out with reasonable diligence (in accordance with the approved landscaping plan), to the satisfaction of the Development Authority. A condition of the security shall be that the landscaping shall be completed in accordance with this Bylaw and the plan within one (1) growing season after the completion of the development. If the landscaping does not survive a two (2) year maintenance period, the amount shall be paid to the Summer Village to complete the landscaping.

Any other information that the Development Authority may require.

Please Note:

- 1) The Development Authority may refuse to accept and application for Development Permit where the information required by Sections 4.3.1, 4.3.2, and 4.3.3 has been supplied or where, in the opinion of the Development Authority, the quality of the material supplied is inadequate to properly evaluate the application.
- 2) The Development Authority may deal with an application and make a decision without all of the information required by subsection Sections 4.3.1, 4.3.2, and 4.3.3 if it is the opinion of the Development Authority that a decision on the application can be properly made without such information.
- 3) Communications regarding development permits will be done via email address provided on the application.

Applicant's Initials: _____



SUMMER VILLAGE OF
NORGLENWOLD

LAND USE DISTRICT MAP

LAND USE DISTRICTS

- | | |
|--|--|
|  R1 - Shoreline Residential District |  CR - Community and Recreation District |
|  R2 - Estate Residential District |  EO - Environmental Open Space District |

Digital Information: Geogratia,
Geodiscover, and Altalis
Projection: UTM NAD 83 12N



Tagish Engineering Ltd.

Residential Crossing Specification

1. RESIDENTIAL CROSSINGS

.1 Definition

“Residential Crossing” means the driveway to a property from a Summer Village roadway having drainage ditches.

.2 Residential Crossing Agreement

A “Residential Crossing Agreement” between the Summer Village and the property owner shall be obtained and executed prior to any work being performed.

.3 General

All residential crossings shall be constructed to conform to the following minimum Specifications and Standard Drawings unless prior, written approval is obtained from the Summer Village’s Engineer or his representatives or appointee, for construction to alternate standards.

- a) The Residential crossing shall be constructed at right angles to the tangent of the Summer Village road;
- b) A minimum grade of minus 10 percent and a maximum of plus 10 percent shall be maintained along the residential crossing from the shoulder edge of the intersecting Summer Village road to the property line;
- c) The Applicant shall be responsible for all utility locations and any costs for repair and/or relocation of utilities arising out of the construction of the residential crossing.
- d) The minimum requirements for culverts, where they are required to be installed, shall be:
 - i) 450 mm diameter
 - ii) galvanized corrugated metal pipe with 3:1 tapered ends for local roads and 4:1 tapered ends for collector and/or major roads
 - iii) 1.6 mm wall thickness

NOTE: A CORRUGATED POLYETHYLENE PIPE OF EQUIVALENT STRENGTH MAY BE USED ON APPROVAL FROM THE SUMMER VILLAGE'S ENGINEER.

Culverts shall be installed along the Summer Village ditch bottom in such manner that the existing drainage along the ditch is maintained. A larger diameter culvert may be required when drainage conditions dictate as determined by the Summer Village's Engineer.

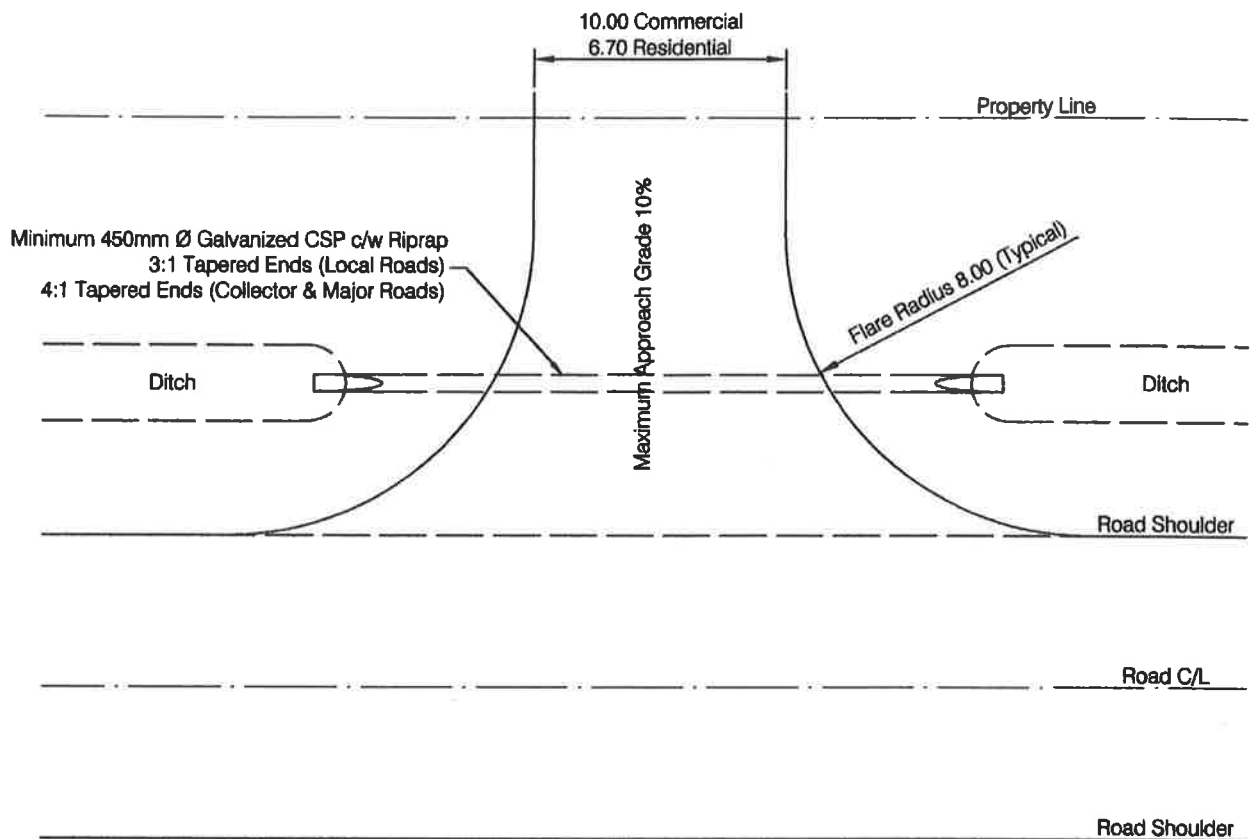
- e) There shall be a minimum cover equal to the diameter of the culvert over the culvert;
- f) The residential crossing sideslopes shall be 4:1 on local roads and 5:1 on collector and/or major roads
- g) Prior to any fill material being placed for the new residential crossing, all organic or otherwise deleterious materials shall be removed. The fill used for construction of the residential crossing shall not contain any organic, frozen or otherwise deleterious materials and shall be compacted to a minimum of 95% of Standard Proctor Density;
- h) The finished traveling surface of the residential crossing shall be crowned and shall be a minimum of 6.7 metres in width;
- i) The full width of the residential crossing, from the shoulder of the Summer Village Road to the property line, shall be constructed to be equivalent to, or better than the standard of the abutting road;
- j) Any damage to Summer Village property, including utilities and road surface shall be repaired at the expense of the applicant;
- k) Any disturbed areas in the ditch shall be reclaimed including seeding and removal of rocks larger than 75 millimetres.

.2 Inspection

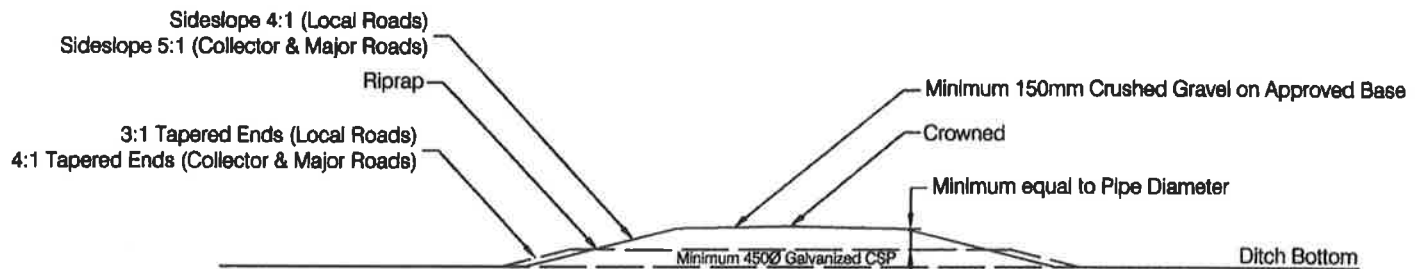
The Summer Village Administration office shall be notified within 72 hours of the completion of the residential crossing. An inspection will then be conducted to ensure compliance with these specifications.

.3 Maintenance

The construction of a residential crossing is for the sole benefit of the applicant. The applicant is therefore responsible for the maintenance of the residential crossing including the maintenance and cleaning of the culvert.



1 Plan
1 1:200



2 Typical Cross Section
1 1:200

NOTE: All dimensions are metres unless otherwise noted.

Tagish Engineering Ltd.

Environmental • Municipal • Water Resources • Land Development
5205A - 54 Avenue, RED DEER, AB
(403) 348 - 7710 Fax (403) 341 - 4909 E-mail tagishx@telusplanet.net

Client
Summer Village

Project
TYPICAL RURAL CROSSING

PLAN & CROSS SECTION

Drawn:	DJO	Scale:	As Shown
Designed:		Date:	
Checked:		File No.:	
Approved:		Project No.:	

1
1

Construction Standard Guidelines for the Province of Alberta where firefighting response time is more than 10 minutes. Please be advised that this is just a guide, and the Safety Codes Officer will review and make decisions on all building permit applications.

Type of Structure	Proposed Sideyard Setback <i>--distance from property line to the building face</i>	Regulations	Notes
Houses & Secondary Suites in a detached accessory structure	2.4m and greater <i>[7'10½"]</i>	-No new regulations to be implemented, construction can occur as it has for the last number of years.	
	0 - 2.4 m <i>[0 - 7' 10½"]</i>	-Side windows not allowed unless the house is sprinklered.	
	1.2m -2.4m <i>[3'1 1¼" – 7'10½"]</i>	-Side walls must have 45 minute fire rating (<i>treated OSB does not meet this standard</i>). -Soffits must be protected and must be placed .45m or greater from the property line. -Non-combustible cladding required. (<i>If vinyl siding is used instead of stucco, it must be placed over exterior grade gypsum, masonry or approved intumescent coated sheathing.</i>)	Wall Assembly must be tested and meet ULC S134 standard. Other regulations apply pertaining to combustible enclosed projections.
Accessory Buildings (<i>detached garages, sheds</i>)	0m to 1.2m <i>[0' - 3'1 1¼"]</i>	-Side walls must have 45 minute fire rating (<i>treated OSB does not meet this standard</i>). -No side windows unless building sprinklered. -Soffits must be protected and must be placed .45m [<i>17 ¾"</i>] or greater from the property line.	Wall Assembly must be tested and meet ULC S134 standard. Other regulations apply pertaining to combustible enclosed projections.

BUILDING PERMIT INFORMATION & CHECKLIST REQUIREMENTS

APPLICATION REQUIREMENTS – Along with your approved development permit from the Municipality, ensure the listed supporting documentation is included with the completed building permit application, or delays may occur with regards to issuing the building permit.

NEW HOME BUYERS PROTECTION ACT – When constructing a new home, cabin, garage with living quarters or moving in a new manufactured home you must provide the New Home Warranty Certificate at time of application.

BUILDERS' LICENSE – Effective December 1, 2017, new requirements are in effect for residential builders in Alberta. All residential builders are required to have a builder licence in order to construct new homes

NATIONAL ENERGY CODE (NEC) – The NEC came into effect November 1, 2016. Ensure the attached 9.36 Compliance Report is completed and submitted with the building permit applications and documentation.

CONSTRUCTION OF NEW HOMES & ADDITIONS <ul style="list-style-type: none"> <input type="checkbox"/> site plan <input type="checkbox"/> floor plan(s) <input type="checkbox"/> foundation plan <input type="checkbox"/> elevation views <input type="checkbox"/> building cross sections <input type="checkbox"/> roof truss layouts <input type="checkbox"/> manufactured floor joist layouts (Layouts can be on site at the framing stage) <input type="checkbox"/> engineered stamped drawings for attached garage if it is pile and grade beam <input type="checkbox"/> Preserved Wood Foundations require plans designed by an Engineer, registered in the Province of Alberta. (unless designed to the CAN/CSA S406-16 (R2003)) <input type="checkbox"/> Hydronic Heating design information and designer certification 	MANUFACTURED , MODULAR, MOBILE HOMES <ul style="list-style-type: none"> <input type="checkbox"/> site plan <input type="checkbox"/> floor plan <input type="checkbox"/> foundation plan** <input type="checkbox"/> CSA, QAI or Intertek # <input type="checkbox"/> Serial # <input type="checkbox"/> AMA # <input type="checkbox"/> square footage <input type="checkbox"/> year of manufacture ONE ROOM ADDITIONS & MANUFACTURED SUNROOMS <ul style="list-style-type: none"> <input type="checkbox"/> site plan <input type="checkbox"/> floor plan <input type="checkbox"/> foundation plan** <input type="checkbox"/> cross section view <input type="checkbox"/> if manufactured sunroom, supplier's full product information is required or an engineer's approval <p style="text-align: center;">** NOTE: Pile foundations require engineering</p>
STORAGE BUILDINGS / GARAGES / SHEDS <ul style="list-style-type: none"> <input type="checkbox"/> site plan <input type="checkbox"/> floor plan <input type="checkbox"/> elevation views <input type="checkbox"/> building cross sections <input type="checkbox"/> roof truss and beam design information <input type="checkbox"/> Hydronic Heating design information and designer certification (if applicable) <input type="checkbox"/> pole buildings <u>require</u> engineering <p><u>Foundation Requirements:</u></p> <ul style="list-style-type: none"> <input type="checkbox"/> 4 foot frost wall and strip footing <input type="checkbox"/> concrete slab over 55 sq. meters (592 sq.ft) must be engineered <input type="checkbox"/> engineered grade beam and pile <input type="checkbox"/> any other foundation will require a structural engineered stamped plan <p><u>Wall Requirements:</u></p> <ul style="list-style-type: none"> <input type="checkbox"/> walls up to 3.6 m in height are acceptable <input type="checkbox"/> walls over 3.6 m will require an <u>engineered</u> stamped plan <i>unless built to Standata 14-BCV-002R1.</i> 	BASEMENT DEVELOPMENTS AND MINOR RENOVATIONS <ul style="list-style-type: none"> <input type="checkbox"/> floor plan showing layout of new walls, bathrooms, bedrooms, windows and doors HOT TUBS / SWIMMING POOLS <ul style="list-style-type: none"> <input type="checkbox"/> site plan with dimensions of tub / pool <input type="checkbox"/> fence information DECKS <ul style="list-style-type: none"> <input type="checkbox"/> site plan <input type="checkbox"/> floor layout <input type="checkbox"/> cross section view or example plan with dimensions filled in WOOD STOVES (including fireplaces, pellet and coal stoves) <ul style="list-style-type: none"> <input type="checkbox"/> floor plan <input type="checkbox"/> manufacturers installation instructions <input type="checkbox"/> references to certification listing <p style="text-align: center;">NOTE: Pile foundations require engineering</p>

Construction checklists for decks, garages, mobile homes and wood stoves are also available.

If you require any information regarding building permits or plans that are required, please contact Superior Safety Codes.